

PLAN AND ZONING COMMISSION MEETING

CITY OF DAVENPORT, IOWA

TUESDAY, JULY 18, 2017; 5:00 PM

CITY HALL 226 W 4TH ST DAVENPORT IOWA

COMBINED PUBLIC HEARING AND REGULAR MEETING AGENDAS

PUBLIC HEARING AGENDA

I. New Business

- A. Case No. ROW17-04: Request of St. Ambrose University for the rights-of-way vacation (abandonment) of portions of three streets:
- 1) Rogalski Drive from the former Ripley Street to the west line of Harrison Street,
 - 2) West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and
 - 3) Ripley Street from the north line of Locust Street to the north line of the east-west alley north of Locust Street;
- and three alleys:
- 1) the east west alley north of Locust Street between Ripley and Harrison Streets,
 - 2) the north-south alley west of Harrison Street between the north line of the east-west alley north of Locust Street and the south line of Pleasant Street, and
 - 3) the north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.
- The total area being vacated (abandoned) contains 1.29 acre, more or less.

II. Next Public Hearing

- A. Tuesday, August 01, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall - 226 West 4th Street

REGULAR MEETING AGENDA

I. Roll Call

II. Report of the City Council Authority

- A. Report of City Council Activity

III. Secretary's Report

- A. Minutes June 20, 2017 Regular Meeting

IV. Report of the Comprehensive Plan Committee

V. Zoning Activity

A. Old Business

B. New Business

- i. Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

VI. Subdivision Activity

A. Old Business

B. New Business

VII. Future Business

- A. Case No. REZ17-08: Request of Studio 483 Architects on behalf of Palmer College of Chiropractic to rezone 38.65 acres, more or less, generally located between Harrison Street and Pershing Avenue and between East 12th and 5th Streets from: "R-4" Moderate Density Dwelling District, "R-6M" High Density Dwelling District, "C-O" Office-Shop District, "C-1" Neighborhood Commercial District, "C-2" General Commercial District, "C-4" Central Business District and "M-1" Light Industrial District to "PID" Planned Institutional District.
- B. Case No. FDP17-07: Final Development Plan for 902 W. Kimberly Road (Village Shopping Center) to allow construction of a new freestanding restaurant with drive through window (Freddy's Frozen Custard and Steakburgers) .
- C. Case No. REZ17-06: Request of David A. Parochetti dba David A. Parochetti Revocable Trust to remove conditions of City Ordinance 1999-569 on 0.70 acre located at the northwest corner of West Kimberly Road and Sturdevant Street (1616 West Kimberly Road and 3910 Sturdevant Street). The previous development was to be a Schnucks grocery store. Removal of the conditions would allow development of a quick service restaurant.
- D. Case No. REZ17-07: Petition of TWG Development, LLC for the proposed rezoning of approximately 1.90 acres located at the northwest corner of West 4th Street and Warren Street from M-1, Light Industrial District to C-4, Central Business District [3rd Ward].

VIII. Communications

IX. Other Business

X. Adjourn

- A.
 - Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
 - Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions

rise, with the developer.

- A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting:

Tuesday, August 01 2017 at 5:00 P.M. in the Council chambers of Davenport City Hall - 226 West 4th Street

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:

PUBLIC HEARING AGENDA

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:57 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:

Case No. ROW17-04: Request of St. Ambrose University for the rights-of-way vacation (abandonment) of portions of three streets:

- 1) Rogalski Drive from the former Ripley Street to the west line of Harrison Street,
- 2) West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and
- 3) Ripley Street from the north line of Locust Street to the north line of the east-west alley north of Locust Street;

and three alleys:

- 1) the east west alley north of Locust Street between Ripley and Harrison Streets,
- 2) the north-south alley west of Harrison Street between the north line of the east-west alley north of Locust Street and the south line of Pleasant Street, and
- 3) the north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.

The total area being vacated (abandoned) contains 1.29 acre, more or less.

ATTACHMENTS:

Type	Description
▣ Resolution Letter	ROW17-04 ST Ambrose report

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:55 PM



Meeting Date: July 18, 2017

Request: Right-of-way vacation (abandonment) of 1.29 acres, more or less of streets and alleys.

Location: Case No. ROW17-04: Request of St. Ambrose University for the rights-of-way vacation (abandonment) of portions of three streets:

- 1) Rogalski Drive from the former Ripley Street to the west line of Harrison Street,
- 2) West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and
- 3) Ripley Street from the north line of Locust Street to the north line of the east-west alley north of Locust Street;

and three alleys:

- 1) the east west alley north of Locust Street between Ripley and Harrison Streets,
- 2) the north-south alley west of Harrison Street between the north line of the east-west alley north of Locust Street and the south line of Pleasant Street, and
- 3) the north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.

Case No.: ROW17-04

Applicant: St. Ambrose University

Recommendation:

There is no recommendation at this time.

Introduction:

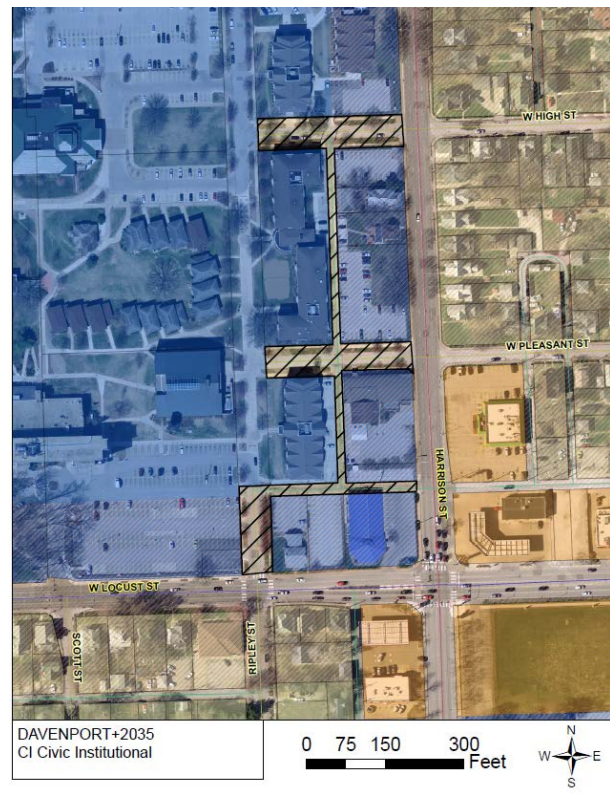
St. Ambrose University is seeking to vacate streets and alley to allow for control and maintenance of infrastructure within its campus. The request is being handled in one request since the rights-of-way are interconnected as shown in the location plat.

LOCATION:



Subject Property





Background:

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Zoning:

The adjacent properties are zoned “PID” Planned Institutional District, “C-2” General Commercial District and “R-4” Moderate Density Dwelling District.

Technical Review:

Technical review comments will be provided at the July 18, 2017 Plan and Zoning Commission Public Hearing. There are overhead and underground utilities in each of the street and alley segments.

Public Input:

Notices were sent to properties within 200 feet of the proposed right-of-way vacation in advance of the July 18, 2017 Plan and Zoning Commission Public Hearing.

Discussion:

St. Ambrose University is seeking to vacate streets and alley to allow for control and maintenance of infrastructure within its campus.

Staff Recommendation

There is no recommendation at this time.

Prepared by:

Wayne Wille, CFM - Planner II
Community Planning Division

**CITY OF DAVENPORT
DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT
REQUEST FOR PUBLIC RIGHT-OF-WAY VACATION**

PETITIONER:

Name: St. Ambrose University
Address: 518 W. Locust St.
Phone: 563.333.6025 FAX: 563.333.6054
Mobile Phone: 309.738.7876 Email: foleypaulj@sau.edu
Interest in land: _____ title holder _____ other**

** if petitioner is other than title holder (i.e., lessee), documentation will be required to show prior approval for site development plans by owner.

CONTACT PERSON:

Name: Paul J. Foley ? Jim Hannon
Address: _____
Phone: _____ FAX: _____
Mobile Phone: _____ Email: _____

LOCATION (DESCRIPTIVE): Attached document

LEGAL DESCRIPTION: Will submit at future date.

AREA: (in square feet) 34,232

REASON FOR REQUEST: The aquisition of the properties surrounding the streets and alleys.

*(The applicant MUST be as detailed and specific as possible in completing this section. Complete and descriptive information is vital to the timely submission of the petitioner's request. Incomplete applications may delay the application process.)

SIGNATURE OF PETITIONER:

Paul J. Foley

DATE:

6/6/17

PROCESSING FEE: \$400.00

DATE PAID: _____

Description

St. Ambrose University requests the City of Davenport to vacate the streets and alleys and we will take ownership and ongoing maintenance and upkeep. This includes three streets and three alleys on the east and southeast part of campus.

Streets

1. Ripley Street from Locust Street north to Alley #1. Currently the only portion Ripley Street between Locust and Lombard Street that we do not currently own. 5,310 sq. ft.
2. W. Pleasant Street from Ripley Street on the very west side to Harrison Street on the east side border. 7,500 sq. ft.
3. Rogalski Drive from Ripley Street on the west to Harrison street on the east side border 7,450 sq. ft.

Alleys:

1. Alley #1 from Ripley Street on the west to Harrison Street on the East. This is just to the north of our Admission & Welcome Center and south of Franklin Hall. 5,454 sq. ft.
2. Alley#2. Starting at the south end connect to alley #1 to the north connecting to Pleasant Street. 3,108 sq. ft.
3. Alley#3 Starting at the south end of the alley connecting with Pleasant Street to the north connecting with Rogalski Drive. 5,740 sq. ft.

VACATION DESCRIPTION

Part of Rogalski Drive, Pleasant Street, Ripley Street and alleys located in Block 1 and Block 2 in Noels 2nd Addition in the city of Davenport, County of Scott, State of Iowa, more particularly described as follows:

Beginning at the southwest corner of Lot 12 in Block 3 in Noels 2nd Addition to the City of Davenport;

Thence East along the north right of way line of Rogalski Drive, a distance of 275.8± feet to the west right of way line of Harrison Street;

Thence South along said west right of way line, a distance of 60.0± feet to the south right of way line of Rogalski Drive;

Thence West along said south right of way line, a distance of 131.2± feet to the east right of way line of a 15-foot alley running north and south thru Block 2 in Noels 2nd Addition;

Thence South along said east right of way line, a distance of 373.0± feet to the north right of way line of Pleasant Street;

Thence East along said north right of way line a distance of 133.9± feet to the west right of way line of Harrison Street;

Thence South along said west right of way line, a distance of 60.0± feet to the south right of way line of Harrison Street;

Thence West along said south right of way line, a distance of 8.0± feet to the east line of a parcel conveyed by the City of Davenport to St. Ambrose University by Warranty Deed recorded as Document #33881-96 in the Scott County Recorder's Office;

Thence North along said east line to the north line of said parcel so conveyed, a distance of 8.5± feet to the north line of said parcel so conveyed;

Thence West along said north line, a distance of 126.3± feet to the west line of said parcel so conveyed;

Thence South along said west line and the east line of a 15-foot alley running north and south thru Block 1 in Noels 2nd Addition, a distance of 212.0± feet to the north right of way line of a 20-foot alley running east and west thru said Block 1;

Thence East along said north right of way line, a distance of 135.8± feet to the west right of way line of Harrison Street;

Thence South along said west right of way line, a distance of 20.0± feet to the south right of way line of said 20-foot alley;

Thence West along said south right of way line, a distance of 280.9± feet to the east right of way line of Ripley Street;

Thence South along said east right of way line, a distance of 143.0± feet to the north right of way line of Locust Street as conveyed by Eastern Iowa Optometric Associates LLC to the City of Davenport by Warranty Deed recorded as Document #2011-00015739 in said Recorder's Office;

Thence West, a distance of 60.0± feet to the west right of way line of Ripley Street;

Thence North along said west right of way line, a distance of 163.0± feet to the north right of way line of said 20-foot alley projected westerly;

Thence East along said north right of way line and it's westerly projection, a distance of 190.0± feet to the west right of way line of a 15-foot alley running north and south thru said Block 1;

Thence North along said west right of way line, a distance of 204.0 feet to the south right of way line of Pleasant Street;

Thence West along said south right of way line, a distance of 130.0 feet to the east right of way line of Vacated Ripley Street;

Thence North along said east right of way line, a distance of 60.0± feet to the north right of way line of Pleasant Street;

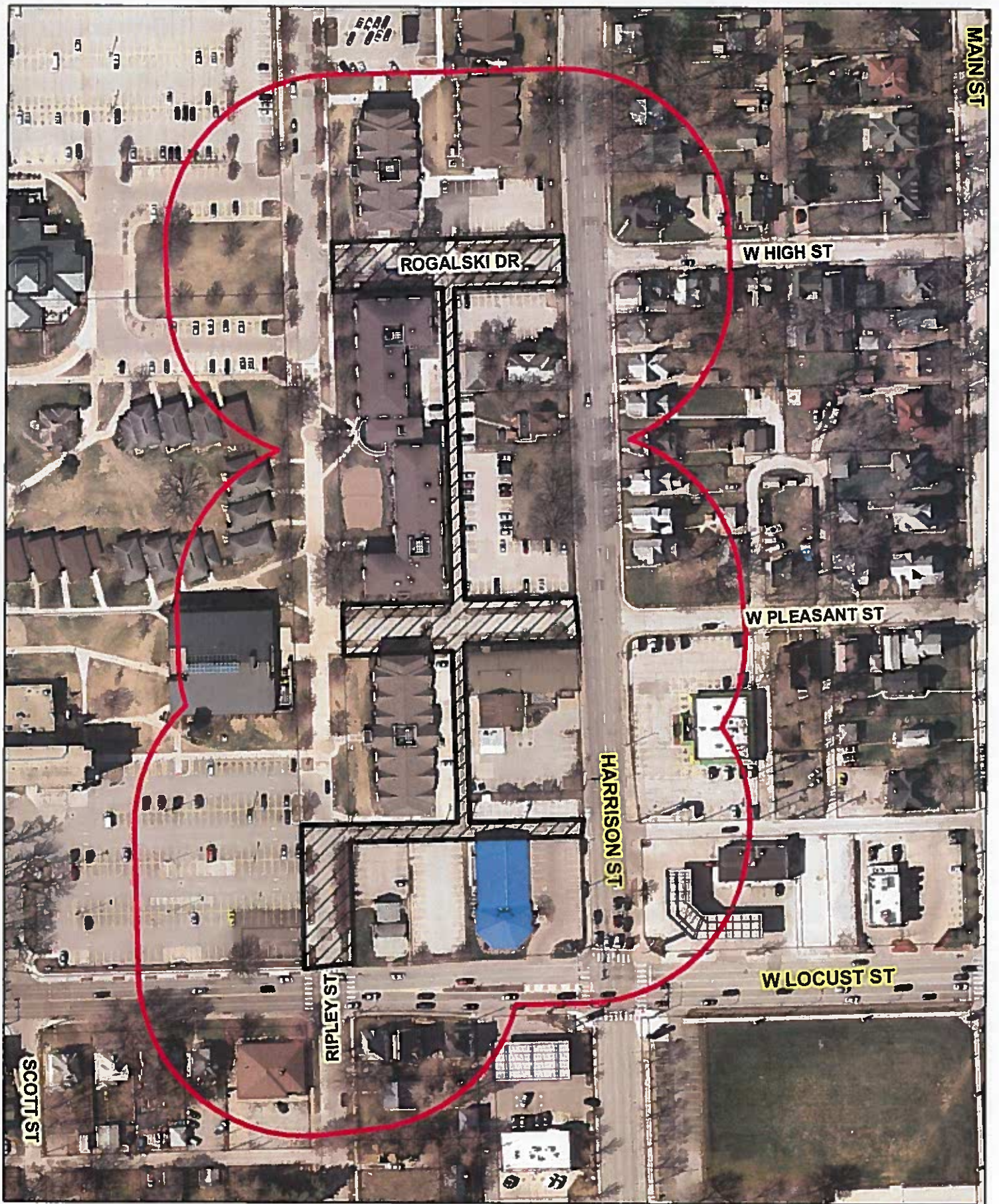
Thence East along said north right of way line, a distance of 130.0± feet to the west right of way line of a 15-foot alley running north and south thru said Block 2;

Thence North along said west right of way line, a distance of 373.0± feet to the south right of way line of Rogalski Drive;

Thence West along said south right of way line, a distance of 130.0± feet to the east right of way line of Vacated Ripley Street;

Thence North along said east right of way line, a distance of 60.0± feet to the Point of Beginning.

The above described parcel contains 1.29 acres, more or less as shown by the attached Vacation Plat.



Subject Property



200 Foot Notification Radius



FID	Parcel	Address	Deed1_Name
1	B0054-01		ST AMBROSE UNIVERSITY
2	B0054-01B	518 W LOCUST ST	ST AMBROSE UNIVERSITY
3	B0054-32	2020 HARRISON ST	BIRTHRIGHT OF DAVENPORT
4	B0054-33	2026 HARRISON ST	ST AMBROSE UNIVERSITY
5	B0054-34	2028 HARRISON ST	ST AMBROSE UNIVERSITY
6	B0055-05	2117 HARRISON ST	ELIZABETH A SNYDER
7	B0055-06	2115 HARRISON ST	JASON CARL
8	B0055-07	2109 HARRISON ST	WEHR MANAGEMENT LLC
9	B0055-08	2103 HARRISON ST	KIME MULCH CCF LLC
10	B0055-14	225 W HIGH ST	FITZ PROPERTIES LLC RODNEY LEVSEN
11	B0055-15	229 W HIGH ST	AND WIFE
12	B0055-16	2031 N HARRISON ST	BF PROPERTIES LLC
13	B0055-17	2029 HARRISON ST	FITZ PROPERTIES LLC
14	B0055-18	2027 HARRISON ST	FITZ PROPERTIES LLC THOMAS LAMMER
15	B0055-19	2015 HARRISON ST	SANDRA LAMMER
16	B0055-20	2013 HARRISON ST	D&R TREETOP PROPERTIES RI LLC SERIES 1
17	B0058-01	2011 HARRISON ST	JOANNE BENCK
18	B0058-02	2009 HARRISON ST	DELORES KEM
19	B0058-03	2007 HARRISON ST	ANDREW WOLD INVESTMENTS LLC
20	B0058-06	1919 HARRISON ST	DM HOLDINGS LLC
21	B0058-15C	1909 HARRISON ST	LEAR LOCUST LLC
22	B0059-01	2004 RIPLEY ST	ST AMBROSE UNIVERSITY
23	B0059-17B	518 W LOCUST ST	ST AMBROSE UNIVERSITY
24	B0059-20	518 W LOCUST ST	ST AMBROSE UNIVERSITY
25	B0059-35A	2009 RIPLEY ST	ST AMBROSE UNIVERSITY
26	B0059-39A	518 W LOCUST ST	ST AMBROSE UNIVERSITY
27	B0059-40A	328 W LOCUST ST	ST AMBROSE UNIVERSITY
28	B0059-43B		ST AMBROSE UNIVERSITY
29	B0059-44A	310 W LOCUST ST	ST AMBROSE UNIVERSITY
30	B0059-49	HARRISON ST	ST AMBROSE UNIVERSITY
31	B0059-53C	1936 HARRISON ST	ST AMBROSE UNIVERSITY
32	B0059-56A	2006 HARRISON ST	ST AMBROSE UNIVERSITY
33	G0006-24A	401 W LOCUST ST	ST AMBROSE UNIVERSITY
34	G0006-25	411 W LOCUST ST	ST AMBROSE UNIVERSITY
35	G0006-26	417 W LOCUST ST	SANDRA SOUTHERLAND
36	G0006-41A	303 W LOCUST ST	DILLON REAL ESTATE CO INC
37	G0006-43	315 W LOCUST ST	ON THE HILL LLC
38	G0006-44	321 W LOCUST ST	MARY ED & JO PROPERTIES
39	G0006-45	325 W LOCUST ST	WS & J ENTERPRISES LLC
40	G0006-46	1809 RIPLEY ST	MARY LARSON
41	B0053-20		ST AMBROSE UNIVERSITY

Deed1_Addr	Deed1_CSZ
518 W LOCUST ST	DAVENPORT IA 52803
518 W LOCUST ST	DAVENPORT IA 52803
2020 HARRISON ST	DAVENPORT IA 52803
518 W LOCUST ST	DAVENPORT IA 52803
518 W LOCUST ST	DAVENPORT IA 52803
1200 EASTON ST	CHILLICOTHE MO 64601
2115 HARRISON ST	DAVENPORT IA 52803
7115 120TH ST	BLUE GRASS IA 52726
5039 NORWOOD DR	BETTENDORF IA 52722
38354 KATHLEEN WAY	DAVENPORT IA 52807
804 KIRKWOOD BD	DAVENPORT IA 52803
3835 KATHLEEN WAY	DAVENPORT IA 52807
PO BOX 1555	DAVENPORT IA 52809
3835 KATHLEEN WAY	DAVENPORT IA 52807
3625 E 59TH CT	DAVENPORT IA 52807
898 MOUNT CARMEL RD	DUBUQUE IA 52003
2011 HARRISON ST	DAVENPORT IA 52803
2009 HARRISON ST	DAVENPORT IA 52803
3320 W HARBOR DR	BETTENDORF IA 52722
3038 SIDCO DR	NASHVILLE TN 37204
26095 VALLEY DR	BETTENDORF IA 52722
518 W LOCUST ST	DAVENPORT IA 52803
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518 W LOCUST ST	DAVENPORT IA 52803
518 W LOCUST ST	DAVENPORT IA 52803
417 W LOCUST ST	DAVENPORT IA 52803
1014 VINE STREET	CINCINNATI OH 45202
2705 HAPPY JOE DR	BETTENDORF IA 52722
2928 GAINES ST	DAVENPORT IA 52804
2705 HAPPY JOE DR	BETTENDORF IA 52722
2928 N GAINES ST	DAVENPORT IA 52804
518 W LOCUST ST	DAVENPORT IA 52803

PUBLIC HEARING NOTICE
DAVENPORT PLAN & ZONING COMMISSION
TUESDAY – JULY 18, 2017 5:00 P.M.
COUNCIL CHAMBERS - DAVENPORT CITY HALL
226 WEST 4TH STREET – DAVENPORT, IOWA

Request ROW17-02 of Request of St. Ambrose University for the right-of-way vacation (abandonment) of the following:

- Rogalski Drive from the former Ripley Street to the west line of Harrison Street;
- West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and
- Ripley Street from the north line of West Locust Street to the north line of the east-west alley north of West Locust Street;
- The east-west alley north of West Locust Street between Ripley and Harrison Streets,
- The north-south alley west of Harrison Street between the north line of the east-west alley north of West Locust Street and the south line of Pleasant Street; and
- The north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.

The total area being vacated (abandoned) contains 1.29 acre, more or less. See map on the back.

The City Plan and Zoning Commission will conduct a public hearing concerning this matter at **5:00PM, Tuesday July 18, 2017 in the Council Chambers of Davenport City Hall at 226 West 4th Street**, Davenport, Iowa.

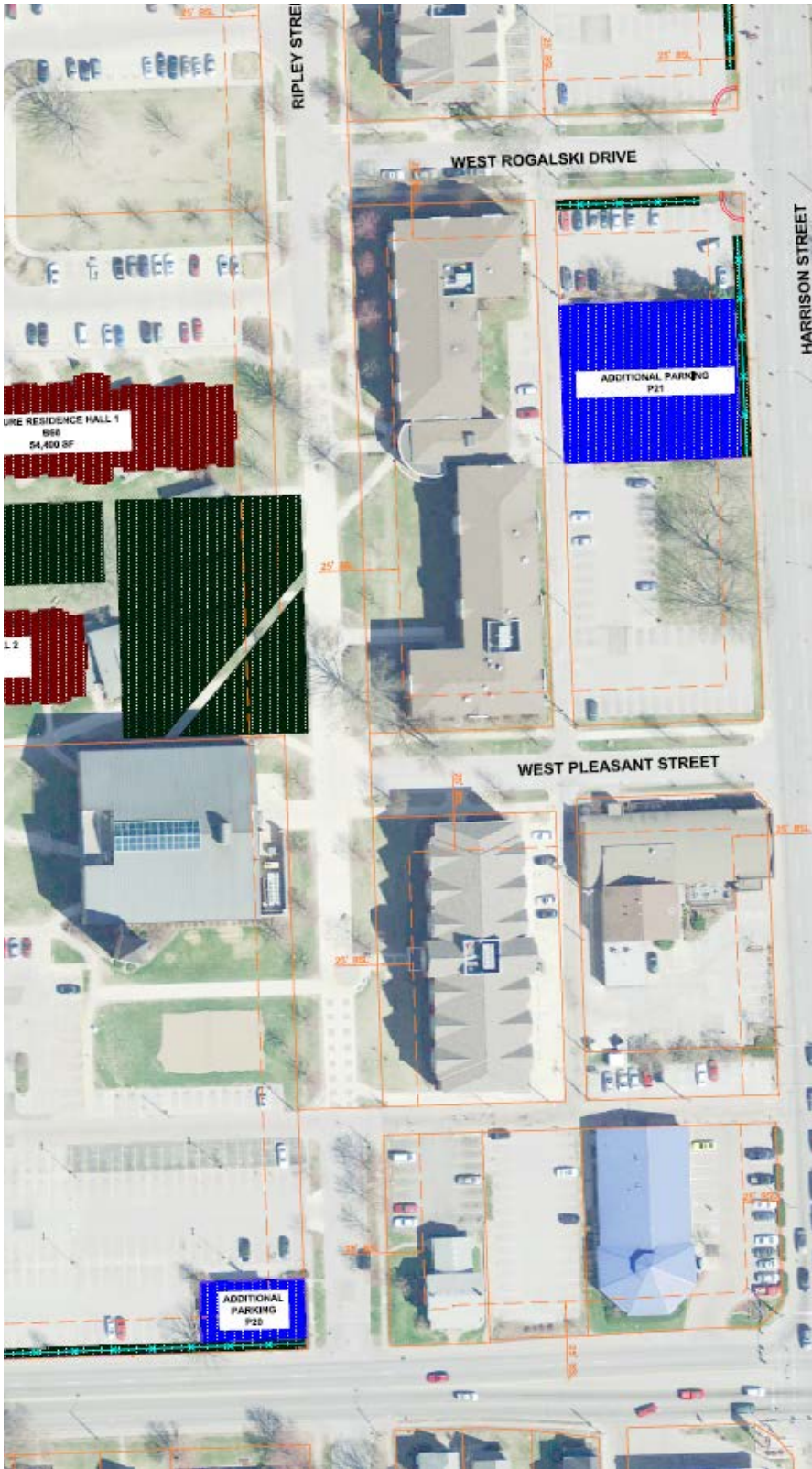
This public hearing is the first step in the vacation process. The City Plan and Zoning Commission will consider (vote on a recommendation) the petition at its regular meeting on Tuesday August 1, 2017. The Commission's report and recommendation will then be forwarded to the City Council. The City Council will then hold its own public hearing, as required by state law. You should also receive a notice of the City Council's public hearing. For the ordinance to be approved, it must be read/considered at three (3) separate City Council meetings. For the specific dates and times of subsequent meetings, please email or call the phone number below.

Please feel free to comment on this request. Comments to The City Plan and Zoning Commission must be presented in writing/email. Any written comments to be reported at the Commission's public hearing should be received in the office of Community Planning, City Hall, not later than 12:00 noon, on the day of the public hearing, though protests may be received up through the City Council's public hearing.

To submit written comments send email to planning@ci.davenport.ia.us or mail a letter to:
P&Z/City Hall, 226 West Fourth Street, Davenport, IA 52801

Please note that items may be removed from the agenda or tabled to a future hearing date at the request of the Petitioner. If you choose to attend the hearing, you may wish to contact Community Planning prior to your departure for the meeting to learn of any changes to the agenda.

Contact the Community Planning and Economic Development Department case manager:
Email: rrusnak@ci.davenport.ia.us • Phone: 888-2022



ST. AMBROSE UNIVERSITY P.I.D.

DAVENPORT, IOWA

LAND USE PLAN

Missman Project No:
C11L031

Missman, inc.
Professional Engineers & Land Surveyors

Rock Island, IL • Bettendorf, IA • Rockford, IL • Sycamore, IL
(309) 788-7644 (563) 344-2263 (815) 988-5400 (815) 895-3825
www.missman.com

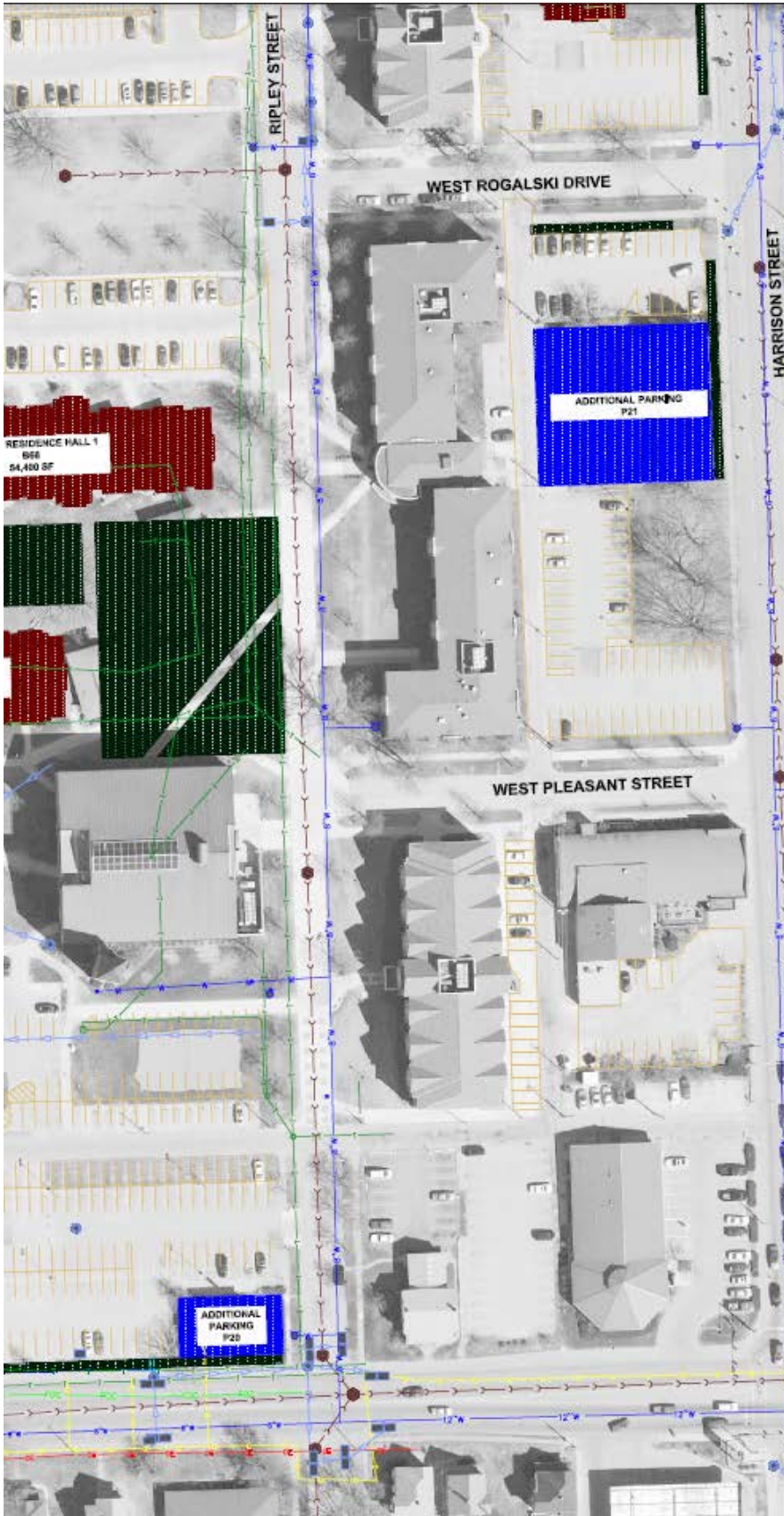


ST. AMBROSE UNIVERSITY P.I.D.
DAVENPORT, IOWA

EXISTING CONDITIONS

Missman Project N
C11L031
File Name:
C11L031_Base.dwg
© COPYRIGHT 2011
ALL RIGHTS RESERVED

Missman, inc.
Professional Engineers & Land Surveyors
Rock Island, IL (309) 788-7644
Bettendorf, IA (563) 344-0280
Rockford, IL (815) 985-8400
Sycamore, IL (815) 895-3825



ST. AMBROSE UNIVERSITY P.I.D.
DAVENPORT, IOWA

UTILITY PLAN

Missman Project No:
C11L031
File Name:

Missman, Inc.
Professional Engineers & Land Surveyors

Rock Island, IL • Bettendorf, IA • Rockford, IL • Sycamore, IL
(309) 785-1644 • (563) 344-0260 • (815) 985-8400 • (815) 895-3825
www.missman.com

Rusnak, Ryan

From: Carlson, Dawn M <DMCarlson@midamerican.com>
Sent: Tuesday, July 11, 2017 1:22 PM
To: Miller, Nathaniel E; Wahlheim, Derek R
Cc: Hofer, Derick; Rusnak, Ryan
Subject: RE: St. Ambrose ROW vacations

Good Afternoon;

In the event a vacation ordinance is adopted, it is requested that a reservation be included to maintain, operate, remove, repair, replace, construct, reconstruct or relocate the electric and gas facilities within the entire vacated street/alley right of way. It is also requested that a copy of the ordinance be forwarded to this office.

Thanks
Dawn

From: Miller, Nathaniel E
Sent: Tuesday, July 11, 2017 11:18 AM
To: Wahlheim, Derek R <DRWahlheim@midamerican.com>; Carlson, Dawn M <DMCarlson@midamerican.com>
Cc: Hofer, Derick <DHofer@midamerican.com>
Subject: RE: St. Ambrose ROW vacations

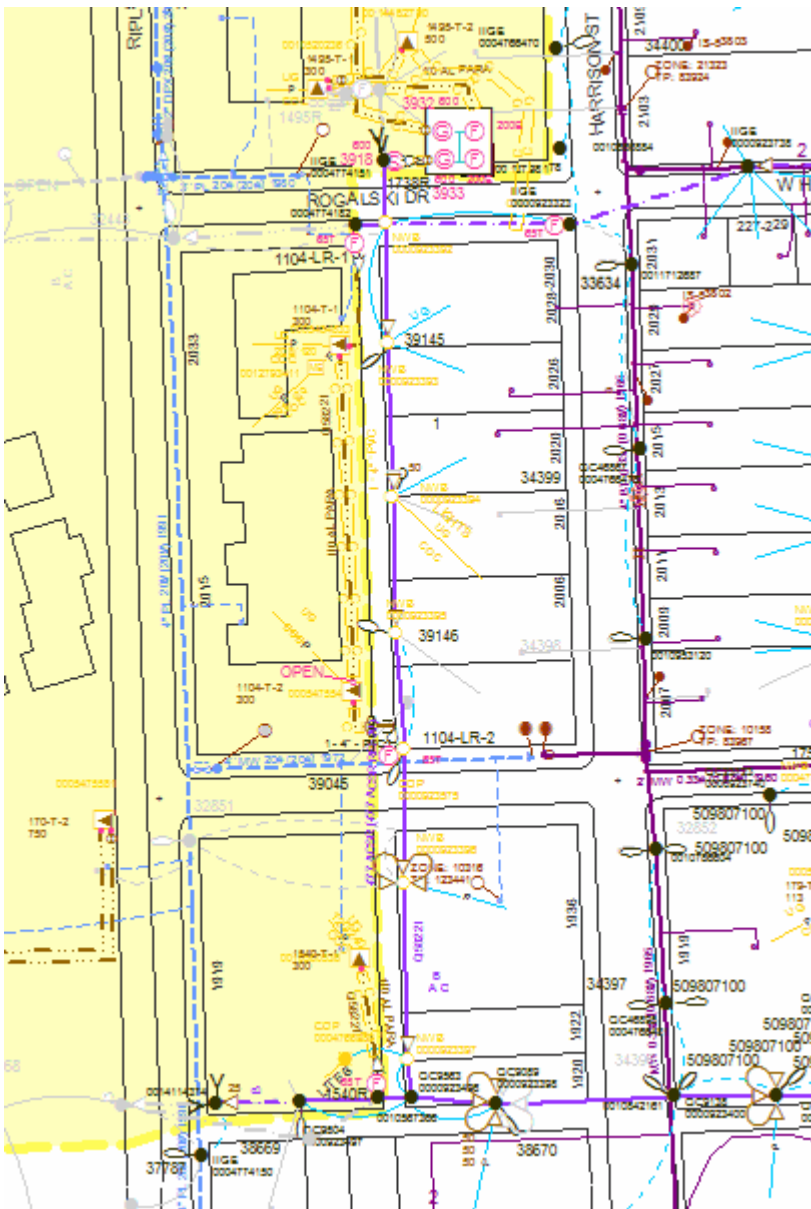
I would agree with Derek statement we need to maintain easements.

Nate

From: Wahlheim, Derek R
Sent: Friday, July 07, 2017 8:57 AM
To: Carlson, Dawn M
Cc: Miller, Nathaniel E; Hofer, Derick
Subject: RE: St. Ambrose ROW vacations

Dawn,

MEC gas and electric both have lots of facilities in these areas they want to vacate. We would need to maintain easements for our existing facilities and make sure that they continue to provide hard surface access. The OH is a mainline circuit for Q58221 that serves the majority of the campus as well as other residential and commercial customers in the area.



I've cc'd Derick Hofer who is the KAM for ST Ambrose.

Derick - It would be interesting to know why the college wants to vacate the easement. Have you heard from them about this? Do you know what their plans are?

Thanks

Derek Wahlheim
 Supervisor – Electric Distribution Engineering
 2811 5th Ave
 Rock Island, IL 61201
 (309) 793-3696 – Office
 (563) 271-1263 – Cell



[<Apply For Service>](#) [<Service Manual>](#)

From: Rusnak, Ryan [<mailto:rrusnak@ci.davenport.ia.us>]

Sent: Thursday, July 06, 2017 5:08 PM

To: Berger, Bruce; Carlson, Dawn M; Cox, David; Driskill, Amy; DuBois Julie; Fisher, William (Billy); Flynn, Matt; Gleason, Nicole; Glessner, Antonio ; Hayman, Michael; Heyer, Brian; Hock, Scott; Hocker, Ron; Jacobsen, Henry; Johnson, Christopher T.; Johnson, Joy ; Jones, Todd; Kay, Amy; Koops, Scott E.; Kull, David; Leabhart, Tom; Longlett, Eric; Maloney, Mike; McGee, Mike; Miers, Dan; Miller, Nathaniel E; Morris, Kathy; Peterson, Zach; Ralfs, Jacob; Rusnak, Ryan; Schadt, Brian; Scheible, Kurt; Schnauber, Eric; Sim, Nicholas; Statz, Gary; Tate, Art; Wahlheim, Derek R; Wille, Wayne
Subject: [INTERNET] St. Ambrose ROW vacations

**** STOP. THINK. External Email ****

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
Planner III
City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

[Click here for more information about the Zoning Ordinance Rewrite.](#) **Spread the Word!**



Rusnak, Ryan

From: David A Kull <David.Kull@amwater.com>
Sent: Thursday, July 06, 2017 5:53 PM
To: Rusnak, Ryan
Cc: Julie S Allender
Subject: RE: St. Ambrose ROW vacations

Ryan,

Iowa American has an 8" water main and hydrant within Ripley Street, that would require a utility easement for the west half of the Ripley ROW.

David Kull, P.E.
Senior Engineer
Iowa American Water
5201 Grand Avenue
Davenport, IA 52807
Internal: 7-531-9225
Office: (563) 468-9225
Cell: (563) 529-0729
david.kull@amwater.com

From: Rusnak, Ryan [<mailto:rrusnak@ci.davenport.ia.us>]
Sent: Thursday, July 06, 2017 5:08 PM
To: Berger, Bruce <beb@ci.davenport.ia.us>; Carlson, Dawn <DMCarlson@midamerican.com>; Cox, David <dac@ci.davenport.ia.us>; Driskill, Amy <adriskill@davenportlibrary.com>; Julie S Allender <Julie.DuBois@amwater.com>; Fisher, William (Billy) <wfisher@ci.davenport.ia.us>; Flynn, Matt <matt.flynn@ci.davenport.ia.us>; Gleason, Nicole <ngleason@ci.davenport.ia.us>; Glessner, Antonio <Antonio.Glessner@CenturyLink.com>; Hayman, Michael <f513@ci.davenport.ia.us>; Heyer, Brian <beh@ci.davenport.ia.us>; Hock, Scott <shock@ci.davenport.ia.us>; Hocker, Ron <rkh@ci.davenport.ia.us>; Jacobsen, Henry <p11214@ci.davenport.ia.us>; Johnson, Christopher T. <cjohnson@ci.davenport.ia.us>; Johnson, Joy <johnsonj@davenportschools.org>; Jones, Todd <tmj@ci.davenport.ia.us>; Kay, Amy <akay@ci.davenport.ia.us>; Koops, Scott E. <sek@ci.davenport.ia.us>; David A Kull <David.Kull@amwater.com>; Leabhart, Tom <ctl@ci.davenport.ia.us>; Longlett, Eric <elonglett@ci.davenport.ia.us>; Maloney, Mike <maloneym@davenportschools.org>; McGee, Mike <mgm@ci.davenport.ia.us>; Miers, Dan <dmiers@ci.davenport.ia.us>; Miller, Nate <NEMiller@midamerican.com>; Morris, Kathy <kmorris@wastecom.com>; Peterson, Zach <zpeterson@ci.davenport.ia.us>; Ralfs, Jacob <jralfs@ci.davenport.ia.us>; Rusnak, Ryan <rrusnak@ci.davenport.ia.us>; Schadt, Brian <bschadt@ci.davenport.ia.us>; Scheible, Kurt <kscheible@ci.davenport.ia.us>; Schnauber, Eric <eschnauber@ci.davenport.ia.us>; Sim, Nicholas <nsim@ci.davenport.ia.us>; Statz, Gary <gjs@ci.davenport.ia.us>; Tate, Art <tateart@davenportschools.org>; Wahlheim, Derek <drwahlheim@midamerican.com>; Wille, Wayne <wtw@ci.davenport.ia.us>
Subject: St. Ambrose ROW vacations

EXTERNAL EMAIL - "Think before you click!"

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
Planner III
City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

[Click here for more information about the Zoning Ordinance Rewrite.](#) **Spread the Word!**



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www.amwater.com

Rusnak, Ryan

From: Kay, Amy
Sent: Friday, July 07, 2017 7:49 AM
To: Rusnak, Ryan
Cc: Fisher, William (Billy); Hocker, Ron; Leabhart, Tom; Longlett, Eric; Schadt, Brian
Subject: RE: St. Ambrose ROW vacations

Good morning Ryan,

I don't see any initial red flags from a NR perspective. I'd have to review drainage in this area to see if there is any need for drainage easements, though I believe the storm infrastructure is on the periphery of the vacation requests.

Are they working off of a master plan for this area?

Amy

From: Rusnak, Ryan
Sent: Thursday, July 06, 2017 5:08 PM
To: Berger, Bruce; Carlson, Dawn; Cox, David; Driskill, Amy; DuBois Julie; Fisher, William (Billy); Flynn, Matt; Gleason, Nicole; Glessner, Antonio ; Hayman, Michael; Heyer, Brian; Hock, Scott; Hocker, Ron; Jacobsen, Henry; Johnson, Christopher T.; Johnson, Joy ; Jones, Todd; Kay, Amy; Koops, Scott E.; Kull, David; Leabhart, Tom; Longlett, Eric; Maloney, Mike; McGee, Mike; Miers, Dan; Miller, Nate; Morris, Kathy; Peterson, Zach; Ralfs, Jacob; Rusnak, Ryan; Schadt, Brian; Scheible, Kurt; Schnauber, Eric; Sim, Nicholas; Statz, Gary; Tate, Art; Wahlheim, Derek; Wille, Wayne
Subject: St. Ambrose ROW vacations

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
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City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

[Click here for more information about the Zoning Ordinance Rewrite.](#) Spread the Word!



Rusnak, Ryan

From: Leabhart, Tom
Sent: Friday, July 07, 2017 1:48 PM
To: Rusnak, Ryan
Cc: Cox, David
Subject: RE: St. Ambrose ROW vacations

Ryan,

I will send a response to this soon but first I have a question or two. There is sanitary and storm in Ripley for which we will want to maintain an easement.

When we or other utilities need easements maintained, do we just keep the entire ROW or are specific widths requested? Are there any easement plats or descriptions generated?

For example in the previous St Ambrose vacations to the north we would have requested easements, but we have no record of what was actually kept/conveyed. If we wanted to put easements for these into GIS what would they look like?

Thanks.

Tom Leabhart, P.E.
Davenport Public Works
563-327-5155

From: Rusnak, Ryan
Sent: Thursday, July 06, 2017 5:08 PM
To: Berger, Bruce; Carlson, Dawn; Cox, David; Driskill, Amy; DuBois Julie; Fisher, William (Billy); Flynn, Matt; Gleason, Nicole; Glessner, Antonio ; Hayman, Michael; Heyer, Brian; Hock, Scott; Hocker, Ron; Jacobsen, Henry; Johnson, Christopher T.; Johnson, Joy ; Jones, Todd; Kay, Amy; Koops, Scott E.; Kull, David; Leabhart, Tom; Longlett, Eric; Maloney, Mike; McGee, Mike; Miers, Dan; Miller, Nate; Morris, Kathy; Peterson, Zach; Ralfs, Jacob; Rusnak, Ryan; Schadt, Brian; Scheible, Kurt; Schnauber, Eric; Sim, Nicholas; Statz, Gary; Tate, Art; Wahlheim, Derek; Wille, Wayne
Subject: St. Ambrose ROW vacations

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
Planner III
City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

[Click here for more information about the Zoning Ordinance Rewrite.](#) **Spread the Word!**

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:

Tuesday, August 01, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall - 226
West 4th Street

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:57 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:
Report of City Council Activity

ATTACHMENTS:

Type	Description
▣ Resolution Letter	Council rept

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:56 PM

Report of City Council Activity

June 28 & July 12, 2017 Meetings –

- Adopted Ordinance 2017-265 for Case No. REZ17-03 the rezoning of 64.6 acres, more or less, of property located west of Division Street and south of Interstate 80 from A-1 Agricultural District to M-1 Light Industrial District. [Ward 8]
- Adopted Resolution 2017-266 approving Case No. F17-09 being the final plat of Riverview on 6th, being a replat of a part of Lots 8, 9, and Lot 10 of Block 146 and Lot 7 and a part of Lot 6 of Block 125 of LeClaire's 12th Addition, located west of Grand Avenue on either side of East 6th Street, containing 0.84 acres, more or less, and three (3) residential lots. [3rd Ward]
- Adopted Resolution 2017-267 approving Case No. F17-10 being the final plat of Interstate 80 Airport Industrial Park 10th Addition. The property is located at the northeast corner of Hillandale Road and Research Parkway, containing two industrial lots on 29.43 acres, more or less. [8th Ward]
- Adopted Resolution 2017-268 approving Case No. FDP17-02 being the request of Genesis Health System for a PDD Final Development Plan approval for a medical office building located on 2.92 acres, more or less, of property located at 3200 West Kimberly Road. [2nd Ward]
- Adopted Ordinance 2017- approving Case No. ROW17-02 being the request of Genesis Health System for the right-of-way vacation (abandonment) of 0.38 acre (16,800 square feet), more or less, of public right-of-way known as East Lombard Street between College Avenue and the west line extended of the north-south alley east of formerly vacated Esplanade Avenue. The request is to facilitate campus expansion. [5th Ward]
- Adopted Ordinance 2017- approving Case No, ROW17-03 being the request of Genesis Health System for the right-of-way vacation (abandonment) of 0.26 acre (11,400 square feet), more or less, of public right-of-way known as Denison Avenue between the west line of Adams Street and the railroad. The request is to facilitate securing the property. [5th Ward]

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:
Minutes June 20, 2017 Regular Meeting

ATTACHMENTS:

Type	Description
▣ Cover Memo	Minutes June 20, 2017 meeting

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:56 PM

**CITY PLAN AND ZONING COMMISSION
CITY OF DAVENPORT, IOWA**

**TUESDAY JUNE 20, 2017 • 5:00 PM
COUNCIL CHAMBERS – DAVENPORT CITY HALL
226 W 4TH STREET DAVENPORT, IA**

MINUTES

By this reference all reports, documents, presentations and the meeting video record are made a part of the minutes.

PUBLIC HEARING AGENDA

The public hearing was opened at 5:00 P.M. and the following public hearing was held:

OLD BUSINESS –

NEW BUSINESS –

Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

Next Public Hearing:

Monday, July 03, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street. (Note the July 03 meeting has been cancelled due to the holiday)

REGULAR MEETING AGENDA

The regular meeting was called to order at 5:12 P.M., following the public hearing.

I. Roll Call of the Membership

Present: Connell, Hepner, Inghram, Kelling, Lammers, Maness, Martinez, Medd, Quinn, Reinartz and Tallman

Excused: None

Absent: None

Staff: Flynn, Heyer, Leabhart, Statz and Wille.

II. Report of the City Council Activity – as presented

III. Secretary's Report June 06, 2017 meeting minutes were approved

IV. Report of the Comprehensive Plan Committee – Flynn stated the technical review report has been submitted and is posted on the project's website www.davenportzoning.com. There will be a public meeting schedule for July 20th held in conjunction with RDG's presentation on the trails update.

V. Zoning Activity

A. Old Business – None

B. New Business -

- 1. Case No. REZ17-04:** Request of Costco Wholesale Corporation for the rezoning of 17.1 acres, more or less, of real property located north of East 53rd Street and west of Elmore Circle (2780 – 2786 E 53rd St) from "A-1" Agricultural District, and "R-1" and "R-2" both Low Density Dwelling Districts to "PDD" Planned Development District. The rezoning would allow commercial development.

Staff recommends the Plan and Zoning Commission forward Case No. REZ17-04 to the City Council for approval.

Findings:

- 1) Amending the Future Land Use Map included in *Davenport+2035* results in more choices for major retail establishments to locate in this active corridor with minimal disruption to surrounding properties.
- 2) The proposed rezoning will not appreciably increase impacts to surrounding properties, including additional congestion on 53rd Street, compared to other development scenarios or even a no-build situation.
- 3) Conditions on the proposed rezoning and the associated Final Development Plan (FDP17-04) and planned improvements to East 53rd Street will mitigate traffic impacts.
- 4) A possible north entrance to the site has been established through condition (2) below.

Conditions:

- 1) Comprehensive Plan Amendment

That the Future Land Use Map included in *Davenport +2035* be amended to designate this property as "RC-Regional Commercial".

- 2) Future Development Referring to the Land Use Plan ("Exhibit A"), it is acknowledged that the properties "A", "B" and "C" depicted on Exhibit A must be subdivided prior to development.

a) Tract A is proposed for a 'big box' retail store, associated fuel island facility, stormwater detention facility, parking and landscaping.

b) Tract B is anticipated to be developed as low to medium density residential, complimentary to the residential development to the west. City and owner acknowledge that connectivity for Tract B between the residential development to the west and Elmore Avenue may be desirable in the future and agree to work on designing a street or private drive that would provide a route to Elmore Avenue to the end user of Tract A as well as the future residential development on Tract B.

The goal of developing this street or private drive shall be to provide a tertiary access point to Tract A, and provide safe and well-managed connection for vehicles and pedestrians to Elmore Avenue. City shall allow owner to review and provide input on the design of the street or private drive so the above goal can be obtained while allowing owner the ability to maximize development potential.

If requested to do so by the City, the owner shall dedicate at no cost to the City such ground as will be necessary for the placement of a street or private drive (including sidewalk) to Elmore Avenue. However the dedication called for herein shall not exceed 60 feet in width either sufficient

~~right of way or grant an easement to allow the construction of a street or private drive connection, including a sidewalk, to Elmore Avenue.~~ Dedication of ground shall occur only at such time as the City agrees to construct funds and commits to build said street or private drive up to the property line of Tract A and up a point in Tract B where individual lots for development take their access.

Owner of Tract A, at its own cost, shall connect a driveway and make necessary site alterations on its own property to accommodate the possible future access point to the north if requested to do so by the City. Owner of Tract A agrees that this proposed access point shall not be designated as the principal entrance for truck and or delivery traffic.

c) Tract C is anticipated to be developed commercially, either as 'big box retail', as an in-line commercial center or as a mixed use development.

3) Public Works/Engineering Conditions

A Final Development Plan shall be approved prior to any construction permits issued for the property.

On a motion by Kelling, seconded by Reinartz, to amend condition 2b related to the north access reducing the City's cost to a cost share with the developer (joint financing) was approved on a split vote: 6-yes, 3-no (Connell, Medd, Quinn) and 1-abstention (Tallman).

On a motion by Reinartz, seconded by Quinn, to forward Case No. REZ17-04 to the City Council for approval subject to the above stated conditions as amended was approved on a split vote: 6-yes, 3-no (Hepner, Quinn, Reinartz) and 1-abstention (Tallman).

- 2. Case No. FDP17-04:** Request of Costco Wholesale Corporation for a PDD final development plan on 17.1 acres, more or less, of real property located north of East 53rd Street and west of Elmore Circle (2780 – 2786 E 53rd St) to facilitate commercial development (a member's only retail warehouse, free standing fueling station and attached tire center).

Finding:

Application meets the intent and requirements of Chapter 17.32 of the Municipal Code.

Recommendation:

Staff recommends the Plan and Zoning Commission forward Case No. FDP17-04 be forwarded to the City Council with a recommendation for approval, subject to the following conditions:

1. The property be rezoned to PDD, Planned Development District
2. Prior to approval of any future site, engineering and building plans, the following items must be satisfactorily addressed:
 - a) The new right of way line and sidewalk should both be shown as straight lines between the two driveways rather than offsetting to the south. Although this may interfere with the future fuel expansion, it appears that a setback variance for the sidewalk may be needed in any case.
 - b) Construction details for the proposed 53rd Street widening, turn lane additions, driveways, storm and sanitary sewers are needed. Some of these details may affect the new right of way and sidewalk locations.

- c) With City input Costco is to design and construct the full width reconstruction of 53rd Street from roughly the east side of the Lorton Avenue to near the fire station. The city will reimburse Costco for eligible costs. Non-eligible costs include but may not be limited to construction of right turn lanes into the Costco Site, 53rd Street middle turn lane between the west Costco property line and the easterly end of the east right turn lane, traffic signals at the west Costco entrance, necessary pavement marking updates for right and left turn lanes and storm sewer modifications required by Costco site improvements.
- d) Along with the delivery truck entrance path the exit path should also be shown on the plan. Trucks should be able to exit to the east using the signalized entrance.
- e) Drainage and stormwater management documentation needs to be submitted and reviewed to verify compliance of City Stormwater Ordinance 13.34.
- f) The right of way lines for the lots on either side of Fairhaven Road should be corrected. The right of way lines for these two properties are located approximately one foot south of the sidewalk.
- g) A left turn lane shall be constructed for the west entrance. The turn lane length shall be approximately 150 feet long. This will necessitate the reduction of the westbound left turn lane at Lorton Avenue to a length of approximately 50 feet.
- h) The west entrance shall be signalized and the signalization shall be paid for entirely by the developer and constructed to City of Davenport standards. All equipment used for signalization must be approved by the Traffic Engineer. The signal will be interconnected with the adjacent signals in both directions on 53rd Street. The City will likely already have conduit and fiber optic cable along this corridor when the signals are installed. City staff will create the timing plan for the signals.
- i) Right turn lanes shall be constructed for both entrances. The right turn lane for the west entrance will be the length of road between the entrances and the one for the east entrance will be as long as practical. The slope of the fire station entrances, especially the one leading to the building, will determine how long that right turn lane can be.
- j) The east entrance shall be a right-in, right-out entrance. The only way to ensure no left turns in or out of that entrance is to construct a raised median in 53rd Street. The median shall start just past the west entrance and continue just past Fairhaven and the east entrance. A short left turn lane shall be constructed at the end of the median to accommodate left turns into the fire station's west driveway.

On a motion by Reinartz, seconded by Quinn, to forward Case No. FDP17-04 to the City Council for approval, subject to the anove stated condition was approved on a split vote: 7-yes, 2-no (Hepner, Reinartz) and 1-abstention (Tallman).

VI. Subdivision Activity

A. Old Business – None

B. New Business –

- 1.** Case No. F17-12: Final plat of Riverview Collective on Sixth, being a replat of Lots 1-6 and the East 33 feet of Lot 7 of Block 147 of LeClaire's 12th

Addition, located on the north side of East 6th Street between Sylvan and Grand Avenues, containing six (6) residential lots on 1.47 acres, more or less.

Findings:

- The plat conforms to the Comprehensive Plan Davenport 2035
- The plat promotes infill development

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. F17-12 the final plat of Riverview Collective on Sixth to the City Council for approval subject to the following conditions:

1. That the surveyor sign the plat
2. That utility companies sign the plat when their easement need have been met.

On a motion by Medd, seconded by Connell, to forward Case No. F17-12 the final plat of Riverview Collective on Sixth to the City Council for approval subject to the above stated conditions was unanimously approved: 10-yes, 0-no, 0-abstentions.

2. Case No. F17-13: Final plat of Crow Valley Plaza Tenth Addition, being in part a replat of Lot 1 of Midland Group Addition, Lot 1 of Crow Valley Plaza Second Addition and Lot 1 of Crow Valley Plaza Seventh Addition, located north of East 56th Street and east of Utica Ridge Road, containing four (4) commercial lots on 35.30 acres, more or less.

Findings:

The plat facilitates future development with the zoning allowing for both commercial and residential development.

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. F17-13 to the City Council for approval subject to the following conditions:

1. That stormwater detention will be required and retention will be evaluated as each development occurs and Note 5 "stating no detention required" is removed.
2. That the plat be tied to two existing subdivision corners and that these corners are identified on the plat.
3. The surveyor signs the plat.
4. The utility companies sign the plat when their easement needs have been met.
5. There are drainage ways crossing multiple lots within the proposed platted area which are not addressed. With development drainage must be maintained. The plat should contain drainage way and or sewer easements as being dedicated.
6. A note is added to the plat stating that lots 2 and 3 shall have no direct access to Utica Ridge Road. Access shall be provided via existing abutting east-west streets.
7. There is an existing sanitary sewer and associated manhole(s) located within lots 1 and 4. The location of this sewer is to be field verified prior to Council acceptance of the plan and additional sewer easement(s) dedicated as necessary.

8. With development construction plans for streets, site grading, storm sewer and sanitary sewer are submitted to the Public Works Department for review and approval.

On a motion by Medd, seconded by Connell, to forward Case No. F17-13 the final plat of Crow Valley Plaza Tenth Addition to the City Council for approval subject to the above stated conditions was approved: 9-yes, 0-no, 1-abstentions (Quinn).

3. Case No. F17-14: Final plat of Falcon Pointe First Addition, being a replat of Lot 3 of Eagle's Crest First Addition, located south of West Locust Street and west of Emerald Drive, containing 39 residential lots and one (1) outlot on 22.16 acres, more or less. Detention is on a separate outlot south of the plat on 3.39 acres, more or less.

Staff recommends the Plan and Zoning Commission accepts the findings and forward Case No. F17-14 to the City Council for approval subject to the following conditions:

1. It shall be noted on the plat (in some manor) that the ROW and easements shown are dedicated with the platting;
2. "Lot A" shall be titled "Outlot A" and the owner of should be noted;
3. Lot A (Outlot A) should be dedicated as a detention easement and the outlet works should be included within the easement;
4. A note shall be added to the plat regarding the gas pipeline easement stipulating that there shall be no permanent or temporary structures in the easement including but not limited to houses, garages, sheds, pool, and fencing; and
5. A note shall be added regarding absolute minimum cover over the gas line which shall be no less than 3' (which can include the depth of rock and concrete of the road).

On a motion by Medd, seconded by Martinez, to forward Case No. F17-14 the final plat of Falcon Pointe Addition to the City Council for approval subject to the above stated conditions was approved: 9-yes, 0-no, 1-abstentions (Tallman).

VII. Other Business –

VIII. Future Business – Preview of items for the July 3rd July 18th public hearing and/or regular meeting (*note-not all items to be heard may be listed*):

Case No. ROW17-04: Request of St. Ambrose University for the rights-of-way vacation (abandonment) of portions of three streets:

- 1) Rogalski Drive from the former Ripley Street to the west line of Harrison Street,
- 2) West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and
- 3) Ripley Street from the north line of Locust Street to the north line of the east-west alley north of Locust Street;

and three alleys:

- 1) the east west alley north of Locust Street between Ripley and Harrison Streets,

- 2) the north-south alley west of Harrison Street between the north line of the east-west alley north of Locust Street and the south line of Pleasant Street, and
- 3) the north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.

The total area being vacated (abandoned) contains 1.29 acre, more or less.

VIII. Communications (Time open for citizens wishing to address the Commission on matters not on the established agenda)

IX. Adjourn - The meeting was adjourned at approximately 6:40 p.m.

- *Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.*
- *Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.*
- *A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.*

Next Public Hearing/Regular Plan & Zoning Meeting:

Monday, July 03, July 20, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

Report of City Council Activity

June 14, 2017 Meeting –

- Approved Resolution 2017-240 approving Case No. F17-01 being the final plat of Westport Addition, located along the south side of West Locust Street between Wisconsin and Utah Avenues, containing fifty-four (54) residential lots on 17.58 acres. [Ward 1]
- Approved Resolution 2017-241 approving Case No. F17-06: the final plat of Quinn's Outlots Second Addition being a replat of part of Lot 5 of the Replat of Quinn's Outlots, located east of Pine Street and south of West 49th Street (4821 N Pine St), containing two (2) single family lots. [Ward 8]
- Approved Resolution 2017-242 approving Case No. FDP17-03: Request of Build to Suit Inc on behalf of Family Care Solutions for a PDD final development plan for offices on 1.2 acres, more or less, being Lot 9 of Utica Corners 6th Subdivision located east of Utica Ridge Road and north of Crow Creek Road (4893 Utica Ridge Rd). [Ward 6]
- Approved Motion 2017-243 approving Case No. P17-02 being the preliminary plat of Inverness Estates located east of Division Street and south of West 76th Street, containing 246 residential lots and 51 outlots on 123 acres, more or less. SB Real Estate, petitioner. [Ward 8]

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-2286

Date
7/18/2017

Subject:

Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

ATTACHMENTS:

Type	Description
▣ Exhibit	REZ17-05 Staff Report

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:57 PM



City of Davenport
Community Planning & Economic Development Department
STAFF REPORT

Meeting Date: July 18, 2016
Request: Rezone 0.65 acre from R-1 to R-3 PUD
Address: 5135 Marquette Street
Case No.: REZ17-05
Applicant: Steven & Merideth Hirsch

Recommendation:

Staff recommends that the request be tabled as the petitioner has not supplied a site plan as required.

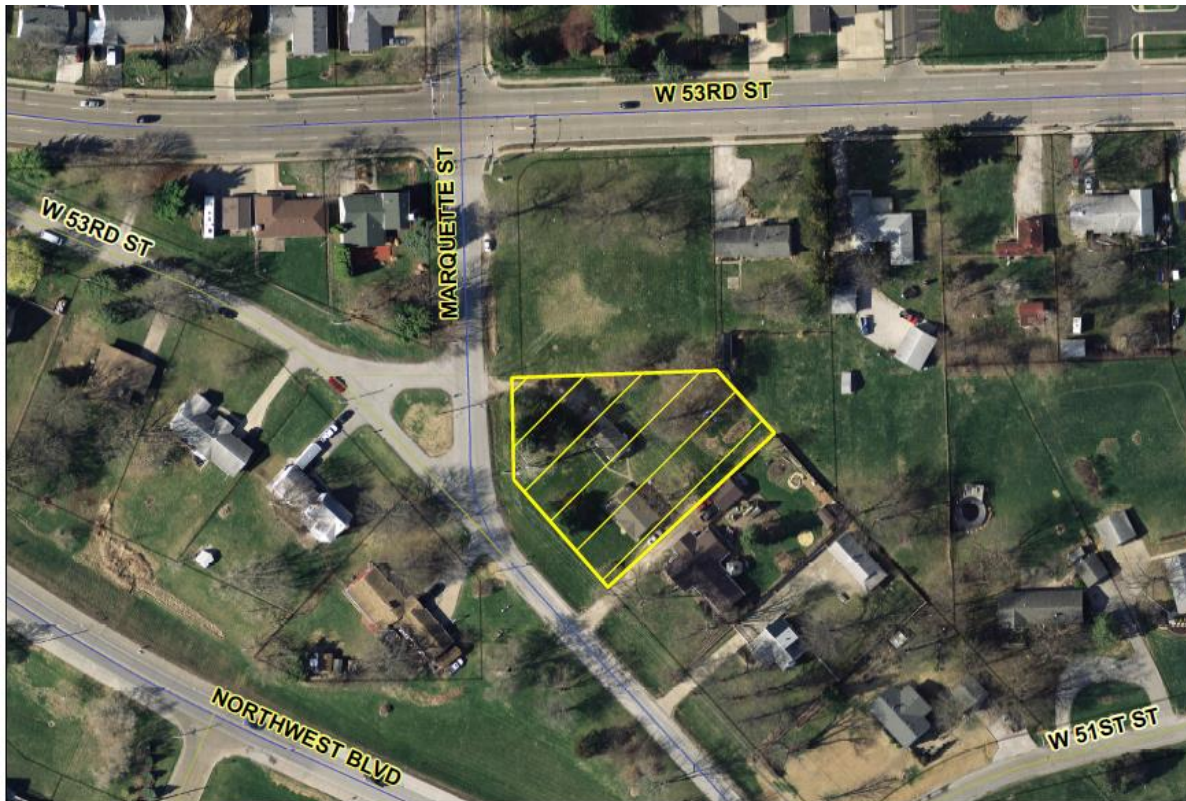
The following is from the Preview Report:

Introduction:

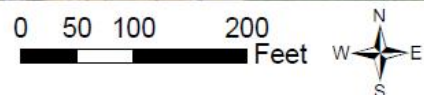
Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft.), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

AREA CHARACTERISTICS:

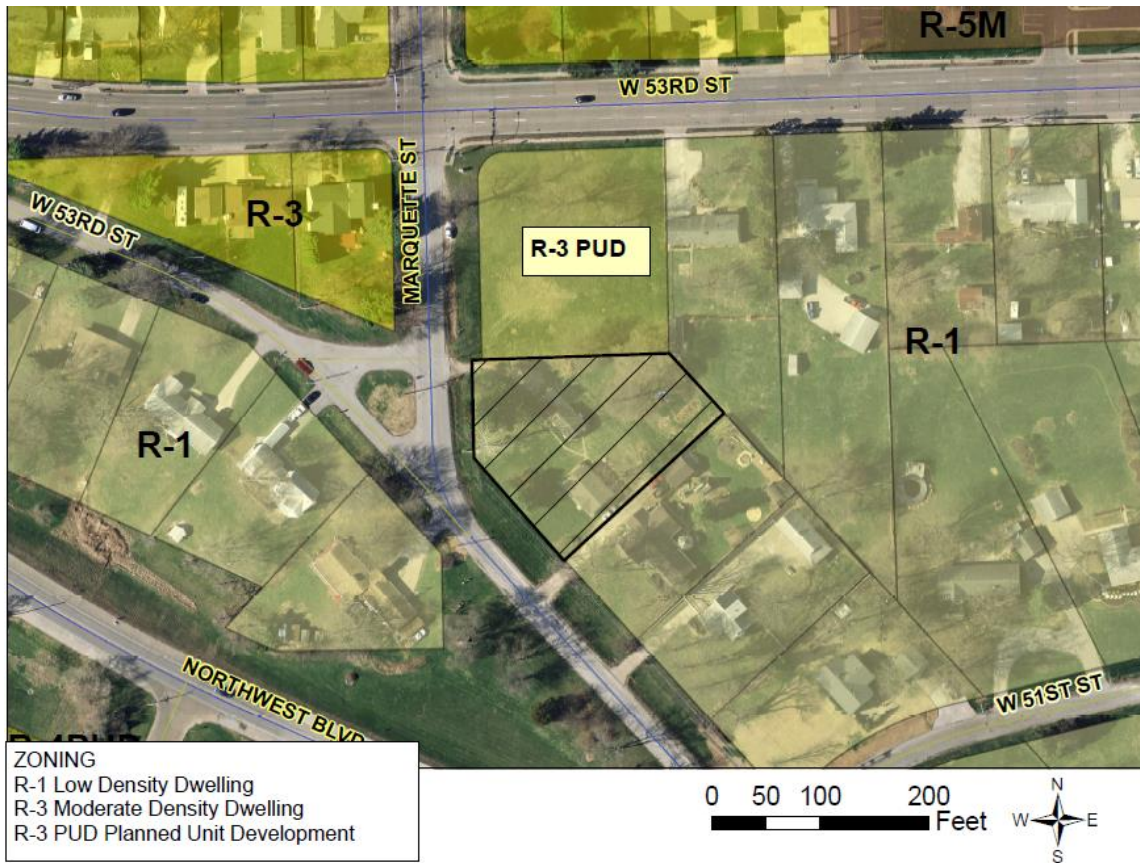
Aerial



Aerial Photo 2014



Zoning Map



Land Use



Background:

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Boundary +2035: Yes

Future Land Use Designation: *Residential General (RG)* - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant Goals to be considered in this Case:

Identify and reserve land for current and future development – *encourage a full range of development.*

Zoning:

The property is currently zoned "R-1" Low Density Dwelling District.

Technical Review:

Streets. The property is located on Marquette Street south of its intersection with West 53rd Street, 5135 Marquette Street. Access is to Marquette Street

Storm Water. Stormwater infrastructure appears to be by overland flow of surface run-off.

Sanitary Sewer. Sanitary sewer service is located in Marquette Street adjacent to the property (8-inch line).

Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located approximately 1-1/2 miles from both Fire Stations No. 3 at 3506 Harrison Street and No. 7 at 2302 West 67th Street.

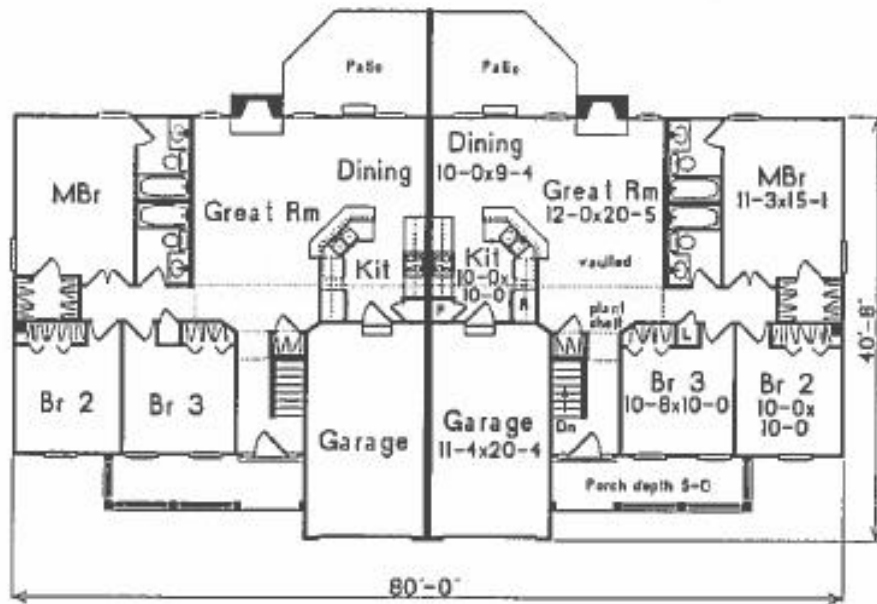
Parks/Open Space. The proposed rezoning does not impact any existing or planned parks or public open spaces.

Public Input:

A public hearing before the Plan and Zoning Commission is scheduled for June 20th. Staff is not yet aware of when the neighborhood meeting would be scheduled.

Discussion:

The property to the north was zoned to the same designation as requested here, R-3 PUD in December of 2016. Four single-family units are proposed in two buildings. Below is the proposal for the building type.



Staff Recommendation:

Staff recommends that the request be tabled as the petitioner has not supplied a site plan as required.

Prepared by:
 Scott Koops, AICP
 Planner II
 Community Planning

Scott Koops

City of Davenport
Plan and Zoning Commission

Department: C
Contact Info: Ryan Rusnak (563) 888-2022
rrusnak@ci.davenport.ia.us

Date
7/18/2017

Subject:

Case No. REZ17-08: Request of Studio 483 Architects on behalf of Palmer College of Chiropractic to rezone 38.65 acres, more or less, generally located between Harrison Street and Pershing Avenue and between East 12th and 5th Streets from: "R-4" Moderate Density Dwelling District, "R-6M" High Density Dwelling District, "C-O" Office-Shop District, "C-1" Neighborhood Commercial District, "C-2" General Commercial District, "C-4" Central Business District and "M-1" Light Industrial District to "PID" Planned Institutional District.

Recommendation:

There is no recommendation at this time.

Background:

See attached staff report.

ATTACHMENTS:

Type	Description
▣ Backup Material	REZ17-08 - Preview Staff Report
▣ Backup Material	Proposed Land Use Map

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:55 PM



City of Davenport
Community Planning & Economic Development Department
PREVIEW STAFF REPORT

Meeting Date: July 18, 2017
Request: "R-4" Moderate Density Dwelling District, "R-6M" High Density Dwelling District, "C-O" Office-Shop District, "C-1" Neighborhood Commercial District, "C-2" General Commercial District, "C-4" Central Business District and "M-1" Light Industrial District to "PID" Planned Institutional District.
Location: Harrison Street and Pershing Avenue and between East 12th and East 5th Streets
Case No.: REZ17-08
Applicant: 483 Architects on behalf of Palmer College of Chiropractic

Recommendation:

There is no recommendation at this time.

Introduction:

Case No. REZ17-08: Request of Studio 483 Architects on behalf of Palmer College of Chiropractic to rezone 38.65 acres, more or less, generally located between Harrison Street and Pershing Avenue and between East 12th and 5th Streets from: "R-4" Moderate Density Dwelling District, "R-6M" High Density Dwelling District, "C-O" Office-Shop District, "C-1" Neighborhood Commercial District, "C-2" General Commercial District, "C-4" Central Business District and "M-1" Light Industrial District to "PID" Planned Institutional District.

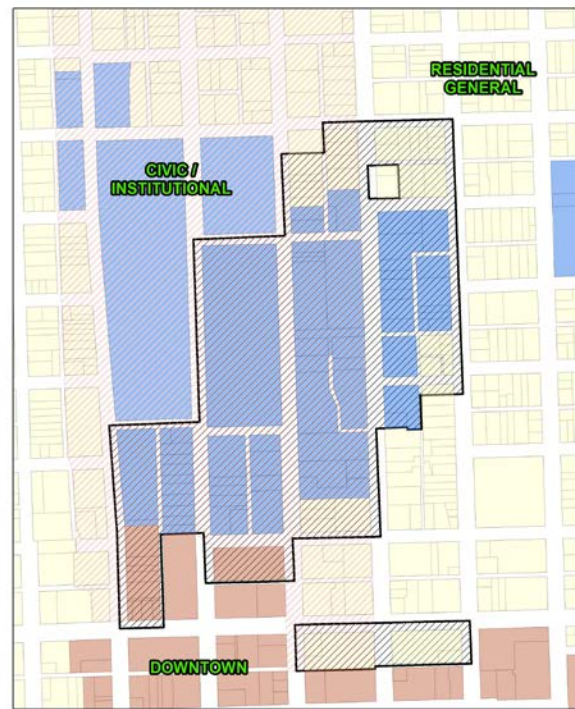
AREA CHARACTERISTICS:

Zoning Map



Subject Property

Land Use Map



Subject Property

Background:**Comprehensive Plan:**

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Future Land Use Designation: Civic and Institutional, Residential General and Downtown.

Civic / Institutional (CI) – Reserved for major developments for government, education, religion, medical, utilities, and other cultural or non-profit organizations located outside of the Downtown (DT).

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Downtown (DT) – the original center of the City, marked by historical buildings, regional cultural attractions, large scale single-purpose or mixed-use developments, government or institutional centers. Development in DT shall be governed by detailed design guidelines marked by high quality design and building materials, set in an environment that is supportive of all transportation modes, including pedestrian.

Relevant Goals to be considered in this Case: Strengthen the Existing Built Environment.

The proposed use would comply with the Davenport 2035 proposed land use section.

Technical Review:

Technical review comments will be provided at the August 1, 2017 Plan and Zoning Commission public hearing.

Public Input:

Notices will be sent to property owners within 500 feet of the request. The applicant held a stakeholder meeting on April 13, 2017 and a neighborhood meeting on April 20, 2017. Approximately 10 stakeholders attended the meeting and approximately 50 surrounding property owners attended the meeting.

Discussion:

In June 2011, the City of Davenport adopted a new "PID" Planned Institutional District zoning classification (Ord. No. 2011-243). The Planned Institutional District applies to all major educational and medical campuses. Existing and proposed campus uses on properties in excess of forty acres in area are required to obtain (apply for) the planned institutional district within five years of the effective date of the ordinance. Additionally, any proposed development of more than five thousand square feet of impervious area within that five year time period shall also require the Planned Institutional District.

The "PID" zoning classification is intended to encourage a comprehensive approach to development by encouraging the adoption of a land use plan rather than the piece-meal review of individual development proposals through the special use permit process. The district is also intended to:

1. Further the policies of the Comprehensive Plan;
2. Encourage the preparation of a land use plan that enables the community to understand the levels of development being proposed, their likely impacts and appropriate mitigation measures;
3. Permit appropriate institutional growth within boundaries of the campus while minimizing the adverse impacts associated with development and geographic expansion;
4. Balance the ability of major institutions to grow and adapt to changing needs while protecting the livability and vitality of adjacent areas.

Staff Recommendation

There is no recommendation at this time.

Prepared by:

A handwritten signature in blue ink, appearing to read "Ryan Rusnak", with a stylized flourish at the end.

Ryan Rusnak, AICP
Planner III



June 26, 2017

Matt Flynn, Senior Planning Manager
Community Planning & Economic Development Department
City Hall
226 W. Fourth Street
Davenport, IA 52801

Re: PALMER COLLEGE OF CHIROPRACTIC
P.I.D. APPLICATION

Dear Matt,

Attached are documents from RDG Planning & Design (Master Plan) and Missman, Inc. (Engineering) for Palmer College of Chiropractic's request to rezone the campus to a "Planned Institutional District" (PID). The master plan, engineering, and support documents present the desire of the college for campus improvement and growth to better serve their students and patients. It will also identify the campus edge and enhance adjacent neighborhoods and city streetscape.

Currently there are approximately 1,000 students enrolled on campus supported by nearly 300 employees. We anticipate that with the completion of the 10-Year Master Plan, the campus could accommodate up to 1,500 students. 150 students currently live on campus and the PID approval would increase that number to 400. Palmer College of Chiropractic also operates the largest Chiropractic Clinic in the world necessitating 50 – 75 additional patient parking spaces.

As required prior to this application, Palmer hosted two community meetings. The first a neighborhood stakeholders meeting on April 13 and a second on April 20 for residential neighbors of the campus. Both were well attended and prompted good dialogue. Ryan Rusnak attended both presentations. The plan was also presented to local business owners in May and at the Hilltop Campus Village Annual Meeting on April 18th, resulting in a featured

ILLINOIS
124 Arts Alley
Rock Island, Illinois 61201
309.786.9910

IOWA
201 West 2nd St Suite 60E
Davenport, Iowa 52801
563 326.2555

article on the April 19th front page of the QC Times. In addition, we met with the Historic Preservation Commission on April 11 for an informal presentation/discussion on the master plan to discuss the historic properties located within the plan boundaries. We will be submitting a request for demolition of some of these properties at the July 11 meeting.

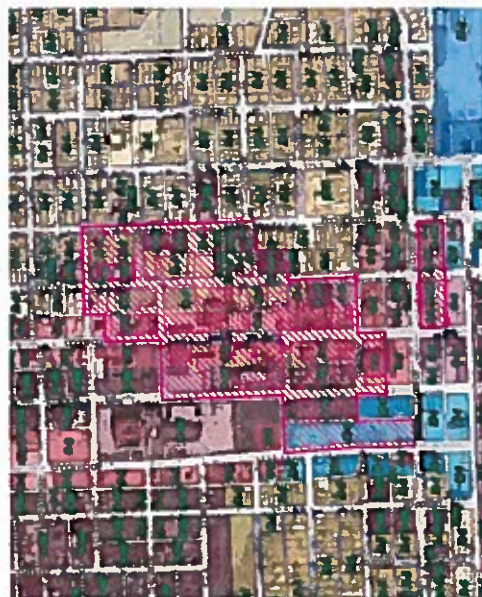
The is a very exciting project for Palmer College of Chiropractic and the City of Davenport, but a process like this is very detailed creating many questions and an exchange of information. Please telephone (563-326-2555) or email (ggowey@studio483.com) if you have any questions or need additional information.

Sincerely,

Greg Gowey, AIA
Enc.

PALMER COLLEGE OF CHIROPRACTIC PLANNED INSTITUTIONAL DISTRICT

DAVENPORT, IOWA



VICINITY MAP
NOT TO SCALE

PALMER COLLEGE OF CHIROPRACTIC

[illegible]

UTILITY NOTE

THE LOCATIONS OF THESE BURIED AND ABOVE GROUND UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE ANY EXCAVATION OR BORING FOR CONSTRUCTION INFORMATION. USE DIAL AND THE POTENTIAL FOR DAMAGE TO UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES NOT TO BE DISRUPTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES NOT TO BE DISRUPTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES NOT TO BE DISRUPTED BY THE CONSTRUCTION.

WILMANN INC. HAS ADOPTED SAFETY PROCEDURES FOR ITS EMPLOYEES WHO PROVIDE PROFESSIONAL ENGINEERING AND SURVEYING SERVICES. A COPY OF THESE PROCEDURES IS AVAILABLE FROM THE SAFETY OFFICE, WILMANN INC. PERSONNEL ARE NOT TRAINED BY CONTRACTOR CONSTRUCTION SAFETY AND COMPLIANCE PROCEDURES. THE METHODS AND MEANS TO COMPLY WITH CONSTRUCTION SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PREPARED BY



100% Satisfaction Guarantee

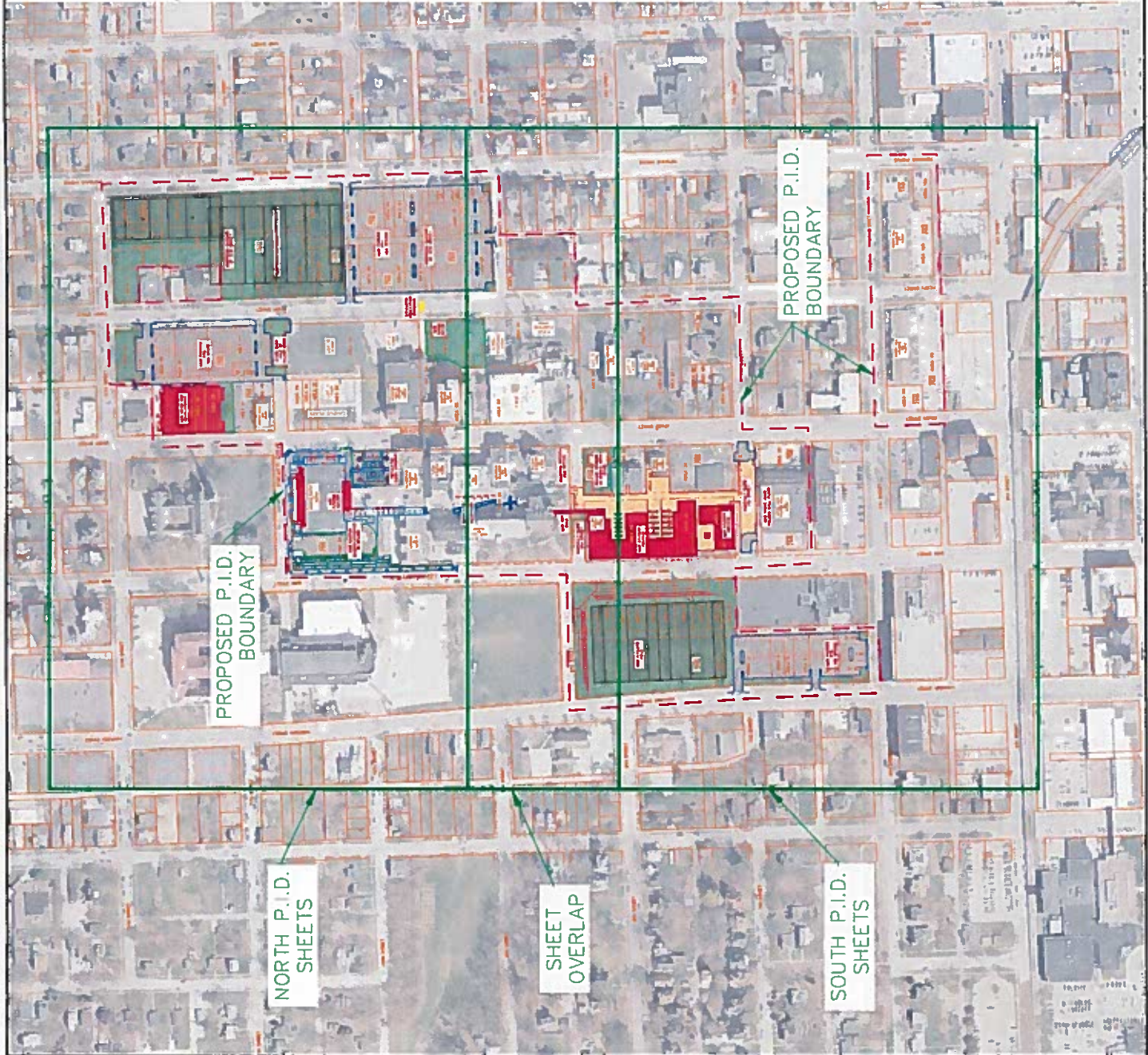
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REVISIONS



COVER SHEET

Millennium Project No: C18.080
 File Name: 1508080000_2017
 Date: 6/26/17
 Drawn By: AEK
 Checked By: JAH
 Sheet 1 of 10



- ☐ PROPOSED SPORTS FIELD
- ☐ PROPOSED LANDSCAPE
- ☐ PROPOSED STRUCTURE
- ☐ PROPOSED PARKING
- ☐ PROPOSED ENHANCED CAMPUS CORRIDOR

NOTES:

1. All information was gathered by multiple resources and location of all features shown is approximate.
2. Any and all properties included within the boundaries of this PID, that do not have proposed feature uses specified on the Land Use Plan and/or the Data sheet, may continue to be used as they currently exist and/or permitted under the PID zoning classification. Said properties may also be used for open space purposes in the event of demolition of and existing building or group of buildings. All demolition sites shall be filled, graded level, and at a minimum shall be restored with planted grass seed or sod.

Category	Area	Acres	Percentage
Landmarks			
Existing / Proposed	100.00	0.00	0.00
Proposed	100.00	0.00	0.00
Total	100.00	0.00	0.00
Landmarks			
Existing / Proposed	100.00	0.00	0.00
Proposed	100.00	0.00	0.00
Total	100.00	0.00	0.00

REVISIONS

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

- PROPOSED SPORTS FIELD
- PROPOSED LANDSCAPE
- PROPOSED STRUCTURE
- PROPOSED PARKING
- PROPOSED DAMAGED CAMPUS CORRIDOR



REVISIONS	DATE

Missman, Inc.
Professional Engineers & Land Surveyors
12000 17th Ave. • Portland, ME 04106
Phone: (207) 769-7444 • Fax: (207) 769-7445
www.missman.com

PALMER PLANNED INSTITUTIONAL DISTRICT
DAVEPORT, ME
OVERALL EXISTING CONDITIONS

Missman Project No. C181.000	File Name: C:\Users\j\Documents\181000\181000.dwg
Field Book No. Drawn By: AEM	Checked By: J.H.
Date: 4/12/17	Sheet 9 of 15

- NOTES**
1. All information was gathered by multiple resources and location of all features shown is approximate.
 2. See P.I.D. Data sheet for additional information on existing properties, buildings, and parking lots. (C-13)





NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.



REVISIONS

DESCRIPTION

DATE



Missman, Inc. Professional Engineers & Land Surveyors
1000 North 10th Street, Suite 100, Lincoln, NE 68502
402.441.1111
www.missman.com

PALMER PLANNED INSTITUTIONAL DISTRICT
DAYS/WEIGHT, IA

EXISTING CONDITIONS-NORTH

Missman Project No.
C161000
File Name:
C:\Users\j\Documents\Projects\Palmer\Palmer_Plan\Palmer_Plan.mxd
Drawn By: JH
Checked By: JH
Date: 6/12/17
C-5
Sheet 5 of 15

Mission Project No.
 C161000
 File Name:
 07/20/2017
 04/05/2017 10:00:00
 Filed Date No.
 Drawn By: AEC
 Checked By: JH
 Date: 4/12/17

PALMER PLANNED INSTITUTIONAL DISTRICT
 DAVENPORT IA
 EXISTING CONDITIONS-SOUTH



No.	DESCRIPTION	DATE

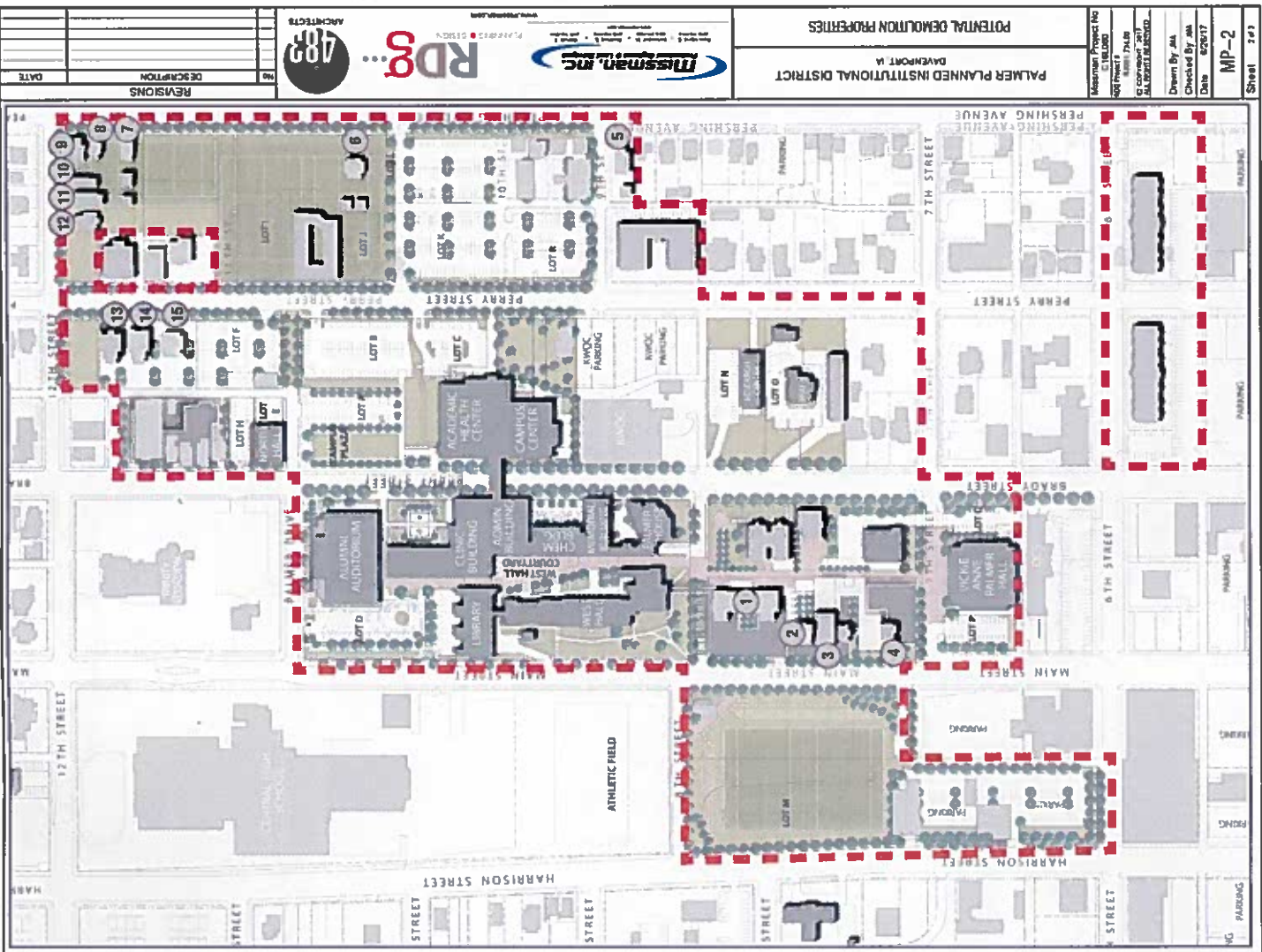


NOTES:
 1. All information was
 gathered by multiple
 resources and location
 of all features shown is
 approximate.





- DEMOLITION PROPERTIES**
- 1 121 8TH STREET BOARDING HOUSE
 - 2 719 MAIN STREET
 - 3 711 MAIN STREET
 - 4 709 MAIN STREET
 - 5 625 PERSHING STREET
 - 6 1028 PERSHING STREET
 - 7 1118 PERSHING STREET
 - 8 1124 PERSHING STREET
 - 9 225 12TH STREET
 - 10 221 12TH STREET
 - 11 219 12TH STREET
 - 12 213 12TH STREET
 - 13 1126-1140 PERRY STREET
 - 14 1122 PERRY STREET
 - 15 1116 PERRY STREET



REVISIONS

NO	DESCRIPTION	DATE

ARCHITECTS

483

RDS

PLANNING & DESIGN

Missman, Inc.

PLANNING & DESIGN

POTENTIAL DEMOLITION PROPERTIES

PALMER PLANNED INSTITUTIONAL DISTRICT

DAYTON, OH

Mapman Project No. 1161000

Mapman Project Name: PALMER PLANNED INSTITUTIONAL DISTRICT

Mapman Project Date: 6/26/17

Mapman Project Location: PALMER, OH

Mapman Project Status: MP-2

Mapman Project Sheet: 2 of 3

REVISIONS	DESCRIPTION	DATE



PALMER PLANNED INSTITUTIONAL DISTRICT DAVENPORT, IA AREA AND SOILS-NORTH	Project No. C16L000 File Name: C:\Users\rlj\Documents\Projects\16\16000\16000.dwg Plot Date: 10/1/2016 Drawn By: JMK Checked By: JMK Date: 4/12/17
--	---

Sheet 8 of 18
C-7



NOTES:
1. All information was gathered by multiple resources and location of features shown is approximate.

DATE	REVISIONS	DESCRIPTION	NO.



NOTES.
1. All information was gathered by multiple resources and location of all features shown is approximate.

- PROPOSED SPORTS FIELD
- PROPOSED LANDSCAPE
- PROPOSED STRUCTURE
- PROPOSED PARKING
- PROPOSED ENHANCED CAMPUS CORRIDOR
- SLOPES > 10%



DATE	
REVISIONS	
NO.	



PALMER PLANNED INSTITUTIONAL DISTRICT
DAYREPORT 1A
GRADING & DRAINAGE-SOUTH

Missman, Inc. Project No.	2156-0001
File Name	2156-0001.dwg
Project Location	1200 7th Ave, Suite 200, St. Paul, MN 55102
Field Book No.	
Drawn By	AEK
Checked By	JUN
Date	4/12/17
C-12	
Sheet 12 of 13	



NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

- PROPOSED SPORTS FIELD
- PROPOSED LANDSCAPE
- PROPOSED STRUCTURE
- PROPOSED PARKING
- PROPOSED DEMOLISHED CAMPUS CORPUS
- SLOPES > 10%

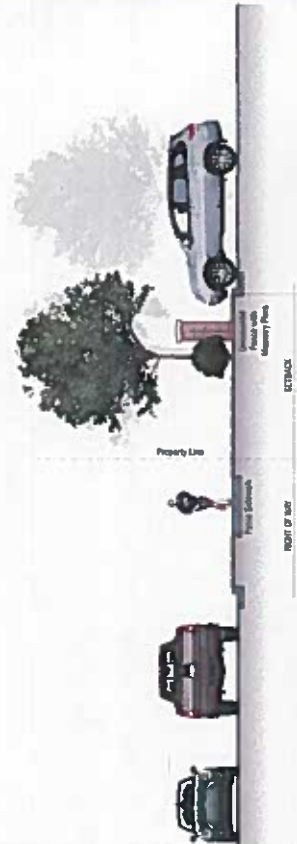
[illegible]

PARKING DATA

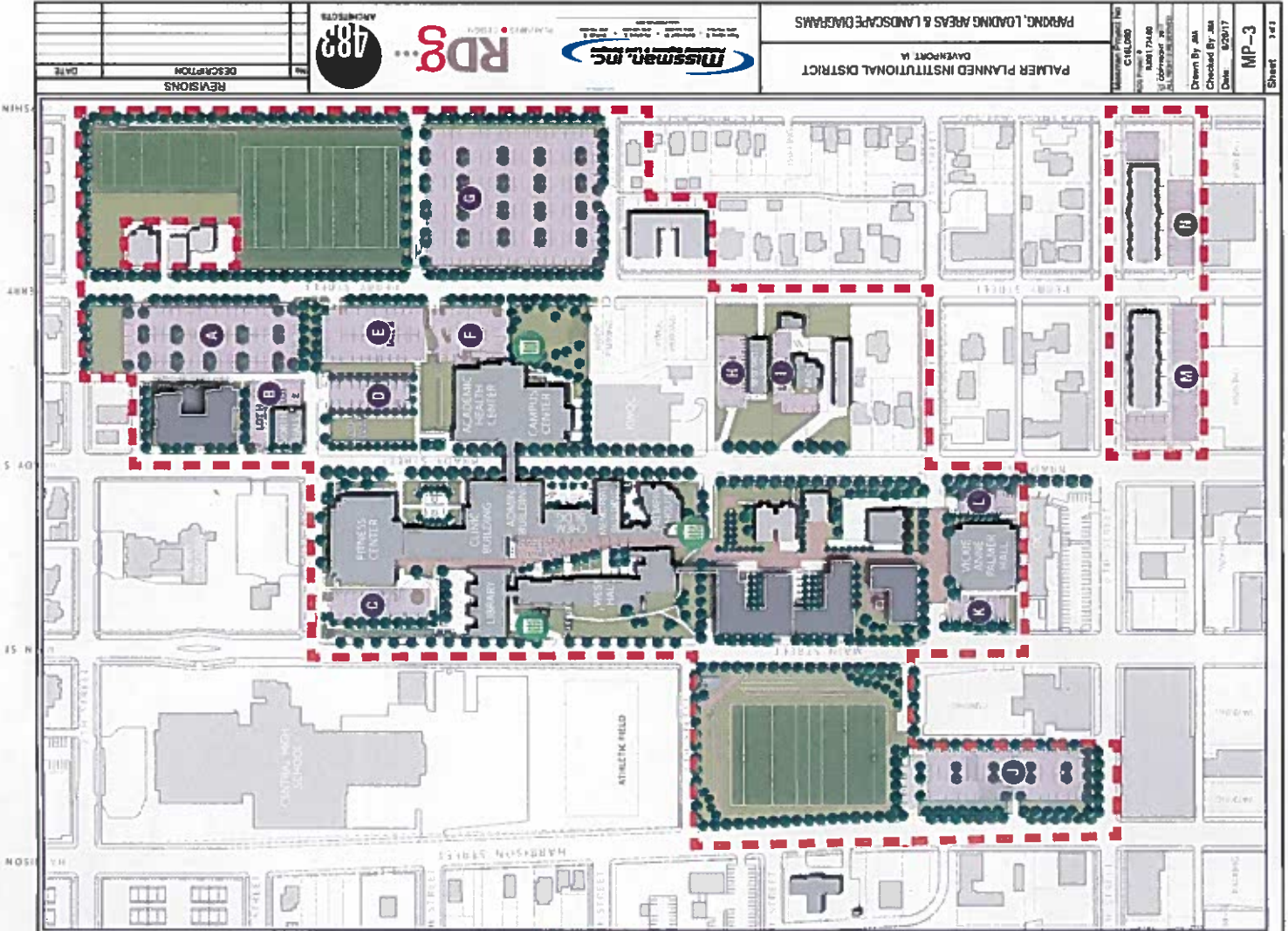
2015 EXISTING PARKING TOTAL: 800
MASTER PLAN PROPOSED TOTAL: 1200
NOTE: Estimate does not take into account ADA requirements for additional green space requirements.
CAMPUS LOADING DOCKS
LOADING DOCKS & RECEIVING AREAS



ELEVATION: PROPOSED CAMPUS EDGE TREATMENT/PARKING LOT SCREENING



SECTION: PROPOSED CAMPUS EDGE TREATMENT/PARKING LOT SCREENING



PALMER PLANNED INSTITUTIONAL DISTRICT
DAYTON, OH
PARKING, LOADING AREAS & LANDSCAPE DIAGRAMS

Missman, Inc.
ARCHITECTS

RDS
ARCHITECTS

488
ARCHITECTS

Drawn By: JAL
Checked By: JAL
Date: 8/20/17
MP-3
Sheet 3 of 3

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development

Department

Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:

Case No. FDP17-07: Final Development Plan for 902 W. Kimberly Road (Village Shopping Center) to allow construction of a new freestanding restaurant with drive through window (Freddy's Frozen Custard and Steakburgers) .

Recommendation:

Preview Item; no recommendation.

Relationship to Goals:

Urban Revitalization, Grow Tax Base

Background:

Proposed final development plan to allow construction of a new 3337 sq. ft. Freddy's Frozen Custard and Steakburgers. See attachments for additional information.

ATTACHMENTS:

Type	Description
▢ Backup Material	Staff Report and Background Materials

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	7/13/2017 - 2:38 PM



PLAN AND ZONING COMMISSION

Meeting Date: July 18, 2017
Request: Proposed Final Development Plan for a new freestanding restaurant and drive through located at 902 W. Kimberly Road (Village Shopping Center)[7th Ward]
Case No.: FDP17-07
Applicant: MLI Real Estate Group, LLC
Contact: Matthew G. Flynn, AICP
Senior Planning Manager
matt.flynn@ci.davenport.ia.us
563-888-2286

Recommendation:

None; preview item only.

Background:

There is a proposal to demolish the existing vacant band building and construct a new “Freddy’s Frozen Custard and Steakeburgers” restaurant.

Highlights:

- Zoning: PDD, Planned Development District
- Lot and Building Area: 22,621 sq. ft.; 3337 sq. ft.; respectively
- Parking: 44 spaces shown, 17 on-site and 27 off-site.
- Building architecture: Brick and EFIS
- Signage: To be determined.

Technical Review:

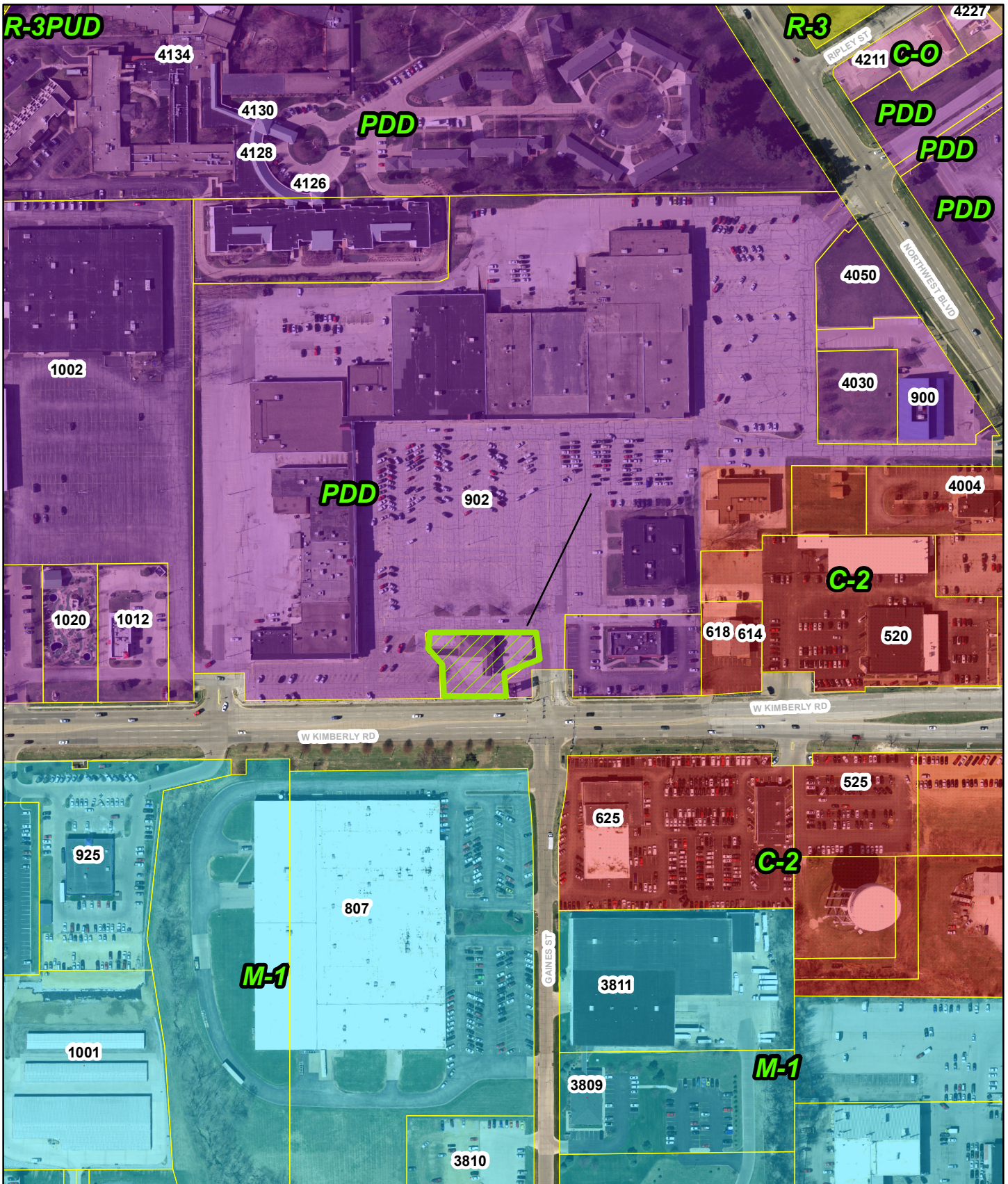
Requests for technical review comments have been distributed and will be made available prior to staff recommendation.

Public Input:

No public comment is solicited for final development plans.

See attached plans for additional information.

FDP17-07
902 W Kimberly Rd



0 55 110 220 330 440 Feet



FIRE HYDRANT	
VALVE OR BLOWOFF	
STREET LIGHT	
UTILITY POLE	
GUY WIRE	
TRAFFIC SIGN	
MANHOLE	
EXISTING STORM SEWER INTAKE	
PROPOSED INTAKE	
TELEPHONE TERMINAL	
CABLE TV TERMINAL	
OVERHEAD ELECTRICAL	--- -- (OH) EL
UNDERGROUND ELECTRICAL	___ UG EL
OVERHEAD TELEPHONE	--- OH TEL
UNDERGROUND TELEPHONE	___ UG TEL
GAS LINE	___ GAS
CABLE TV LINE	___ CATV
STORM SEWER w/SIZE	___ ST12
SANITARY SEWER w/SIZE	___ SS8
WATER MAIN w/SIZE	___ (W12)
FENCE	- - - - -
RIGHT-OF-WAY	ROW
BACK OF CURB TO BACK OF CURB	B-B
DECIDUOUS TREE	
CONIFEROUS TREE	
SILT FENCE FOR DITCH CHECK	
UTILITY EASEMENT	UE
DRAINAGE EASEMENT	DE
BENCH MARK w/NUMBER	
CONTROL POINT	
TOP OF SLAB ELEVATION	T/S =

- 1) STORM MANHOLE RIM LOCATED ON NORTH SIDE OF W. KIMBERLY ROAD ON EAST SIDE OF ACCESS TO SITE.
ELEV. = 688.50
- 2) SANITARY MANHOLE RIM LOCATED IN W. KIMBERLY ROAD SOUTHEAST OF THIS PROPERTY.
ELEV. = 688.62

[illegible]

1. $R_1 \cap R_2 \subseteq R_1 \cap R_3 \subseteq R_1 \cap R_4 \subseteq R_1 \cap R_5 \subseteq R_1 \cap R_6 \subseteq R_1 \cap R_7 \subseteq R_1 \cap R_8 \subseteq R_1 \cap R_9 \subseteq R_1 \cap R_{10}$

2. $M \cap R_1 \subseteq M \cap R_2 \subseteq M \cap R_3 \subseteq M \cap R_4 \subseteq M \cap R_5 \subseteq M \cap R_6 \subseteq M \cap R_7 \subseteq M \cap R_8 \subseteq M \cap R_9 \subseteq M \cap R_{10}$

3. $R_1 \cap R_2 \subseteq R_1 \cap R_3 \subseteq R_1 \cap R_4 \subseteq R_1 \cap R_5 \subseteq R_1 \cap R_6 \subseteq R_1 \cap R_7 \subseteq R_1 \cap R_8 \subseteq R_1 \cap R_9 \subseteq R_1 \cap R_{10}$

4. $D \cap R_1 \subseteq D \cap R_2 \subseteq D \cap R_3 \subseteq D \cap R_4 \subseteq D \cap R_5 \subseteq D \cap R_6 \subseteq D \cap R_7 \subseteq D \cap R_8 \subseteq D \cap R_9 \subseteq D \cap R_{10}$

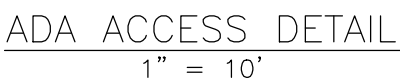
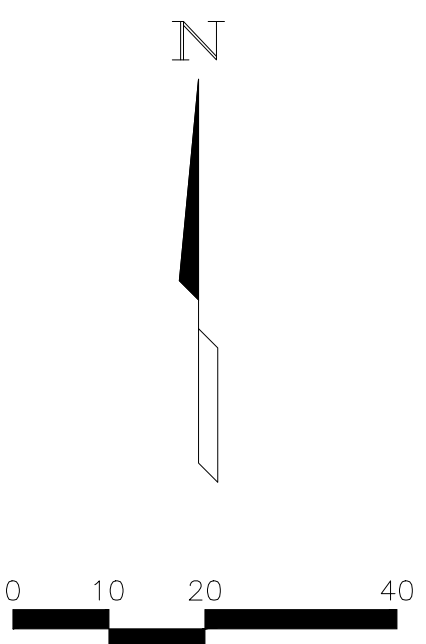
5. $R_1 \cap M \subseteq R_2 \cap M \subseteq R_3 \cap M \subseteq R_4 \cap M \subseteq R_5 \cap M \subseteq R_6 \cap M \subseteq R_7 \cap M \subseteq R_8 \cap M \subseteq R_9 \cap M \subseteq R_{10} \cap M$

6. $M \cap R_1 \subseteq M \cap R_2 \subseteq M \cap R_3 \subseteq M \cap R_4 \subseteq M \cap R_5 \subseteq M \cap R_6 \subseteq M \cap R_7 \subseteq M \cap R_8 \subseteq M \cap R_9 \subseteq M \cap R_{10}$

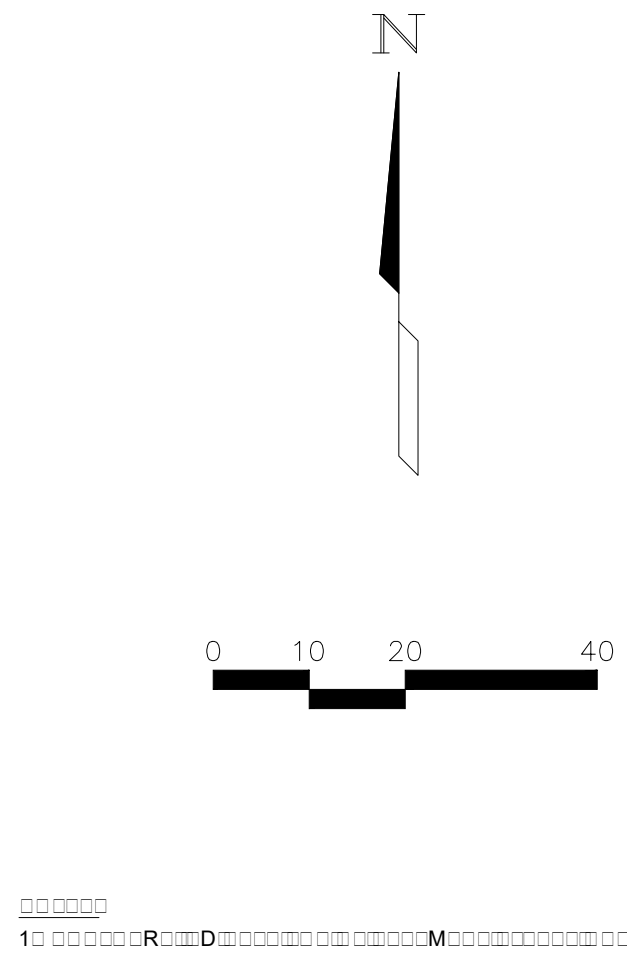
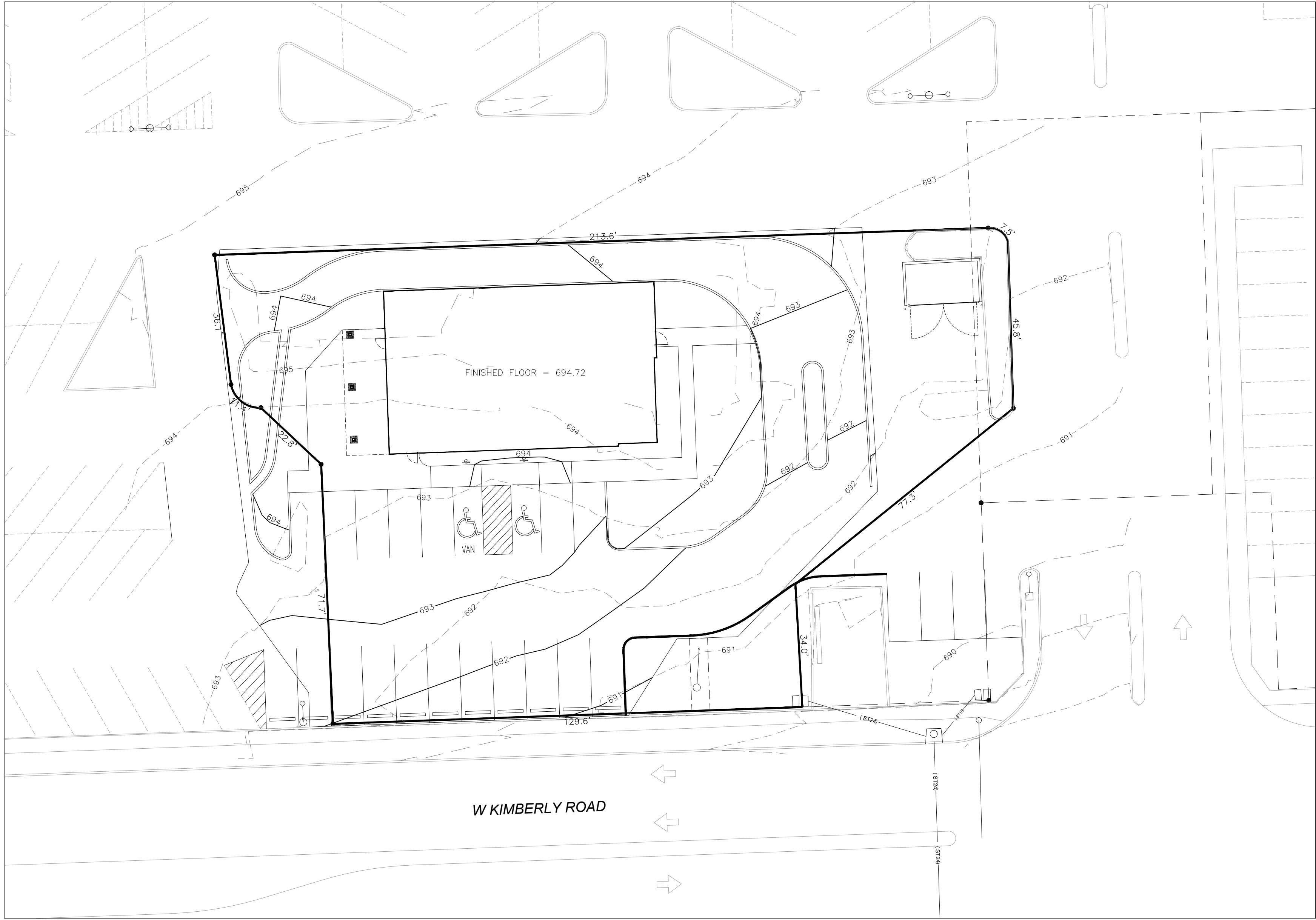
7. $R_1 \cap R_2 \subseteq R_1 \cap R_3 \subseteq R_1 \cap R_4 \subseteq R_1 \cap R_5 \subseteq R_1 \cap R_6 \subseteq R_1 \cap R_7 \subseteq R_1 \cap R_8 \subseteq R_1 \cap R_9 \subseteq R_1 \cap R_{10}$

8. $R_1 \cap R_2 \subseteq R_1 \cap R_3 \subseteq R_1 \cap R_4 \subseteq R_1 \cap R_5 \subseteq R_1 \cap R_6 \subseteq R_1 \cap R_7 \subseteq R_1 \cap R_8 \subseteq R_1 \cap R_9 \subseteq R_1 \cap R_{10}$

[illegible][illegible][illegible][illegible][illegible][illegible]



Title: PAVING PLAN FREDDY'S FROZEN CUSTARD		Drawn: DLS 7/10/17		3.	
Page C5		Checked:		2.	
of Project No. 498617-10		Reviewed:		1.	
		Scale: 1" = 20'		No.	
				Revision	Date



0 – Design Parameters and Governing Codes

0.1 Design Basis:

Governing Building Code	2003 IBC
Amendments as required by	Davenport, Iowa
Load Specification	ASCE 7-02 [With IBC Amendments]

0.1.1 Material Codes [with IBC Amendments]:

Concrete	ACI 318-11, ACI 301-10, ACI 305R-10, ACI 306R-10
Masonry	ACI 530-11, ACI 530.1-11
Structural Steel	AISC 341-10, AISC 360-10, AISC 303-10
Light Gauge Steel	AISI S100-07, S110-07, S200-07, S210-07, S211-07
Wood and Timber	S212-07, S213-07, S214-07, S230-07
Precast Concrete	2012 NDS, 2006 SDPWS ACI 318-11

0.1.2 Special Structural Inspections:

Special Structural Inspection items as required by Chapter 17 of the IBC, Jurisdiction Having Authority may amend, waive, or define required Special Structural Inspections.

0.1.2.1 Structural Steel shall comply with AISC 360 Quality Assurance Requirements

- 0.1.2.1.1 Bolts indicated to be fully tightened
- 0.1.2.1.2 Field welding of structural members

0.1.2.2 Steel Construction (other than Structural Steel) shall comply with IBC Section 1705.2 and Table 1705.2.2

0.1.2.3 Concrete Construction shall comply with IBC Section 1705.3 and Table 1705.3

- 0.1.2.3.1 Verification of steel reinforcing bars placement, size, quantity in structural members
- 0.1.2.3.2 Placement of concrete in reinforced structural members
- 0.1.2.3.3 Installation of post-installed anchors

0.1.2.4 Masonry Construction shall comply with ACI 530 Quality Assurance Requirements

- 0.1.2.4.1 Verification of steel reinforcing bars placement, size, quantity
- 0.1.2.4.2 Placement of grout in reinforced structural masonry walls

0.1.2.5 Wood Construction shall comply with IBC section 1705.5

- 0.1.2.5.1 High-Load Diaphragm (IBC 1705.5.1)
- 0.1.2.5.2 Metal-Plate-Connected Wood Trusses spanning 60' or greater (IBC 1705.5.2)

0.1.2.6 Soil Verification shall comply with IBC Section 1705.6 and Table 1705.6

0.1.2.7 Deep Foundations shall comply with IBC Sections 1705.6-1705.9 and Tables 1705.7 and 1705.8

0.1.2.8 Wind Resistance shall comply with IBC Section 1705.10

0.1.2.9 Seismic Resistance shall comply with IBC Section 1705.11

0.2 Design Loads:

0.2.1 Roof Loads:

Dead Load: Total	20 PSF
Dead Load: Top Chord	10 PSF
Dead Load: Bottom Chord	10 PSF
(See Roof Plan for RTUs)	

Live Load	20 PSF
Ground Snow Load	25 PSF
Flat-Roof Snow Loads (Pf)	21 PSF
Snow Exposure Factor (Ce)	1.0
Snow Load Importance Factor (Is)	1.0
Thermal Factor (Ct)	1.0

0.2.2 Floor Loads:

N/A

0.2.3 Wind Loads:

Nominal Design Wind Speed (Vasd)	90 MPH
Risk Category	II
Wind Exposure Category	B
Enclosure Classification	Enclosed
MWFRS Pressure [Floor _]	17 PSF
Component and Cladding Pressure	19 PSF

0.2.4 Earthquake Loads:

Risk Category	II
Seismic Importance Factor (Ie)	1.0
Mapped Spectral Response Acceleration	
Ss	0.064g
S1	0.045g
Site Class	D
Design Spectral Response Acceleration	
SDS	0.068g
SD1	0.073g
Seismic Design Category	A
Basic Seismic Force-Resisting System(s)	Wood shearwalls
Analysis Procedure	Equivalent Lateral Force

0.2.5 Geotechnical Information:

Design Load Allowable Bearing Capacity	1500 PSF	Per IBC Table 1806.2: <u>Yes</u> /No
--	----------	--------------------------------------

Site Frost Depth	42 IN
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0.2.6 Flood Design Data:

Structure Located in Flood Hazard Area Yes/No

0.2.7 Special Loads:

0.2.7.1 Handrail and Guardrail Systems

Uniform Live Load	50 PLF
Concentrated Live Load	200 LBS
Intermediate Rail Live Load	50 LBS Applied Over 1 sq. ft. of Area

0.3 Serviceability Requirements:

Deflection limits provided below shall not exceed those specified in the material specific codes listed in section 0.1.1

Roof Members:

- LL, SL, or WL deflection shall not exceed l/240
- Total Load deflection shall not exceed l/180

Floor Members:

- Live Load deflection shall not exceed l/360
- Total Load deflection shall not exceed l/240

Exception: Wood I-Joist floor members shall not exceed l/480 for Live Load

Wall Members:

- Wind Load deflection shall not exceed l/240

Exception: Walls supporting Brick or Stone shall not exceed l/480

Steel Horizontal Members supporting unreinforced masonry shall not exceed l/600 or 1/2" total vertical deflection.
Steel Horizontal Members supporting reinforced masonry shall not exceed l/600.

0.4 General Notes:

0.4.1 Refer to architectural plans for location of non-bearing partition walls, door and window locations, and dimensions not shown on the structural plans.

0.4.2 Elevations indicated on Structural Plans/Details are to the TOP of beams, footings, slabs, etc., U.N.O.

0.4.3 Building drainage, insulation, flashing, vapor/moisture protection, fireproofing, and other non-structural components are not shown on the structural plans. Refer to the architectural/mechanical drawings and specifications for requirements.

0.4.4 All sections, details and notes shown on the structural drawings are intended to be typical and shall apply to similar situations U.N.O.

0.4.5 The structural integrity of the building shown on these plans is dependent upon completion according to the Contract Documents. It is the Contractor's responsibility to furnish all temporary bracing and/or shoring support required as a result of construction methods and sequences.

0.4.6 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES.

0.4.7 DO NOT scale dimensions from the plans, sections, or details.

0.4.8 Any omissions or conflicts between the various elements of the drawings and/or specifications shall be brought to the attention of the Architect/Engineer and resolved before proceeding with any work involved.

0.4.9 The Structural Engineer of Record is responsible for the strength and stability of the primary structure in its completed form. The Contractor is responsible for the strength and stability of the structure during construction and shall provide temporary shoring, bracing and other elements required to maintain stability until the structure is complete. It is the Contractor's responsibility to be familiar with the work required in the construction documents and the requirements for executing it properly. The Contractor, at his discretion, shall employ his own specialty Structural Engineer having experience in temporary bracing and shoring.

0.4.10 The Contractor is responsible for the means and the methods of construction and for job site conditions, including safety of all persons and property, during the course of construction of the project. Contractor to follow all job site safety standards, such as OSHA.

0.4.11 DO NOT cut or modify in any other way any structural member for placement of pipes, ducts, etc.

0.4.12 Any differences in dimensions between structural plans and architectural plans shall be brought to the attention of the Architect/Engineer immediately.

0.4.13 All holes through existing construction shall be core drilled or saw cut and approved by the Structural Engineer of Record.

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED AND THE RELATED ENGINEERING WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. <i>Tony Motyko</i> 6-27-17 TONY MOTYKO DATE LICENSE NUMBER 23159 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016 PAGES OR SHEETS COVERED BY THIS SEAL: S-001, S-002, S-111, S-503, S-504
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SHEET LIST	
SHEET NUMBER	SHEET NAME
S-001	GENERAL NOTES & SHEET INDEX
S-002	GENERAL NOTES
S-101	FOOTING & FOUNDATION PLAN
S-111	ROOF FRAMING PLAN
S-501	FOUNDATION DETAILS
S-502	FOUNDATION DETAILS
S-503	FRAMING DETAILS
S-504	FRAMING DETAILS
S-505	ENCLOSURE DETAILS

FREDDY'S FROZEN CUSTARD
DAVENPORT, IA

ASPECT ARCHITECTURE & DESIGN

SHEET TITLE

GENERAL NOTES & SHEET INDEX

DRAWN BY: HMH
CHECKED BY: TEM
APPROVED BY: TEM
JOB DATE: 6-27-17
JOB NO: 17-353

PAGE NO.

S-001

REVISIONS

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1 – Soil and Geotechnical Notes

- 1.1 Foundation design bearing pressures are based upon geotechnical report (if available) as indicated in Section 0.2.5.
- 1.2 Select Structural Engineering recommends soil conditions be verified by qualified Geotechnical Engineer prior to footing placement.
- 1.3 Foundations shall bear on suitable native soils or compacted structural fill extending to suitable native soils as determined by the Geotechnical Engineer.
- 1.4 Existing unsuitable fill material encountered below floor slabs and foundations, as determined by the Geotechnical Engineer, shall be removed and replaced with properly placed and compacted structural fill material.
- 1.5 Excavations shall be free of water, frost, ice, loose soil, and other deleterious materials prior to concrete placement. Any unsuitable material is to be removed and replaced with compacted structural fill material.
- 1.6 Any fill material required to bring the subgrade to bearing elevation is to be tested and approved by the Geotechnical Engineer prior to placement. Fill material shall be placed in lifts not to exceed eight (8) inches in thickness when heavy, self-propelled compaction equipment is utilized, six (6) inches in thickness when hand-held compaction equipment is utilized.
- 1.6.1 Fill material shall be compacted as determined by the Geotechnical Engineer and soils report, or:
- Under Slabs: Material should be compacted to at least 95% of its maximum Standard Proctor Dry Density (ASTM D-698).
- Under Footings: Material should be compacted to at least 98% of its maximum Standard Proctor Dry Density (ASTM D-698).
- The higher degree of fill compaction below footings shall extend laterally beyond the exterior edges of the element at least eight (8) inches per foot of thickness below the element's base elevation.
- 1.7 The Contractor is responsible to locate, verify and mark the location of underground utilities prior to excavation for footings/foundations.

2 – Concrete Notes

- 2.1 Except where modified by these Plans and Specifications, all concrete work shall conform to the requirements of the material codes listed in Section 0.1.1.
- 2.2 Reinforcing is to be detailed in accordance with ACI 315-99, "Manual of Standard Practice for Detailing Reinforced Concrete Structures".
- 2.3 Concrete shall be Type III, Conforming to ASTM C150, and have 28 Day Compressive Strengths as follows U.N.O.:
- | | |
|-------------------------|----------|
| Footings | 3000 PSI |
| Foundation Walls, Piers | 3000 PSI |
| Slabs-on-Grade | 4000 PSI |
| Beams | 3000 PSI |
| Slabs Over Steel Deck | 3000 PSI |
- 2.4 Concrete aggregates shall conform to ASTM C33 for normal weight concrete mixes.
- 2.5 Concrete reinforcing steel shall be in accordance with the following standards:
- | | |
|--|-----------------------------------|
| Reinforcing Bars | ASTM A615, Grade 60 |
| Welded Wire Fabric: Rebar to be Welded | ASTM A1064
ASTM A706, Grade 60 |
- 2.6 Lap-splices shall be Class B U.N.O. and the following lap schedule shall apply:
- | | |
|---------------------|-----------|
| #3 Rebar | 13 inches |
| #4 Rebar | 17 inches |
| #5 Rebar | 22 inches |
| #6 Rebar | 26 inches |
| #7 Rebar | 36 inches |
| #8 Rebar | 42 inches |
| Welded Wire Fabric: | 8 inches |
- 2.7 Welded Wire Fabric may be replaced with Fiber Reinforcing, subject to approval by the Structural Engineer of Record.
- 2.8 Standard Hooks shall be provided as noted and conform to typical details.
- 2.9 Maintain the minimum concrete coverage for reinforcing as indicated, U.N.O. on the drawings.
- | | |
|--|--------------|
| Concrete cast directly against earth | 3 inches |
| Concrete exposed to earth or weather: | |
| Bars #6 and larger | 2 inches |
| Bars #5 and smaller | 1-1/2 inches |
| Concrete not exposed to weather or in contact with ground: | |
| Slabs, Walls, Joists: | |
| Bars #11 and smaller | 3/4" |
| Beams and Columns: | |
| Primary Bars, Ties, and Stirrups | 1-1/2" |
- Place reinforcing bars as near to the surface as these minimums permit, U.N.O.

- 2.10 Provide 4'-0" long #5 bar, at 45 degrees to main reinforcing at corners of openings and reentrant corners of slabs (U.N.O).
- 2.11 Shift reinforcing to clear anchor bolts and embedded items, cutting of reinforcing bars is not permitted.
- 2.12 Reinforcing shall run continuous through construction joints U.N.O.
- 2.13 Vertical construction joints in walls shall have keyways 1-1/2 inches deep by one third the wall thickness.
- 2.14 Provide horizontal reinforcing continuous around all corners unless shown otherwise. Provide corner bars with 48 bar diameter length lap splice at all intersections of footings, and walls, same size and spacing as horizontal reinforcing, U.N.O.
- 2.15 Maximum spacing between construction/control joints at foundation walls shall not exceed 60 feet. All horizontal reinforcing shall run continuous through joints.
- 2.16 Connection joints shall be provided by the contractor in slabs on grade at a maximum spacing of 15'-0" OC.
- 2.17 Hot weather concrete operations shall be in accordance with ACI 305. Cold weather concrete operations shall be in accordance with ACI 306.
- 2.17 Air entrainment shall be employed to reach 5-7% total air content in concrete used for exterior construction.
- 2.18 All lintels and beams bearing on concrete shall have a minimum bearing length of 8", U.N.O.
- 2.20 Fly ash in conformance with ASTM C618 may be used to replace up to 25% of the required cementitious material.
- 2.21 Admixtures are permitted as follows, subject to approval by the Structural Engineer of Record:
- | | |
|----------------|------------|
| Water Reducing | ASTM C494 |
| Flowing Agents | ASTM C1017 |
| Air-Entraining | ASTM C260 |
- 2.22 Chloride based accelerants are not permitted without approval from the Structural Engineer of Record.

3 – Masonry Notes

- 3.1 Except where modified by these Plans and Specifications, all masonry work shall conform to the requirements of the material codes listed in Section 0.1.1.
- 3.2 Concrete masonry design is based on a Net Area Compressive Strength (f'm) of 1500 PSI at 28-days U.N.O.
- 3.3 Concrete masonry units shall comply with ASTM C90 specification.
- 3.4 Mortar shall conform to ASTM C270. Type N or S mortar shall be used for interior construction. Type S mortar shall be used for exterior and below grade construction. Mortar strength shall be selected based on the Net Compressive Strength of the Concrete Block using the table below.
- Mortar Selection Chart**
- | | | |
|-------------------------------------|--------------------------|---------------------|
| Net Area Compressive Strength (psi) | Type M or S Mortar (psi) | Type N Mortar (psi) |
| 1,900 | | 1,900 |
| 1,500 | 1,900 | 2,150 |
| 2,000 | 2,800 | 3,050 |
| 2,500 | 3,750 | 4,050 |
| 3,000 | 4,800 | 5,250 |
- 3.5 Grout shall conform to ASTM C476. Grout compressive strength (f'c) at 28 days must exceed concrete block compressive strength (f'm); additionally, the minimum f'c shall be 2000 psi. All bars shall be properly placed as indicated and securely tied prior placement of grout.
- 3.6 Masonry reinforcing steel shall be in accordance with the following standards:
- | | |
|--------------------|---------------------|
| Reinforcing Bars | ASTM A615, Grade 60 |
| Rebar to be Welded | ASTM A706, Grade 60 |
- 3.7 Concrete block walls shall be laid in running bond. Refer to the architectural drawings for bond pattern of exterior masonry veneer.
- 3.8 Reinforcing bars shall have a minimum cover of:
- | | |
|---|--------------|
| Masonry Exposed to Earth or Weather | 2 inches |
| Bars #6 and larger | |
| Bars #5 and smaller | 1-1/2 inches |
| Masonry Not Exposed to Earth or Weather | 1-1/2 inches |
- 3.9 Reinforcing lap splice shall be as listed below (U.N.O.)
- | | |
|--------------------|-----------|
| #4 Rebar | 30 inches |
| #5 Rebar | 36 inches |
| #6 Rebar | 42 inches |
| Welded Wire Fabric | 8 inches |
- 3.10 Standard Hooks shall be provided as noted and conform to typical details.
- 3.11 Brick walls and Veneers shall have continuous 9 gauge galvanized ladder type horizontal joint reinforcement at 16" on-center vertically.
- 3.12 Maximum wall grout lift shall be 5' unless approved by the Structural Engineer of Record.
- 3.13 All bond beams shall be continuous, U.N.O.
- 3.14 Reinforcement for bond beams shall continue uninterrupted around all corners, intersection walls and through control joints, U.N.O. All bond beams shall be grouted solid.
- 3.15 Unless denoted as "edge" or for cells containing two bars, vertical reinforcing steel in masonry walls shall be centered in the block cores. The block cores containing vertical reinforcing steel shall be grout filled.
- 3.16 Masonry ties for exterior brick veneer shall be Ferro Corporation Slotted Block Tie (TYPE 1) U.N.O. Substitutions are permitted with prior approval by the Structural Engineer of Record.
- 3.17 All lintels and beams bearing on masonry shall have a minimum bearing length of 8", U.N.O.
- 3.18 Hot and cold weather masonry work shall conform to the requirements of ACI 530.1
- 3.19 Vertical expansion joints shall be placed at no more than 20' spacing. Expansion joints shall also be placed where adjacent structural systems (roofs, floors, foundations) provide movement joints.

4 – Structural Steel Notes

- 4.1 Except where modified by these Plans and Specifications, all structural steel work shall conform to the requirements of the material codes listed in Section 0.1.1.
- 4.2 Typical Shape Material Grades (U.N.O.):
- | | |
|------------------------------|--------------------|
| Wide Flange (including Tees) | ASTM A992 |
| Channels, Angles and Plates | ASTM A36 |
| Structural Tubing | ASTM A500, Grade B |
| Structural Pipes | ASTM A53, Grade B |
| Crane Rail | ASTM A759, ASTM A1 |
| American Standard | ASTM A36 |
- 4.3 All bolts indicated to be fully tightened (pretension or slip critical connections) shall use load indicator washers or tension twist-off indicator bolts to ensure bolts are fully tightened.
- 4.4 Structural steel surface areas to receive field welds, welded stud anchors, or fully tightened bolted connections shall not receive prime paint until after connection is completed.
- 4.5 Provide 1-1/2 inch maximum non-shrink, non-metallic grout under all column base plates, U.N.O. Grout shall have a minimum 28-day compressive strength equal to 7500 PSI. Grout shall be placed promptly after steel frame or elements have been plumbed.
- 4.6 Connections not detailed on drawings shall be designed by Fabricator and be subject to Structural Engineer of Record's approval. Connections shall be designed for load provided.
- 4.7 If structural steel details (field welds vs. shop welds, etc.) shown on design drawings are not compatible with Contractor's erection procedures, Fabricator shall submit proposed modifications for Structural Engineer of Record's approval.
- 4.8 Fabricator shall provide fully dimensioned and detailed shop drawings for review by the Structural Engineer of Record. Shop drawings shall be reviewed and returned to the Fabricator within 14 calendar days per the requirements in Section 4.4 of AISC 303-10.
- 4.9 See plans and details for connections and notes.
- 4.10 Beams shall be marked and erected with natural camber upwards, U.N.O.
- 4.11 Do not shop paint structural steel surfaces that will be in contact with poured concrete.
- 4.12 All field welding shall be shown on the shop drawings.
- 4.13 All field welding shall be performed by AWS certified welders.
- 4.14 Touch up field connections, welds, and abrasions with touch up shop paint after installation.

5 – Wood and Timber Notes

- 5.1 Except where modified by these Plans and Specifications, all wood and timber work shall conform to the requirements of the material codes listed in Section 0.1.1.
- 5.2 All structural framing lumber shall be clearly marked with the Grade, Inspection Agency and Grading Rules.
- 5.3 Dimensional lumber shall be SPF #1/#2 for 2x6 and smaller members and DF-Larch #2 for 2x8 and larger members, and meet the material properties listed below U.N.O.
- Minimum Dimensional Lumber Properties**
- | | | | | | | | |
|----------|-------|----------|----------|----------|----------|---------|---------------|
| Type | Grade | Fb (psi) | Ft (psi) | Fv (psi) | Fc (psi) | E (ksi) | Grading Rules |
| SPF | #1/#2 | 875 | 450 | 135 | 1150 | 1400 | NLGA |
| DF-Larch | #2 | 900 | 575 | 180 | 1350 | 1600 | WCLB/WWPA |
| DF-Larch | #1 | 1000 | 675 | 180 | 1500 | 1700 | WCLB/WWPA |
| SYP | #2 | Varies | Varies | 175 | Varies | 1600 | SP1B |
- 5.4 Engineered lumber shall meet the material properties listed below (U.N.O).
- Minimum Engineered Lumber Properties**
- | | | | | | | |
|------|--------|----------|----------|----------|----------|---------|
| Type | Grade | Fb (psi) | Ft (psi) | Fv (psi) | Fc (psi) | E (ksi) |
| GLB | 24F-V8 | 2400 | 1100 | 265 | 1650 | 1800 |
| LVL | 1.9E | 2600 | 1555 | 285 | 2510 | 1900 |
| PSL | 2.0E | 2900 | 2025 | 290 | 2900 | 2000 |
- 5.4.1 Glued-Laminated Timber (GLB) shall conform to ASTM D3737 and ANSI/AITC A190.1
- 5.4.2 Structural Composite Lumber (LVL and PSU) shall conform to ASTM D5456.
- 5.4.3 Wood I-Joist shall conform to ASTM D5055. I-joist designated on plans and details are for Weyerhaeuser TJ3 ® joist systems (U.N.O.). Use of other products permitted when approved by the Structural Engineer of Record.
- 5.5 Wood structural panels (including OSB and ply-wood) shall meet the requirements of USDOC PS1 and PS2 or ANSI/APA PRP 210.
- 5.6 Wood sheathing and nailing requirements shall be as noted on plans and details. For sheathing not noted on drawings the following minimums shall apply:
- 5.6.1 Roof Sheathing shall be at a minimum 15/32" Structural 1 grade panel attached with 8d nails at 6" OC edge and 12" OC field.
- 5.6.2 Floor Sheathing shall be a minimum 23/32" Structural 1 grade panel attached with 8d nails at 6" OC edge and 12" OC field.
- 5.6.3 Exterior Wall Sheathing shall be a minimum 7/16" Structural 1 grade panel attached with 8d nails at 6" OC edge and 12" OC field.
- 5.7 All wood in contact with concrete, masonry, or soil, or wood that is exposed to the weather shall be pressure treated preservative lumber. All steel nails, bolts and connectors in contact with pressure treated lumber shall be galvanized to G185 thickness specifications, triple coated, or stainless steel.
- 5.8 All nailing of lumber shall conform to IBC table 2304.9.1 Fastening Schedule, U.N.O.

Partial Fastening Schedule (IBC Table 2304.9.1 reproduced in part)

Item Number	Connection	Fastening*	Location
1	Joist to Sill/Girder	(3) 8d	Toenail
6	Sole Plate to Joist/Blocking	16d at 16" OC	Face Nail
6	Sole Plate at Shear Wall	(3) 16d at 16" OC	Face Nail
7	Top Plate to Studs	(2) 16d	End Nail
8	Stud to Sole Plate	(4) 8d	Toenail
-ALTERNATE		(2) 16d	End Nail
9	Double Studs (stitching)	16d at 24" OC	Face Nail
10	Double Top Plates	16d at 16" OC	Face Nail
10	Double Top Plate Splice	(8) 16d	Face Nail
12	Rim Joist to Top Plate	8d at 6" OC	Toenail
14	Continuous Header (Two Pieces)16d at 16" OC		Face Nail Each Edge
15	Ceiling Joists to Plate	(3) 8d	Toenail
16	Continuous Header to Jamb	(4) 8d	Toenail
19	Rafter to Plate	(3) 8d	Toenail
29	Joist to Band Joist	(3) 16d at 16" OC	Face Nail

- 5.9 Wood blocking or an additional joist shall be provide below all non-load bearing walls.

- 5.10 Shear wall sill plate attachment to foundation shall consist of anchor bolts with .229"x3"x3" square plate washer. Washer shall extend to within 1/2" of the edge of the sill plate on the side with wood sheathing (for drywall shear walls the washer may be placed in the center of the sill plate).

6 – Anchorage, Fasteners, Welding, and Other Connecting Mediums

- 6.1 Cast-in-Place Concrete Anchors shall be 3/4" diameter ASTM F1554 Grade 55 anchors or ASTM A193 Grade B7 (U.N.O). Applicable anchor types and installation requirements shall be per the typical concrete anchorage detail.
- 6.2 Post Installed Concrete Anchors shall conform to the requirements of Appendix D of ACI 318. Wedge/Sleeve Bolts, Undercut Bolts, Epoxy/Adhesive Anchors, and Screw Anchors are permissible in accordance with the typical concrete anchorage detail where explicit anchors are not specified on the plans or details.
- 6.3 Masonry Anchorage shall be as noted on plans and details, and shall conform to ASTM A307 Grade A (U.N.O.).
- 6.4 Structural Steel Bolts, Nuts, and Washers shall be 3/4" diameter (U.N.O.) and conform to the following material grades:
- | | |
|---------------------------|----------------------------------|
| Heavy-Hex Structural Bolt | ASTM A325 or ASTM 490 (as noted) |
| Structural Nuts | ASTM A563 |
| Structural Washers | ASTM F436 |
| Steel Headed Stud Anchors | ASTM A108 |
| C.I.P. Anchor Bolts | ASTM F1554, ASTM A193 B7 |
| Clevises and Turnbuckles | ASTM A29, GR 1035 |
| Eye Nuts and Eye Bolts | ASTM A29, GR 1030 |
| Threaded Rod | ASTM A307, ASTM A36 |
- Tension Control Indicating Hardware for Pre-Tensioned and Slip Critical connections:
- | | |
|----------------------|------------|
| Twist-Off Type Bolts | ASTM F1852 |
| Compressible-Washer | ASTM F959 |
- 6.5 Self Tapping Steel Screws shall conform to ASTM C1513. Tek's ® screws specified in plans and details shall be provided by ITW Buildex. Substitution of Tek's ® is permitted when Contractor supplies documentation indicating load capacities of replacement is equal or greater than the originally specified hardware **AND with prior** approval by the Structural Engineer of Record.
- 6.6 Powder-Actuated Fasteners shall be provided per plans and details. Pins specified on plans are Hilti X-U, Hilti X-HSN24, or Hilti X-ENP19 (U.N.O.). Steel deck fastening shall be Hilti X-HSN24 when attached to bar joist with a metal thickness not exceeding 3/8"; Hilti X-ENP19 shall be used for base material thicknesses exceeding 3/8". Deck sidelap connectors shall be Hilti SLC fasteners, U.N.O.
- 6.7 Wood Fasteners shall conform to the following:
- 6.7.1 Steel Nail Fasteners shall conform to ASTM F1667. Where nail penny weight designation is used on plans and details the following minimum dimensions shall be met for an alternative fastener to be deemed equivalent.

Typical Pennyweight Nail Properties

Type	Common	Box	Sinker	
Pennyweight	Length	Diameter	Length	Diameter
6d	2"	.113"	2"	.099"
8d	2-1/2"	.131"	2-1/2"	.113"
10d	3"	.148"	3"	.128"
12d	3-1/4"	.148"	3-1/4"	.128"
16d	3-1/2"	.162"	3-1/2"	.135"
20d	4"	.192"	4"	.148"

- 6.7.2 Standard Wood Screws shall conform to ANSI/ASME B18.6.1.

- 6.7.3 Standard Hex Lag Screws shall conform to ANSI/ASME B18.2.1.

- 6.7.4 Standard Dowels (Bolts) and Nuts shall conform to ANSI/ASME B18.2.1. Standard Cut Washers shall conform to ANSI/ASME B18.22.1.

- 6.8 Wood Structural Connectors (including joist hangers, hold downs, ties, straps, clips, etc) shall be provided as specified on the plans and details. Substitution of the brand and type of connector is permitted when the Contractor provides documentation indicating load capacities of replacement is equal or greater than the originally specified hardware **AND with prior** approval by the Structural Engineer of Record.

- 6.9 All welding shall conform to the Latest A.W.S. Specifications. Arc welding shall utilize E70xx electrodes.

- 6.10 Light Gauge Structural Connectors (including clips, hangers, bracing, hold downs, straps, shear boots, etc) shall be provided as specified on the plans and details. Connectors will be specified from one manufacturer Clark/Dietrich, TSN, Simpson Strong-Tie, etc); however, substitutions are permitted when the Contractor provides documentation indicating load capacities of replacements are equal or greater than the originally specified hardware **AND with prior** approval by the Structural Engineer of Record.

7 – Steel Joists

- 7.0 - The notes from this section are not applicable.

8 – Cold-Formed Steel Decking

- 8.0 - The notes from this section are not applicable.

9 – Cold-Formed Steel Light-Frame Construction

- 9.0 - The notes from this section are not applicable.

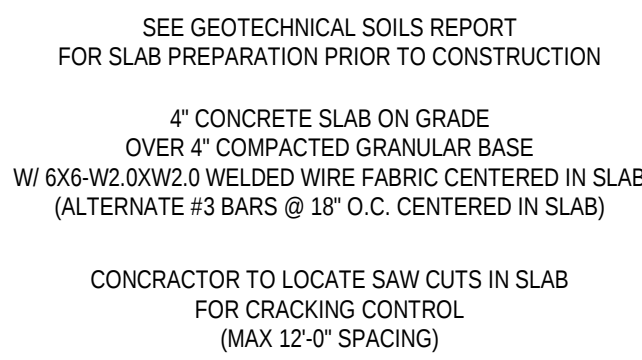
10 – Wood Trusses

- 10.1 Except where modified by these Plans and Specifications, all wood truss work shall conform to the requirements of the material codes listed in Section 0.1.1.
- 10.2 Truss Fabricator shall provide the following information in their truss submittal package to be reviewed and approved by the Structural Engineer of Record:
- 10.2.1 Individual Truss Cut Sheets containing:
- Slope, Depth, Span, and Spacing
Location of all joints and supports
Number of Truss Pies
Required Bearing Width
Design Loads Used, Adjustment Factors, Maximum Reactions
Size, Species and Grade of each member
Truss Deflection Limits
Axial Tension and Compression of each member
Required permanent individual truss member restraint location and method
- 10.2.2 Truss Placement Plan
- 10.3 Temporary and Permanent truss lateral bracing in clear spans 60' and greater are required to be designed by a Registered Design Professional. The Owner is to contract with a Registered Design Professional for the design of the following bracing requirements:
- 10.3.1 Temporary and Permanent truss lateral bracing for all lengths shall conform as a minimum to those required in the BCSI and TPI requirements.
- 10.3.2 Installation of temporary bracing is the sole responsibility of the Contractor and shall conform to the BCSI and TPI Standards.
- 10.4 Loads on trusses during construction shall be maintained below those listed in Section 0.2.1 and 0.2.2. Material shall not be stacked on inadequately braced trusses.
- 10.5 Top chords of truss must be sheathed (U.N.O). Bottom chords must be sheathed or have lateral bracing installed at a maximum spacing as indicated on the pertinent truss cut sheet provided by the Truss Fabricator.
- 10.6 Do not cut or alter trusses without the approval of the Structural Engineer of Record and the Truss Fabricator.

11 – Precast Concrete

- 11.0 - The notes from this section are not applicable.

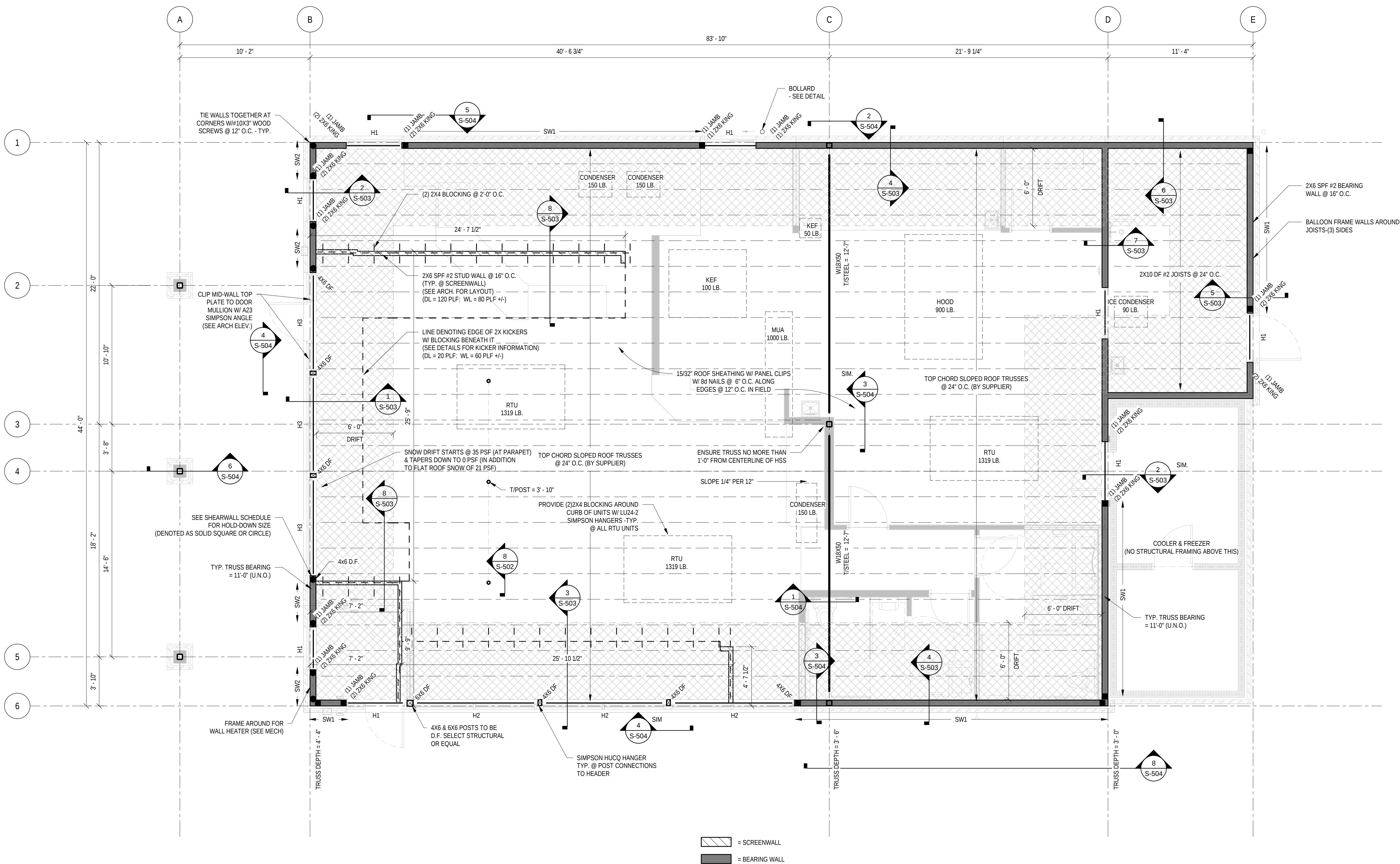




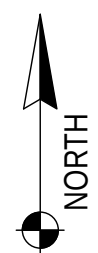
FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F1	3'-6"x3'-6"	#5 BARS @ 12" O.C. EACH WAY, TOP & BOT.
F2	4'-6"x4'-6"x1'-0"	#5 BARS @ 12" O.C. EACH WAY, BOT.

1 FOOTING & FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
1. SEE GENERAL NOTES FOR FURTHER INFORMATION
 2. SEE SOILS REPORT FOR SLAB PREPARATION



1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



- NOTES:
- SEE GENERAL NOTES FOR FURTHER INFORMATION
 - SEE FINAL HVAC DRAWINGS FOR FINAL RTU LOCATIONS & WEIGHTS
 - VERIFY FINAL INTERIOR SCREENWALL LOCATION W/ ARCH.
 - TRUSS SUPPLIER TO COORDINATE W/ MECH. FOR FINAL TRUSS LAYOUT

SHEARWALL SCHEDULE		
MARK	SHEATHING	NOTES
SW1	7/16" SHEATHING W/ 8d NAILS @ 6" O.C. ALONG EDGES & 12" O.C. IN FIELD	UNBLOCKED STUDS, SHEATHING TO BE PLACED HORIZ. OR VERT.
SW2	7/16" SHEATHING W/ 8d NAILS @ 3" O.C. ALONG EDGES & 12" O.C. IN FIELD	BLOCKED STUDS, SHEATHING TO BE PLACED HORIZ. OR VERT.

HOLD-DOWNS
SIMPSON LTT19 W/ 1/2"x6" TITEN HD & (1) END STUD
SIMPSON HTT5KT W/ 5/8"x8" TITEN HD & (2) 2ND STUDS

HEADER SCHEDULE		
MARK	SIZE	NOTES
H1	(3) 2X8 DF #2	SEE PLAN FOR BEARING CONDITIONS
H2	(3) 2X10 DF #2	SEE PLAN FOR BEARING CONDITIONS
H3	(3) 11 7/8" LVL (1.9E)	SEE PLAN FOR BEARING CONDITIONS

FREDDY'S FROZEN CUSTARD
DAVENPORT, IA

ASPECT ARCHITECTURE & DESIGN

SHEET TITLE
ROOF FRAMING PLAN

REVISIONS

SELECT STRUCTURAL
ENGINEERING

606 14TH AVE. SW
CEDAR RAPIDS, IA 52404
319-365-1150

2435 E KIMBERLY RD. SUITE 2405
BETTENDORF, IA 52722
563-359-3117

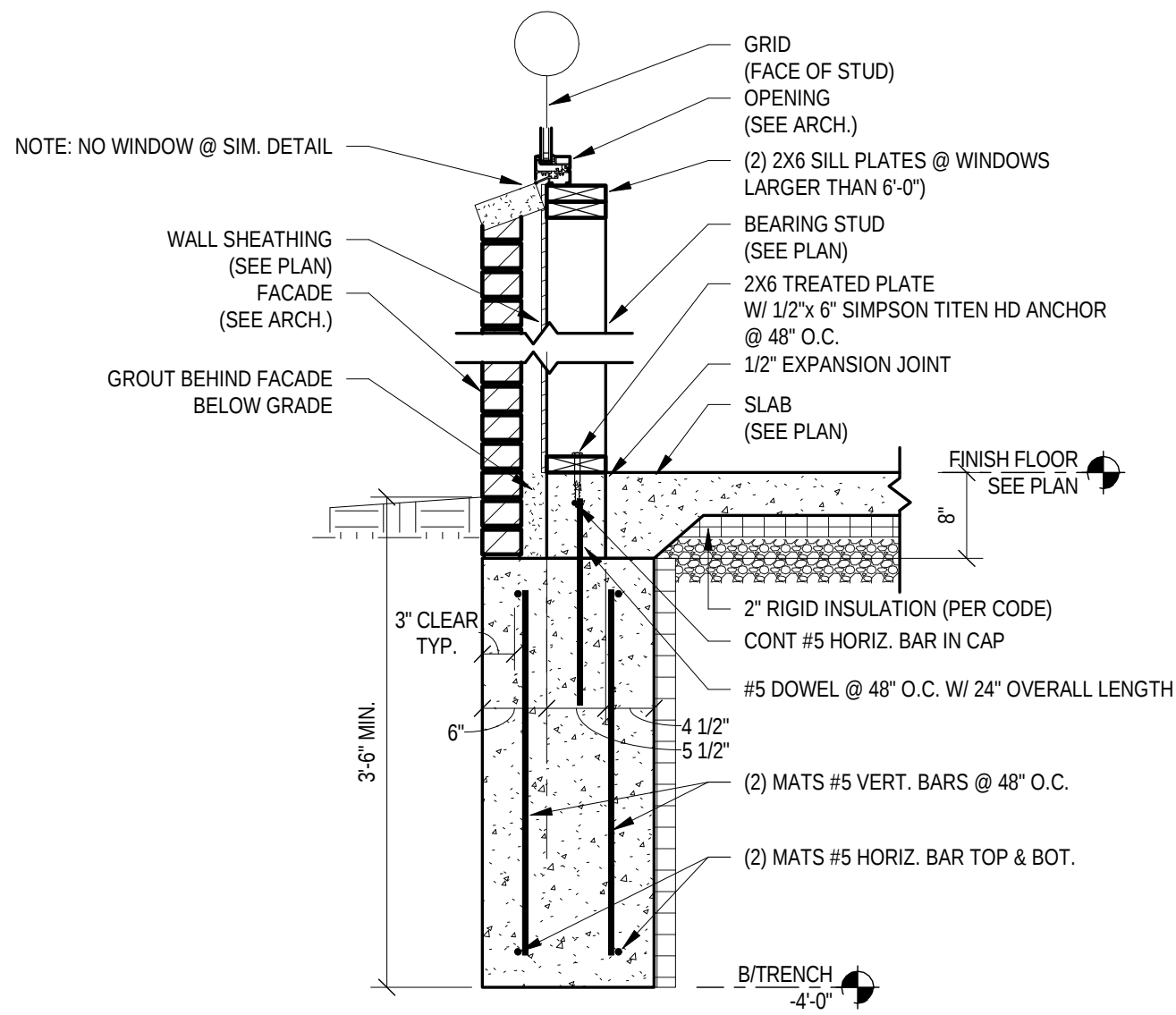
402 E 4TH ST, SUITE 101
WATERLOO, IA 50703
319-287-9062

THESE PLANS ARE PROPERTY OF SELECT STRUCTURAL ENGINEERING, LLC
NO REUSE, REPRODUCTION, OR ALTERATION IS PERMITTED WITHOUT WRITTEN AUTHORIZATION.
DO NOT MODIFY, ALTER OR DUPLICATE WITHOUT PROPER AUTHORIZATION.

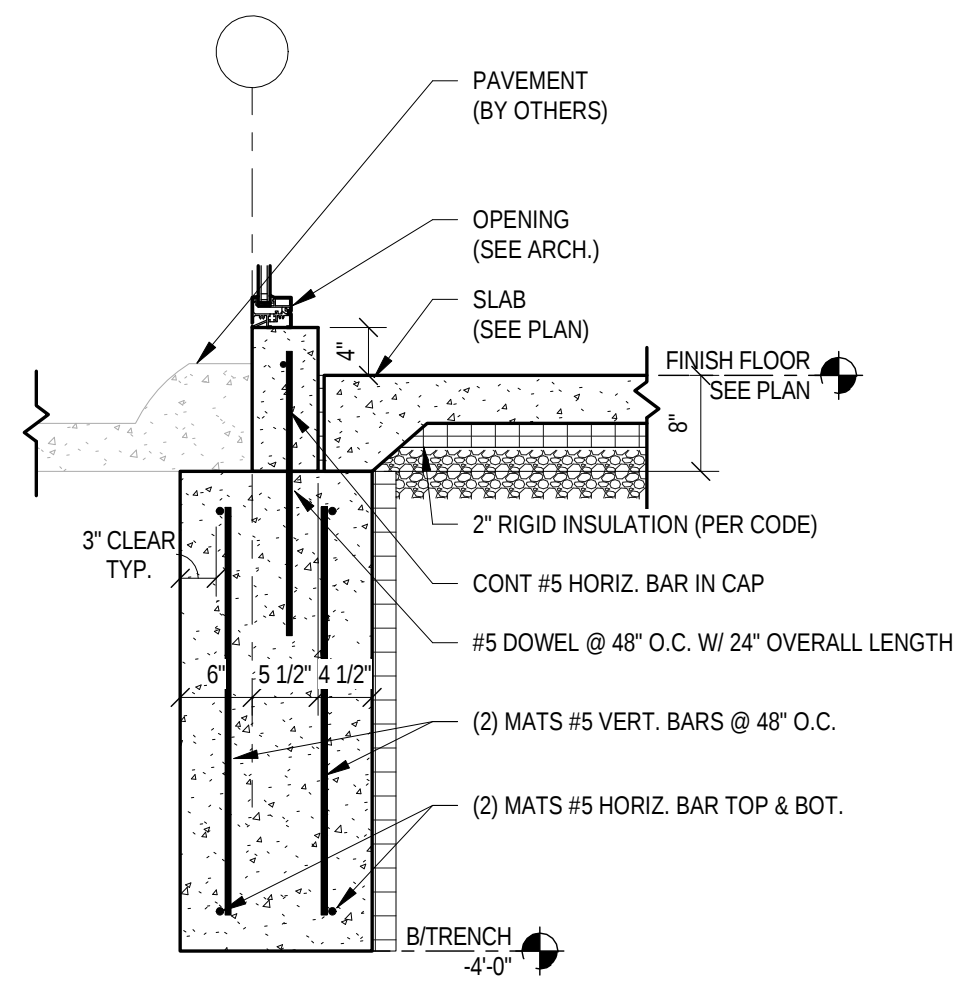
DRAWN BY: TEM
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APPROVED BY: TEM
JOB DATE: 6-27-17
JOB NO: 17-353

PAGE NO.

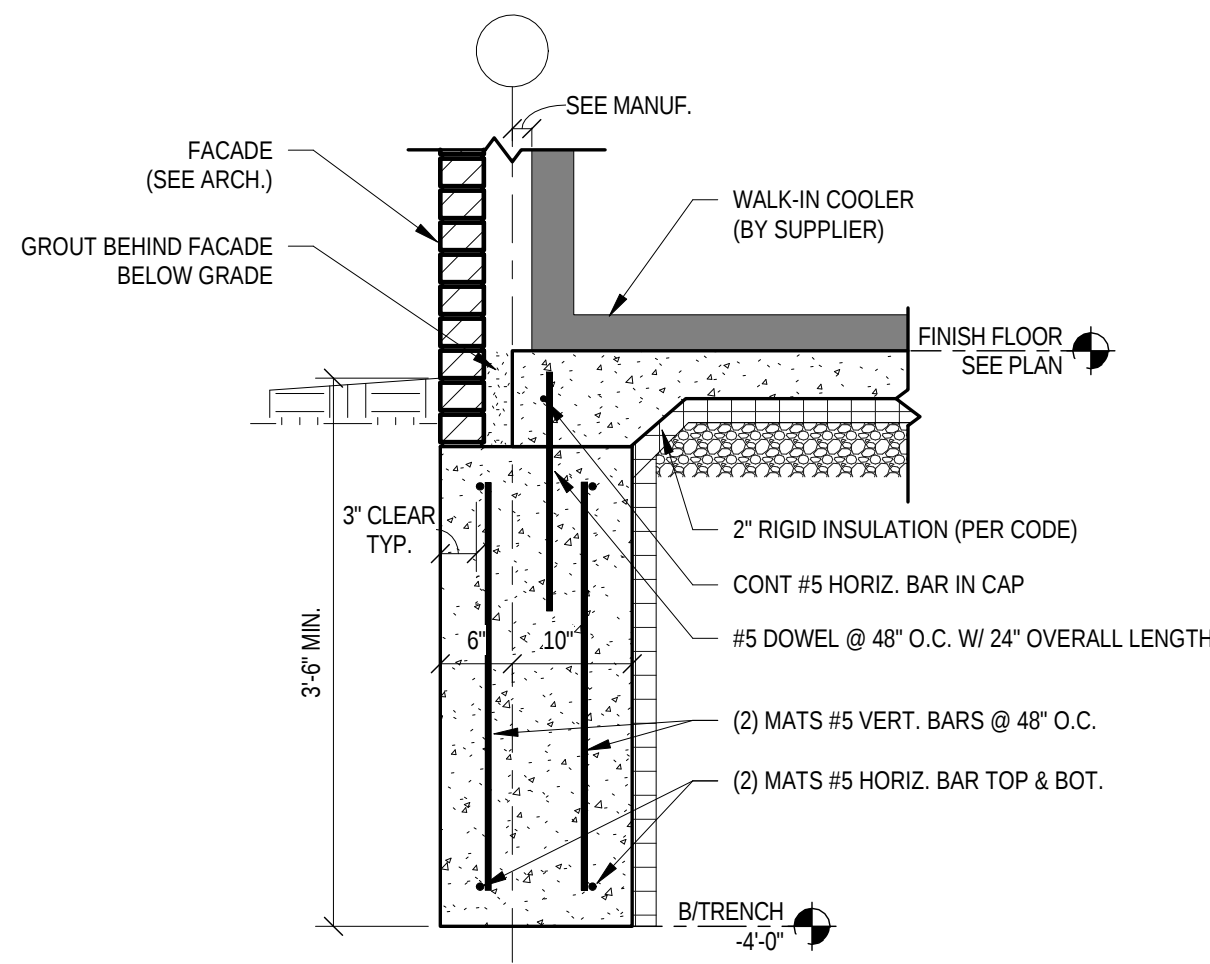
S-111



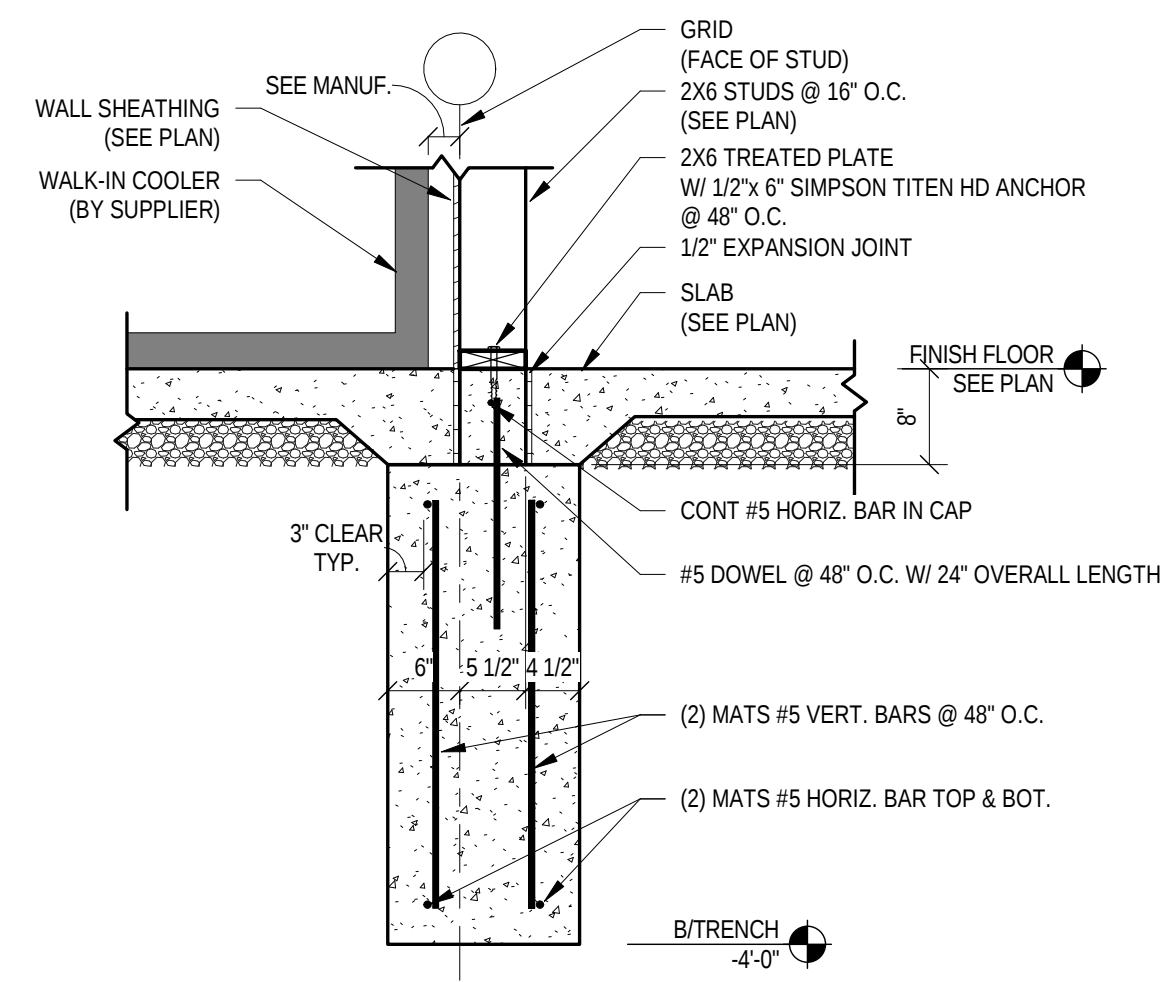
1 TRENCH FTG.
SCALE: 3/4" = 1'-0"



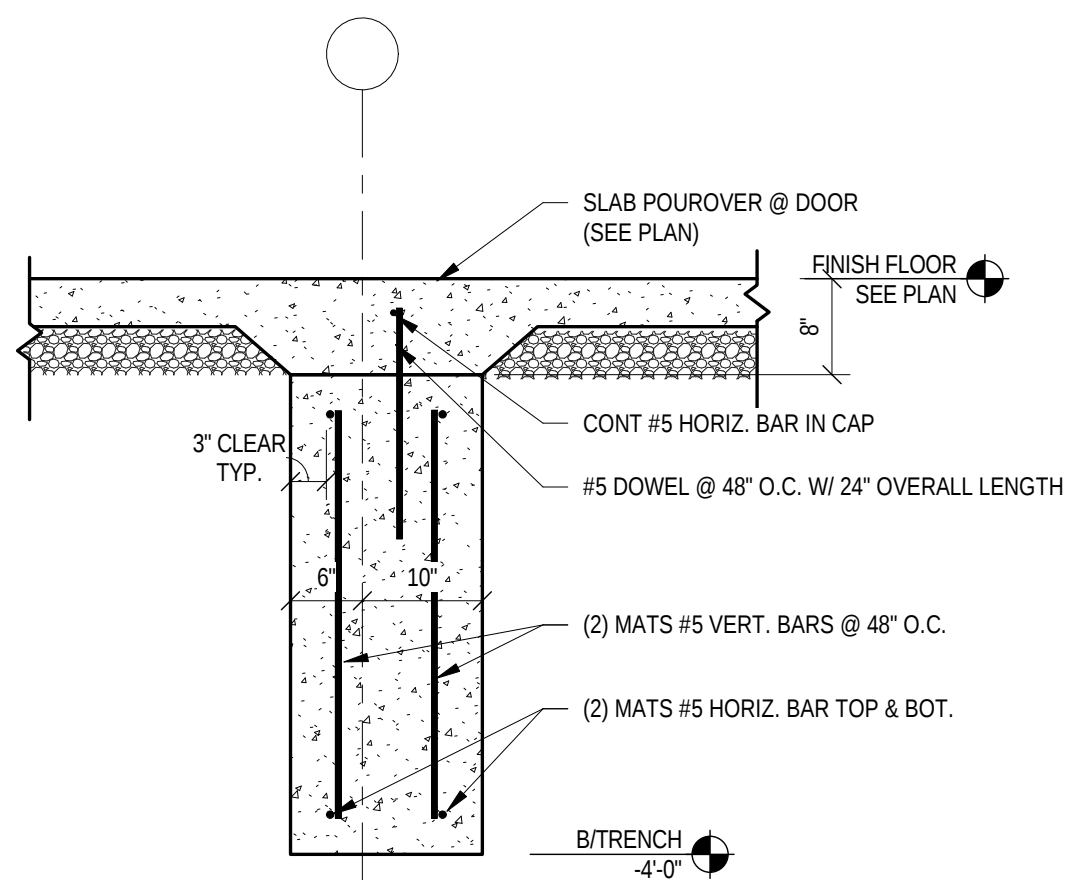
2 TRENCH FTG. @ STOREFRONT
SCALE: 3/4" = 1'-0"



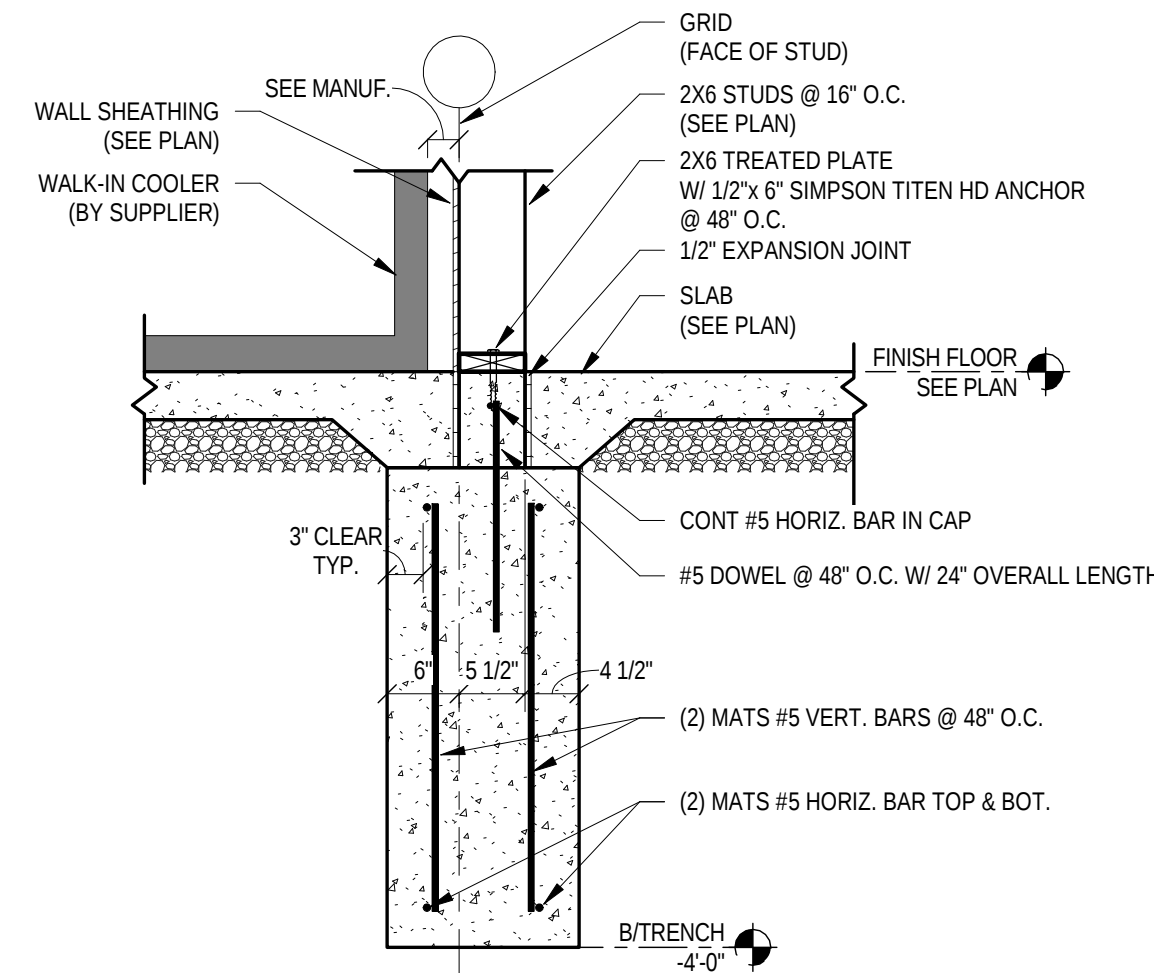
3 TRENCH FTG. AT COOLER
SCALE: 3/4" = 1'-0"



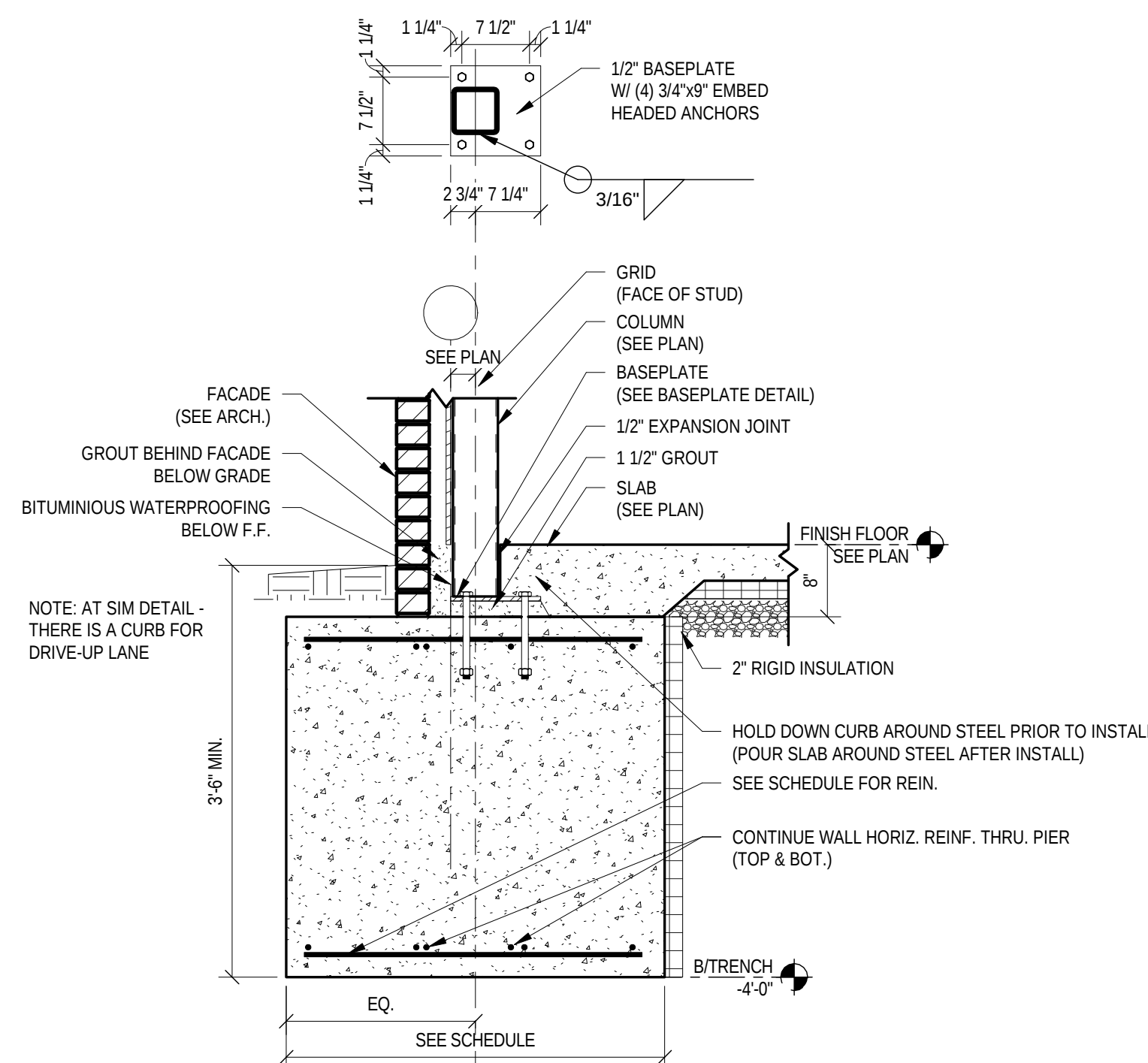
4 TRENCH FTG. AT INTERIOR COOLER
SCALE: 3/4" = 1'-0"



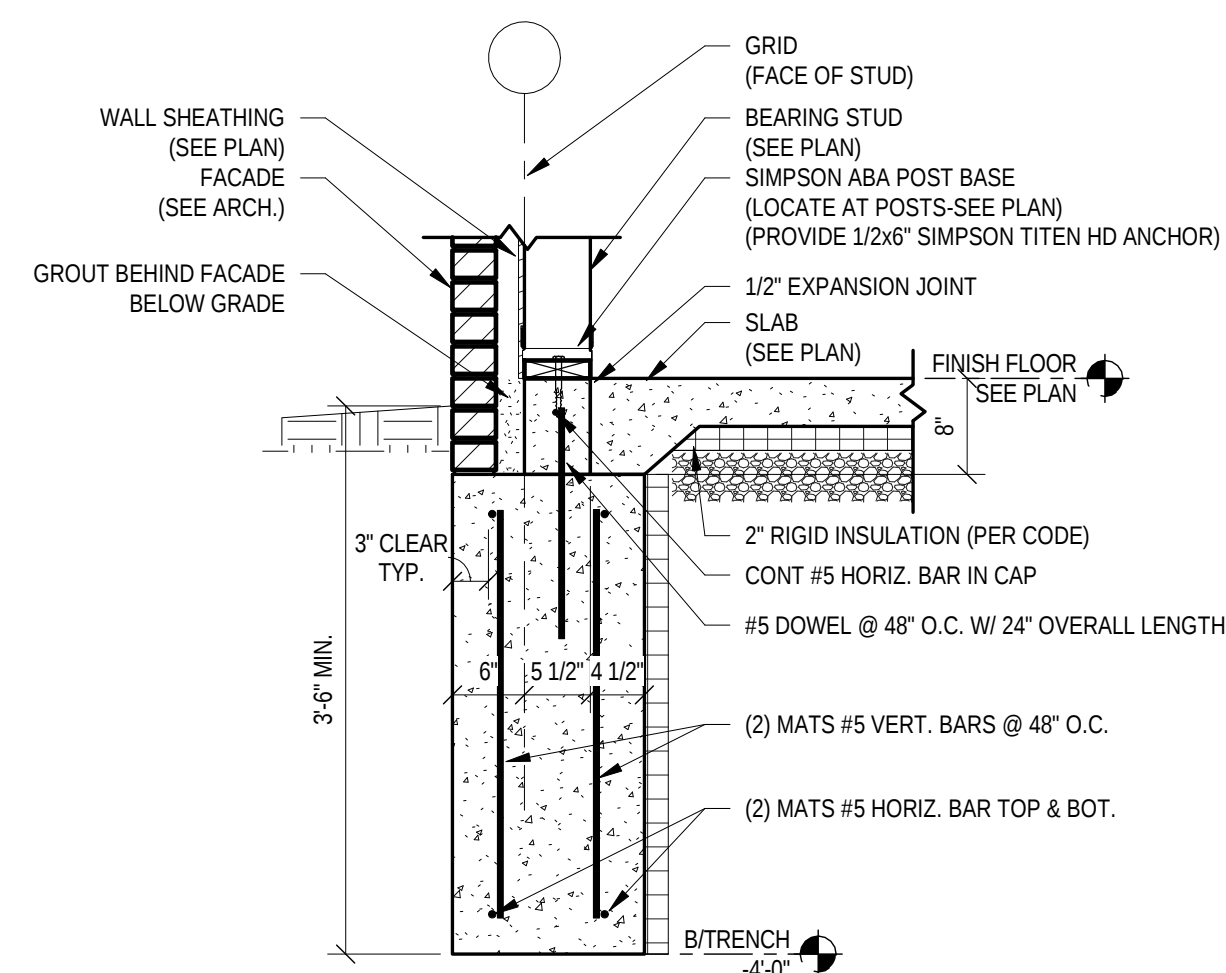
5 TRENCH FTG. AT INTERIOR DOOR
SCALE: 3/4" = 1'-0"



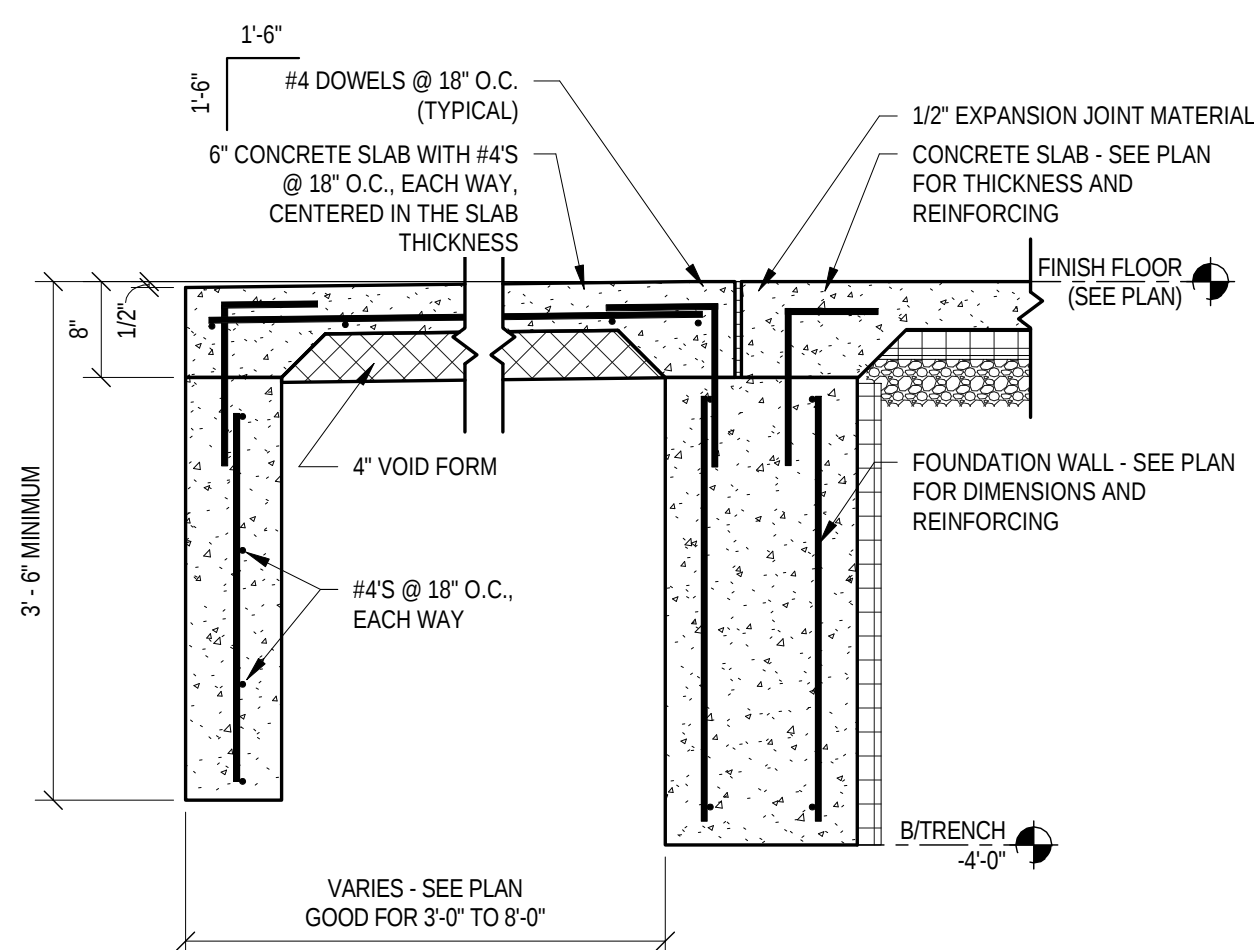
6 TRENCH FTG. AT INTERIOR FREEZER
SCALE: 3/4" = 1'-0"



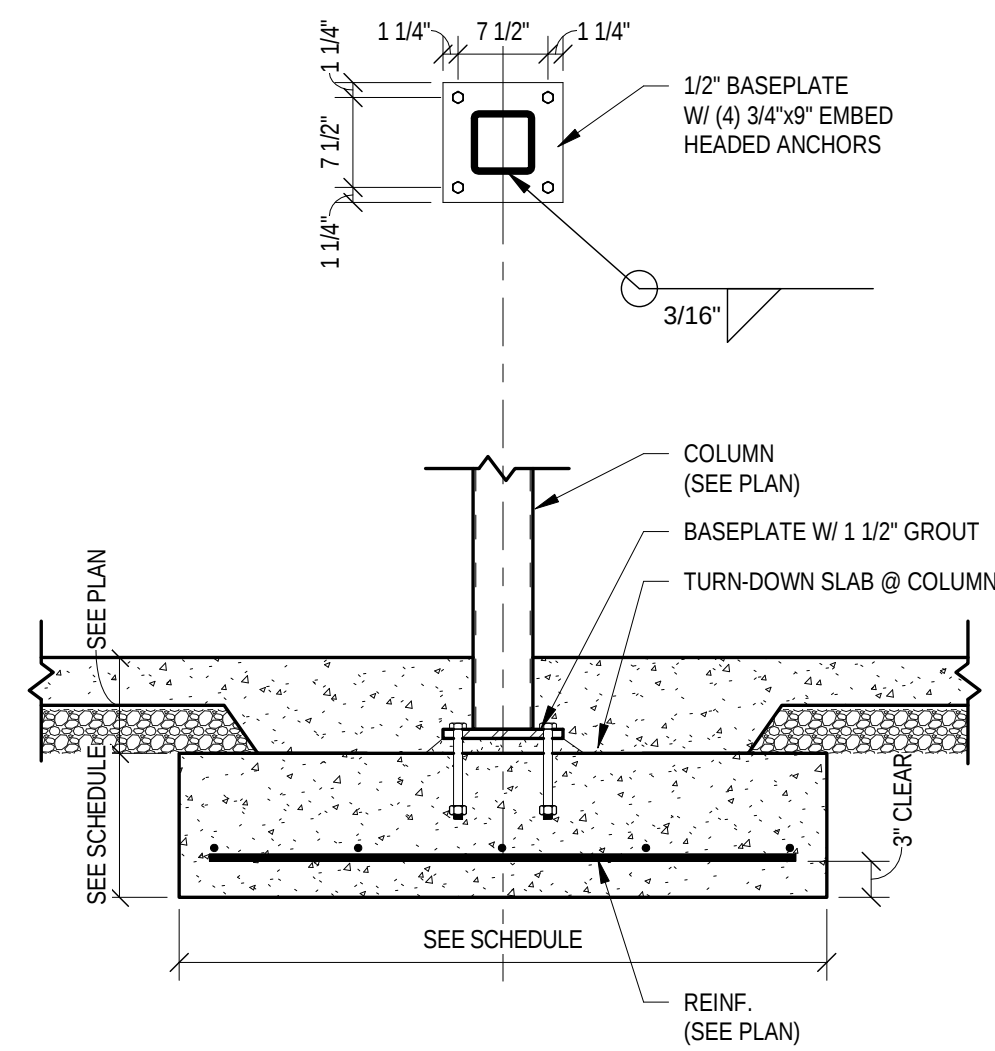
7 TRENCH PIER FTG.
SCALE: 3/4" = 1'-0"



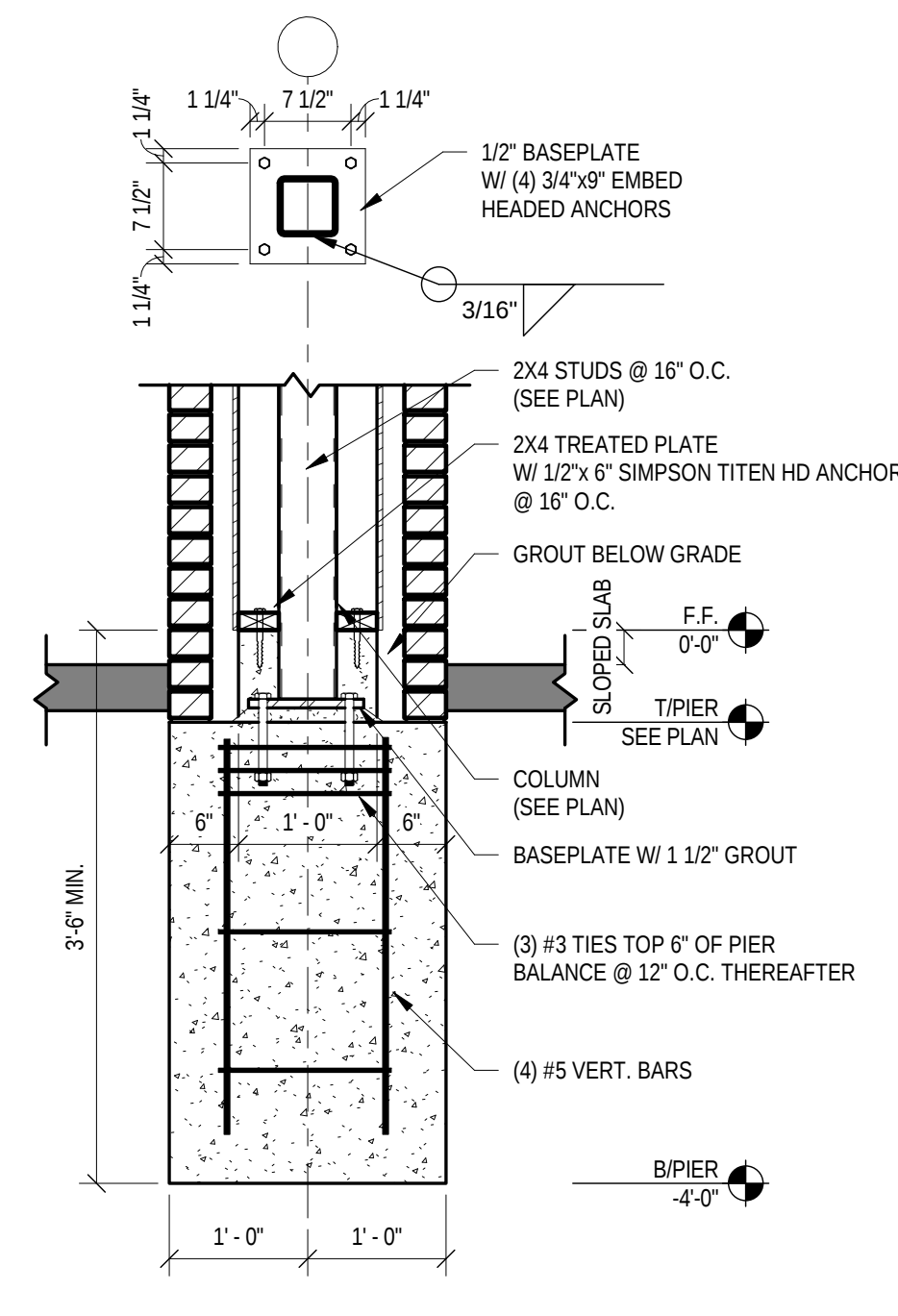
8 BEARING POST AT TRENCH FTG.
SCALE: 3/4" = 1'-0"



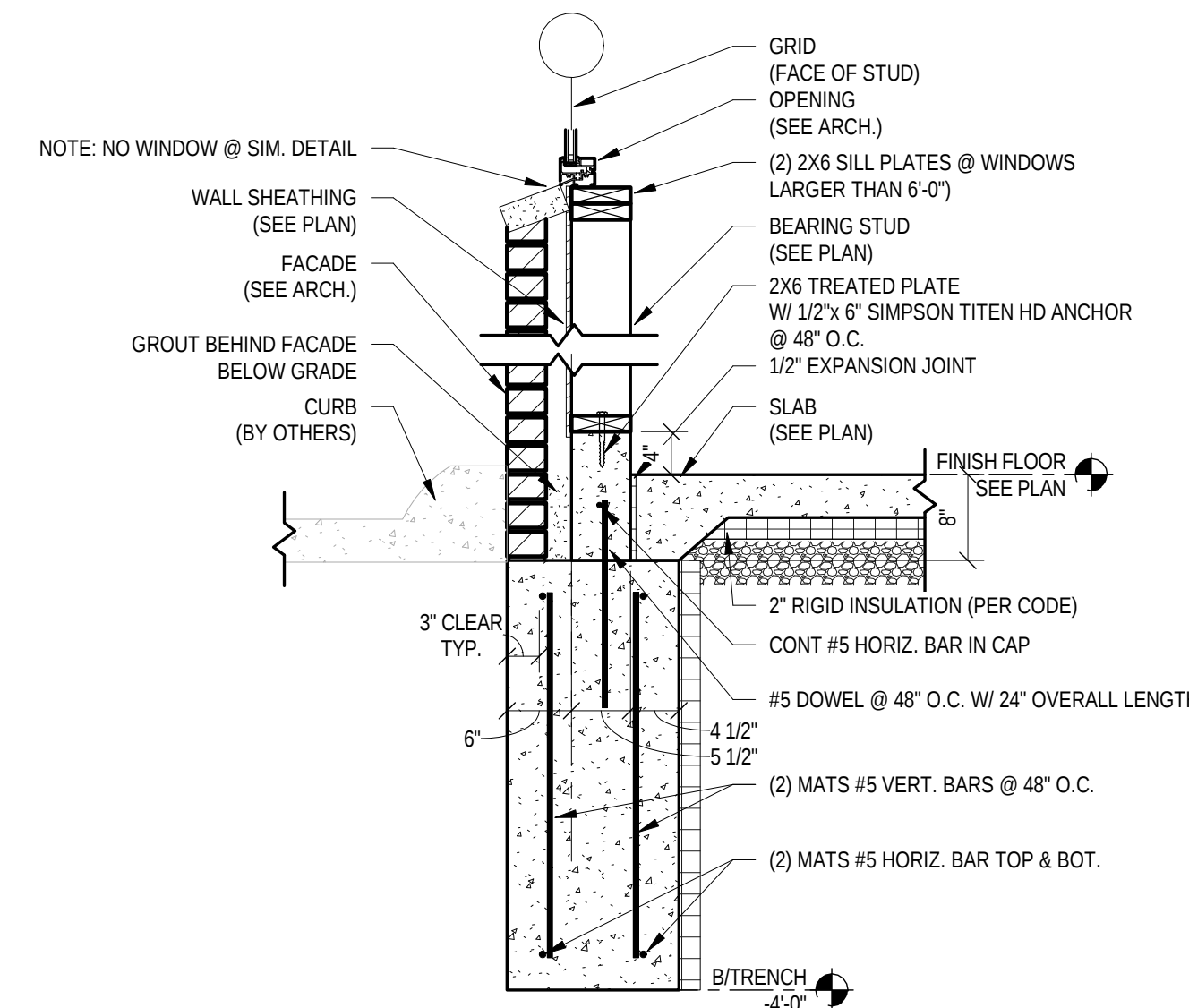
9 TYPICAL STOOP SECTION
SCALE: 3/4" = 1'-0"



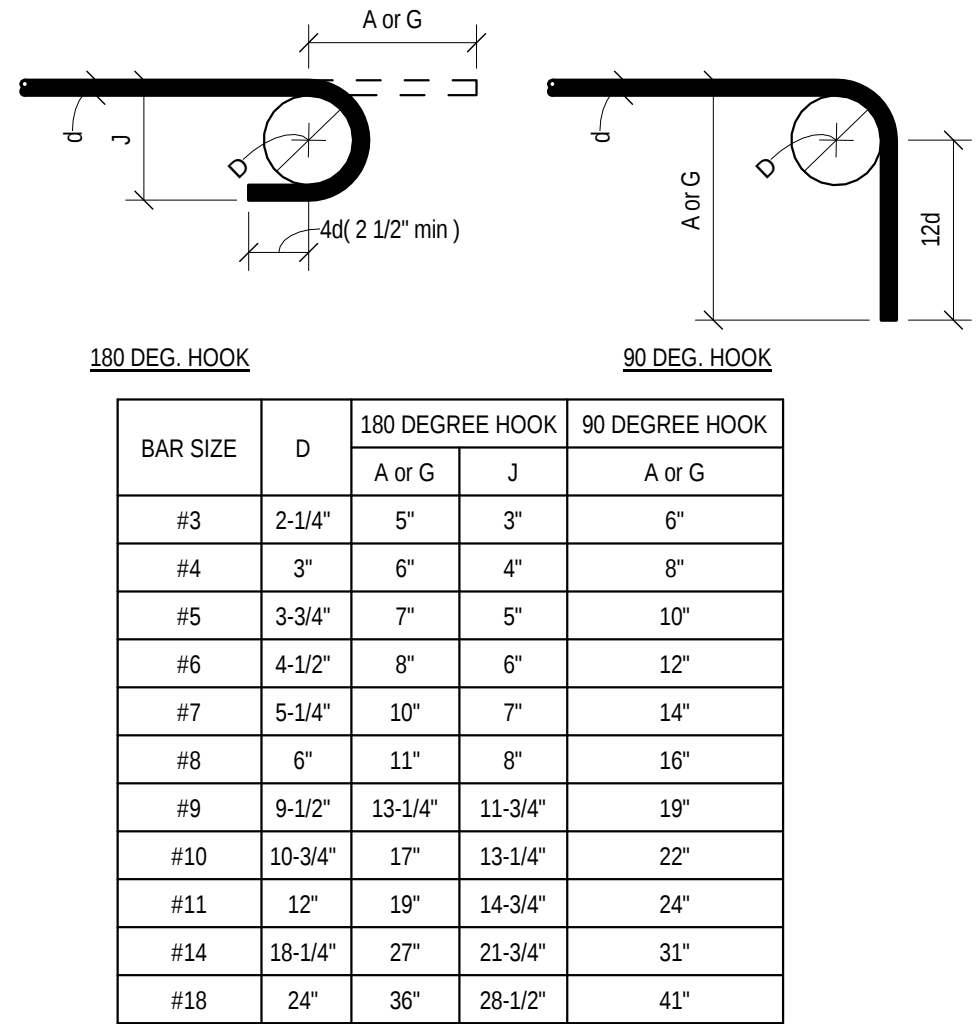
10 INTERIOR FTG.
SCALE: 3/4" = 1'-0"



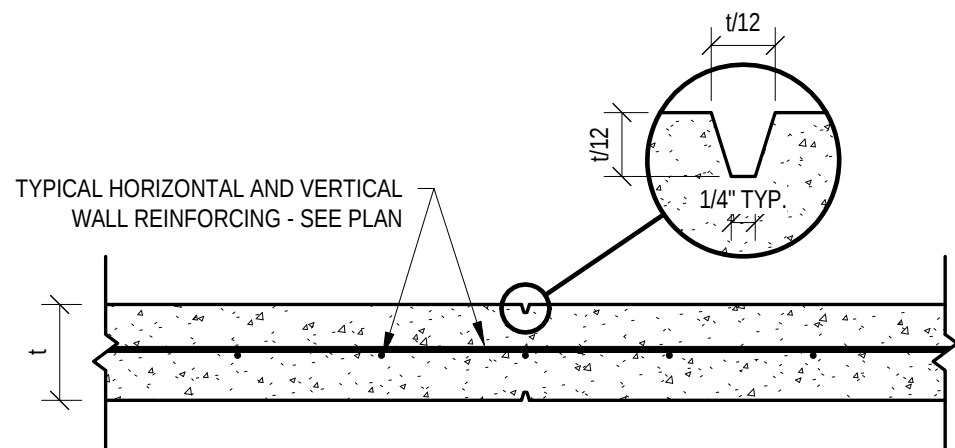
11 PIER FTG.
SCALE: 3/4" = 1'-0"



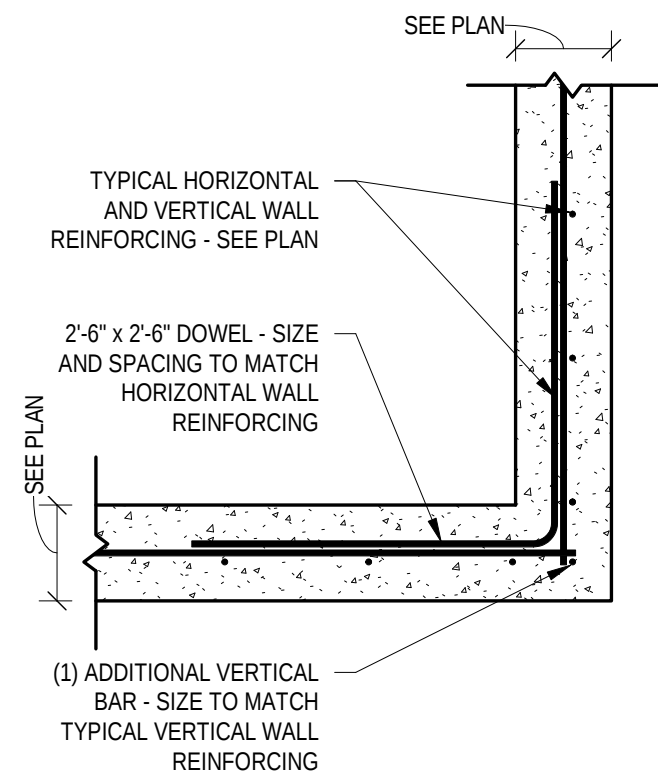
12 TRENCH FTG. W/CURB
SCALE: 3/4" = 1'-0"



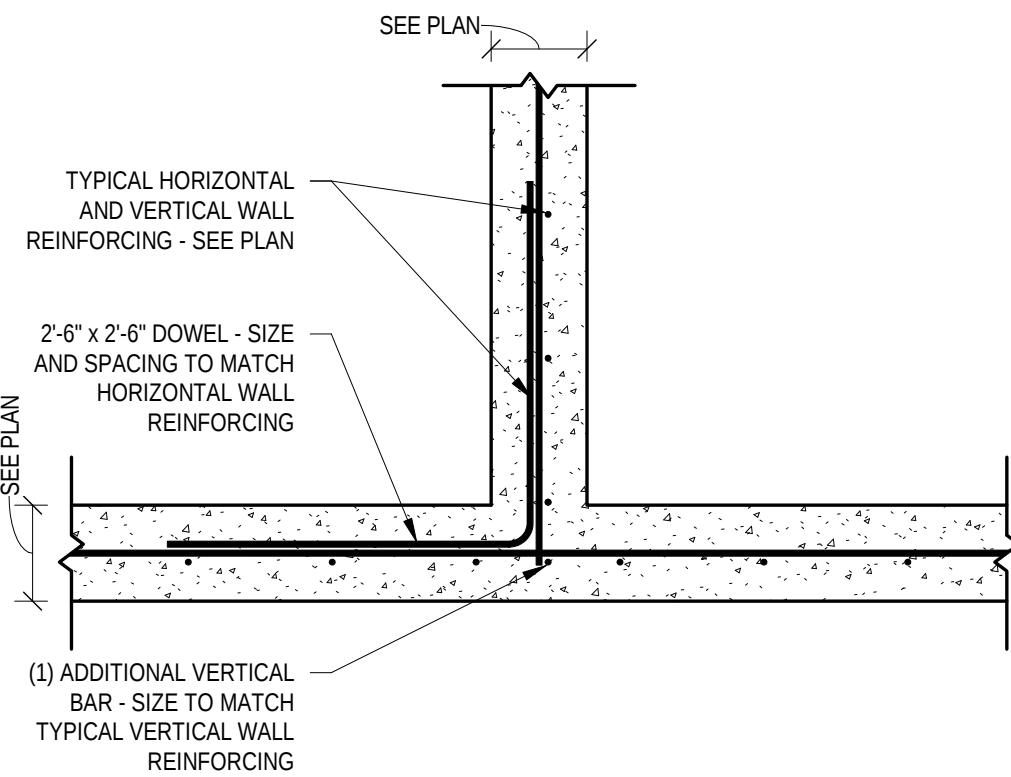
1 STANDARD CONCRETE REINFORCING HOOKS
SCALE: 1 1/2" = 1'-0"



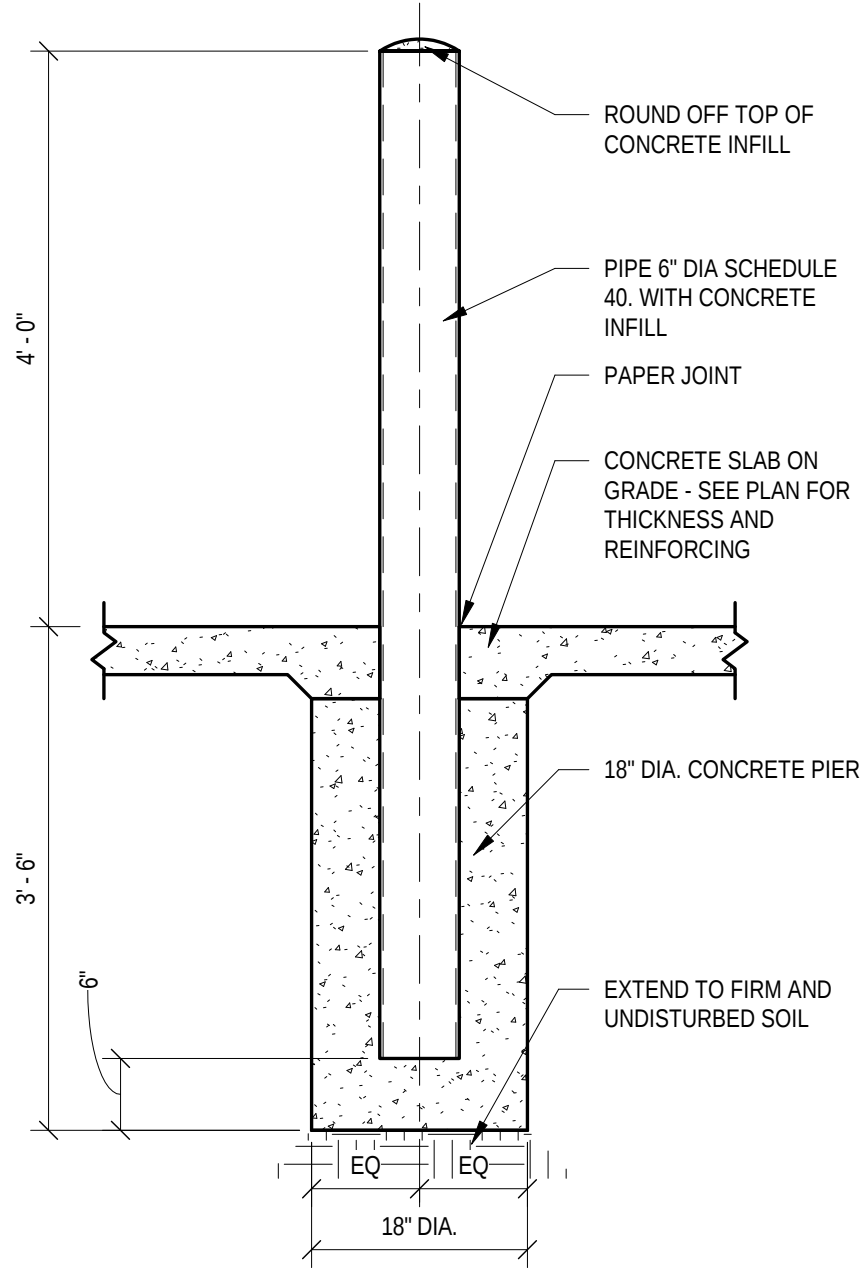
2 TYPICAL CONCRETE WALL CONTROL JOINT
SCALE: 3/4" = 1'-0"



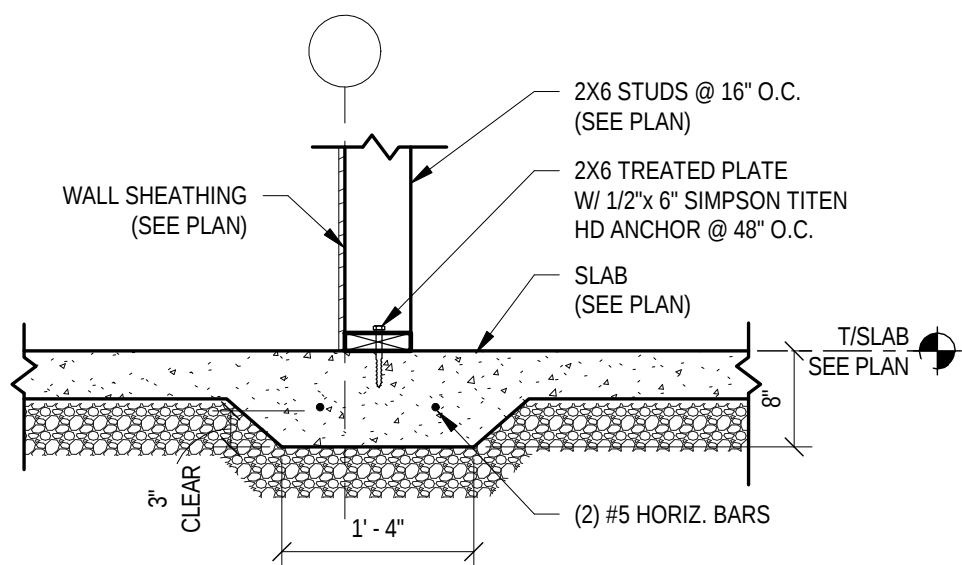
3 TYPICAL CONCRETE WALL CORNER DETAIL
SCALE: 3/4" = 1'-0"



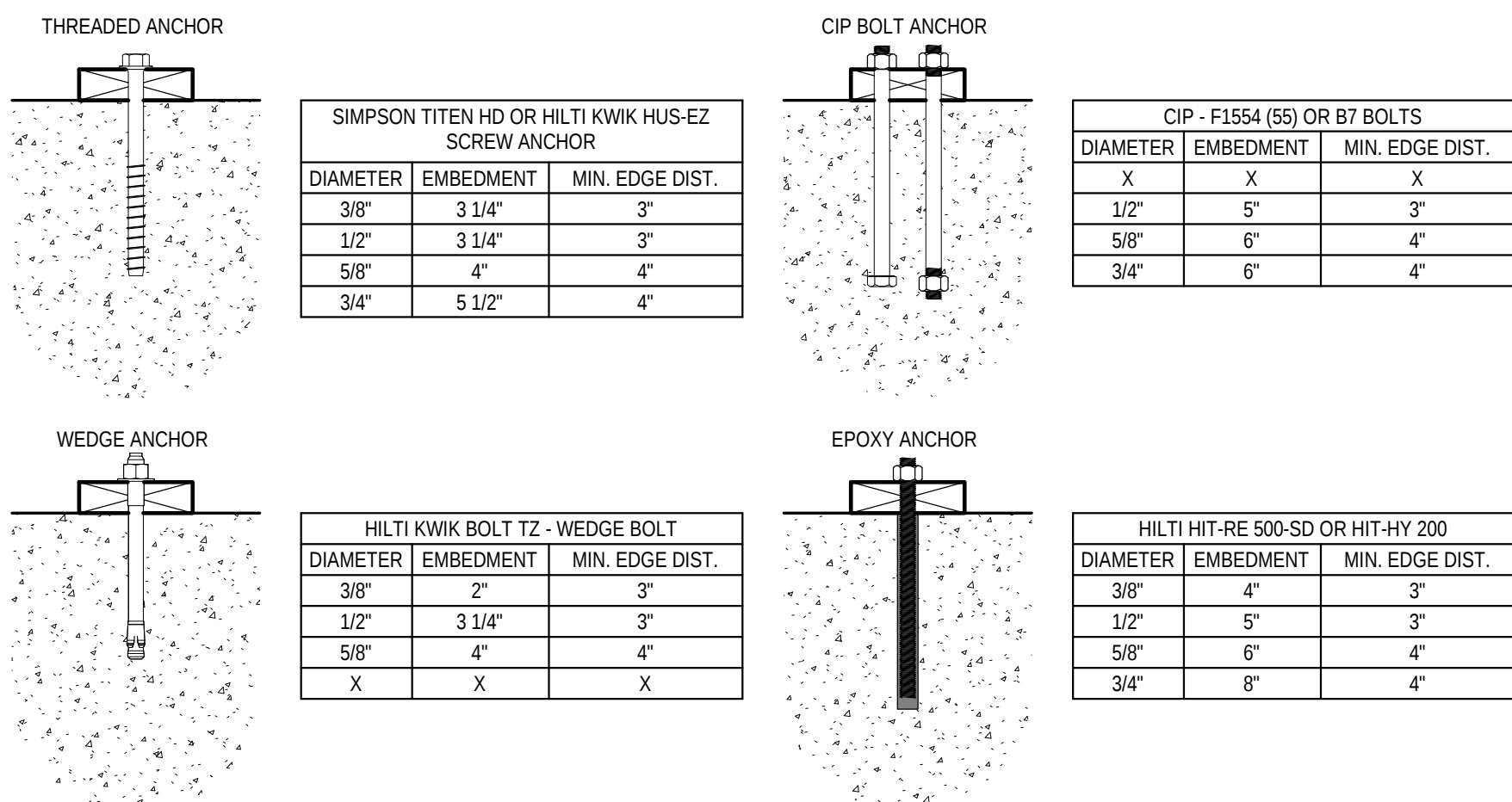
4 TYPICAL CONCRETE WALL INTERSECTION DETAIL
SCALE: 3/4" = 1'-0"



5 TYPICAL BOLLARD
SCALE: 3/4" = 1'-0"



6 THICKENED FTG.
SCALE: 3/4" = 1'-0"



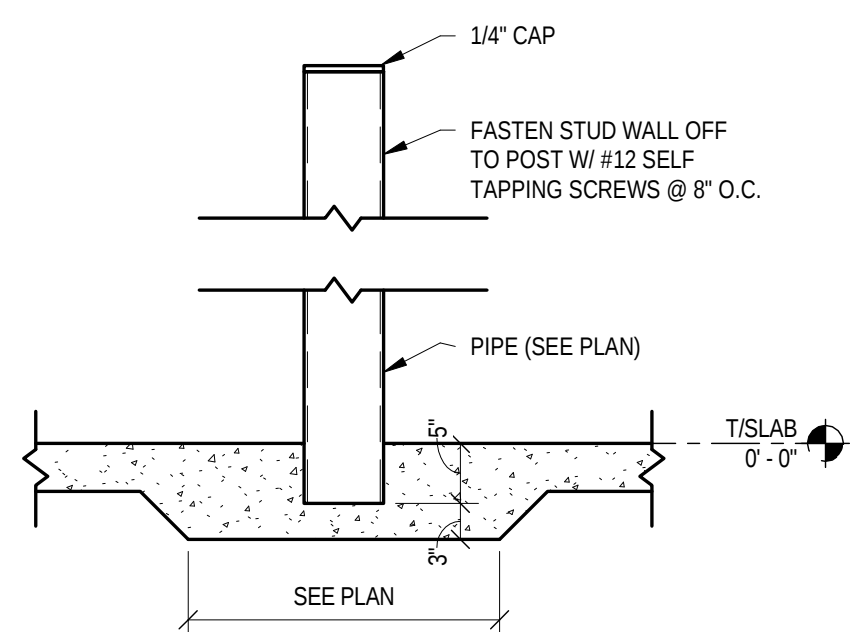
NOTE:
1. APPROVED ANCHORS MAY BE USED WHERE ANCHORS ARE NOT EXPLICITLY DENOTED ON PLANS, DETAILS OR NOTES.
2. USE OF OTHER ANCHOR PRODUCTS MUST BE APPROVED BY THE STRUCTURAL ENGINEER OF RECORD.

LOAD TABLE IS FOR DESIGNER ONLY NOT TO BE INCLUDED WITH DRAWINGS.
TYPICAL CONCRETE ANCHOR MAXIMUM LOAD CAPACITIES. IF SPECIFIC ANCHOR SCENARIO EXCEEDS THESE DESIGN VALUES OR ANCHOR GEOMETRY IS NOT MET, ANCHOR MUST BE DESIGNED AND SPECIFIED ON THE CONSTRUCTION DOCUMENTS.

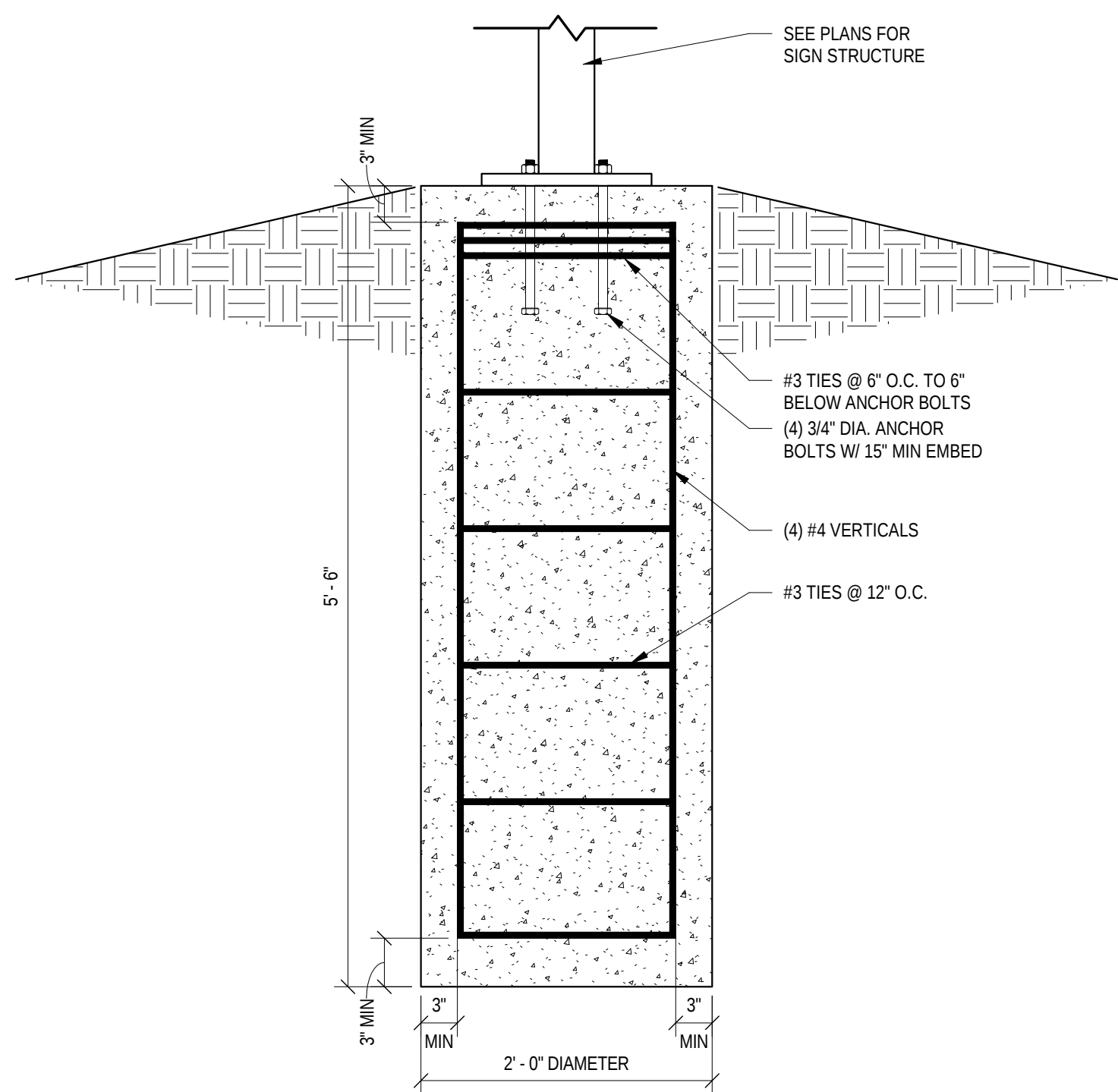
DESIGN NOTES:
1. ALL CAPACITIES ARE FOR ULTIMATE LOAD (LRFD)
2. MINIMUM CONCRETE THICKNESS 12"
3. $f_c = 3,000$ psi
4. MINIMUM ANCHOR SPACING 12" ON CENTER
5. WORST CASE ANCHOR CONDITION ASSUMED AS ANCHOR IN CONCRETE STEMWALL WITH LOAD ACTING PARALLEL TO WALL (3" EDGE DISTANCE FOR 1/2" AND SMALLER, 4" FOR 5/8" AND LARGER)

MAXIMUM ULTIMATE LOADS			
DIAMETER	SHEAR	TENSION	COMBINED
3/8"	900 #	1,600 #	600 # / 1,050 #
1/2"	1,050 #	1,750 #	650 # / 1,250 #
5/8"	1,650 #	2,100 #	1,150 # / 1,500 #
3/4"	1,800 #	2,900 #	1,200 # / 1,900 #

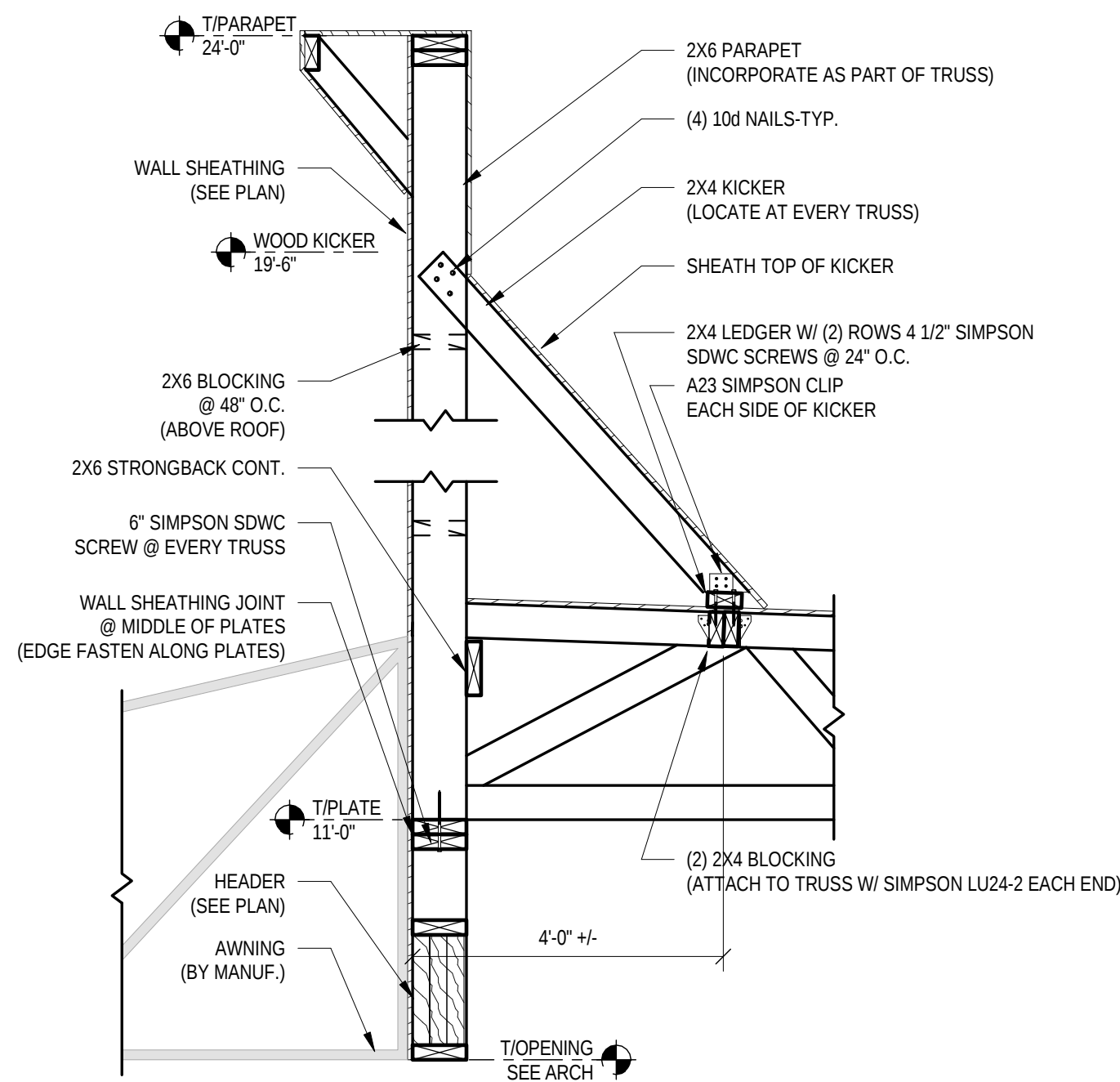
7 TYPICAL ANCHOR BOLTS
SCALE: 1 1/2" = 1'-0"



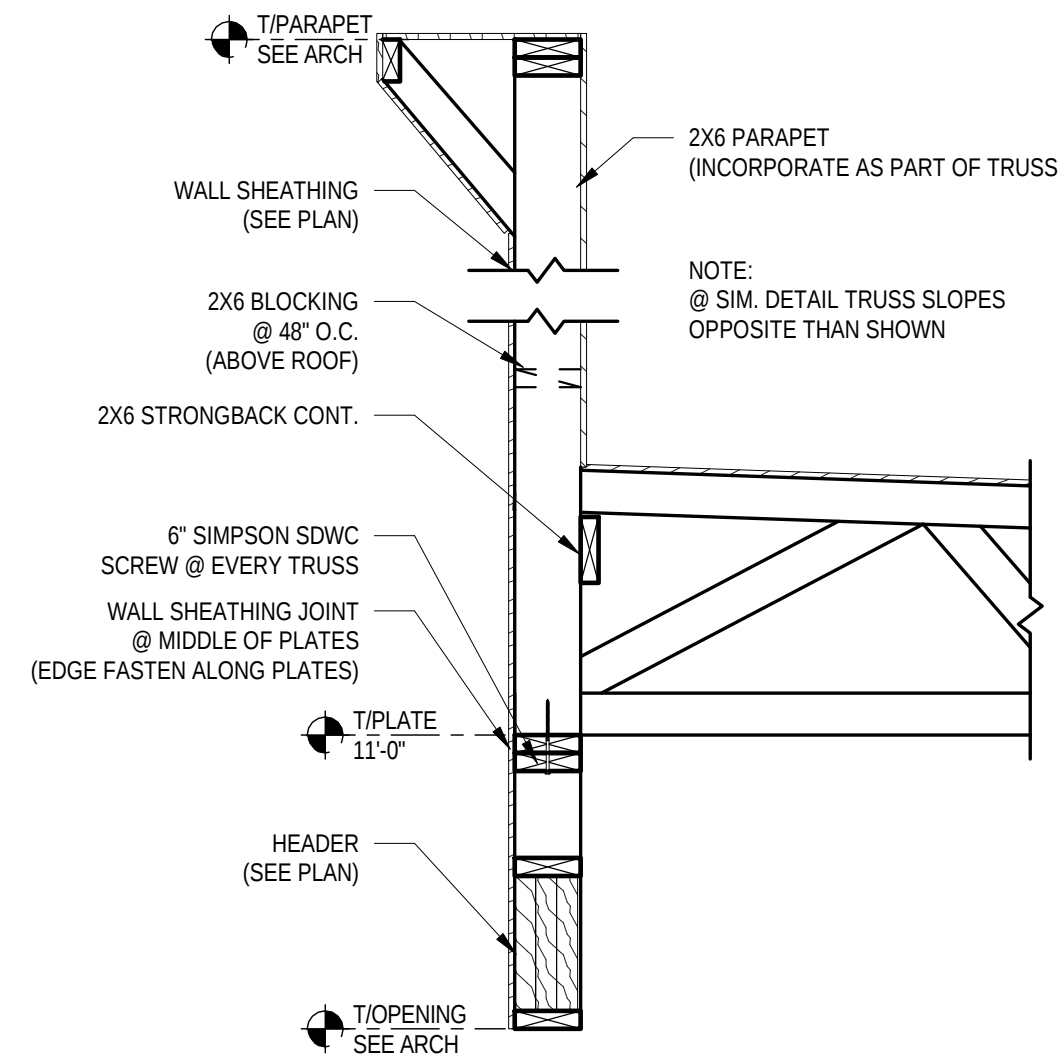
8 POST DETAIL
SCALE: 3/4" = 1'-0"



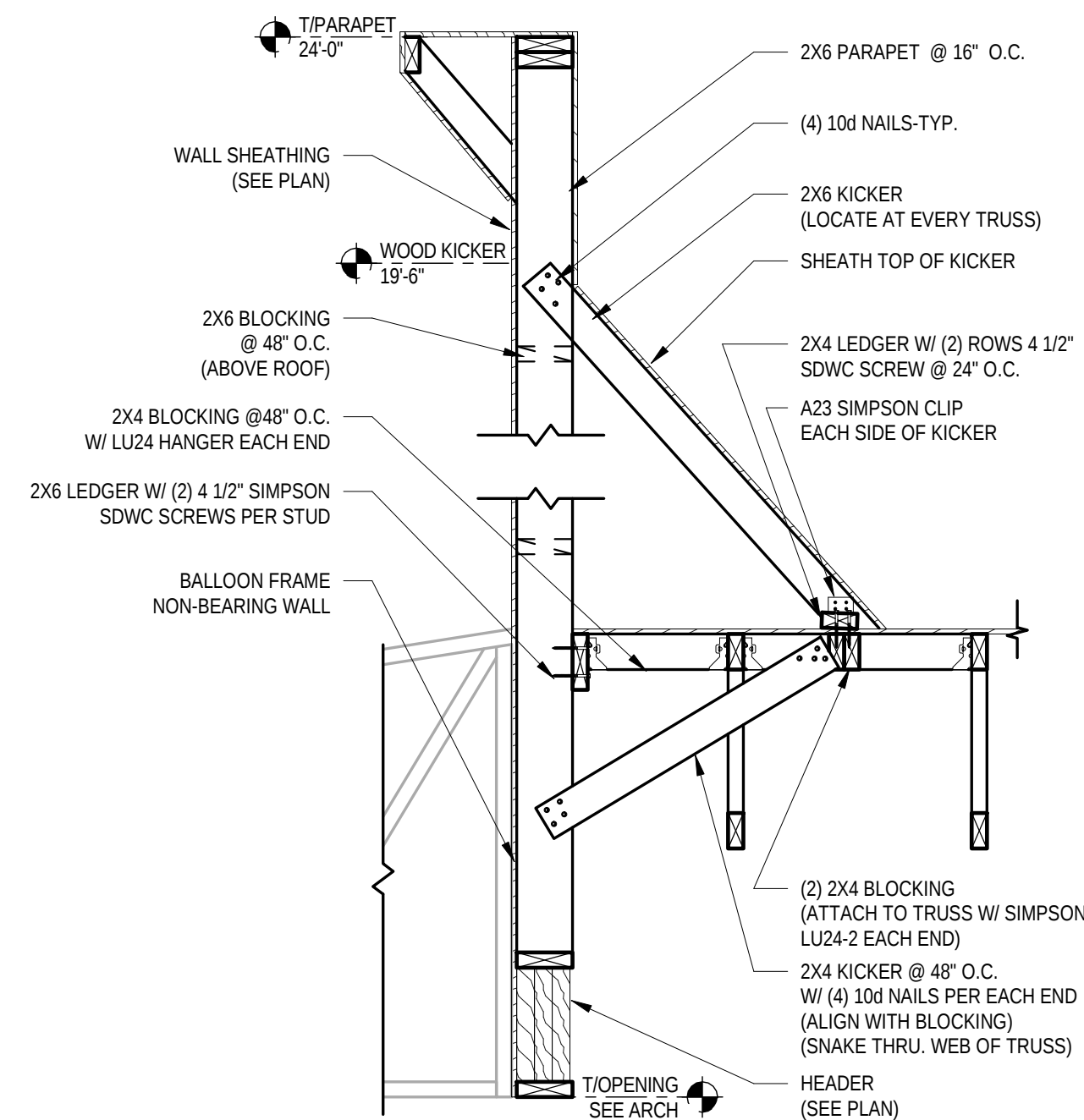
9 LIGHT POLE BASE DETAIL
SCALE: 1" = 1'-0"



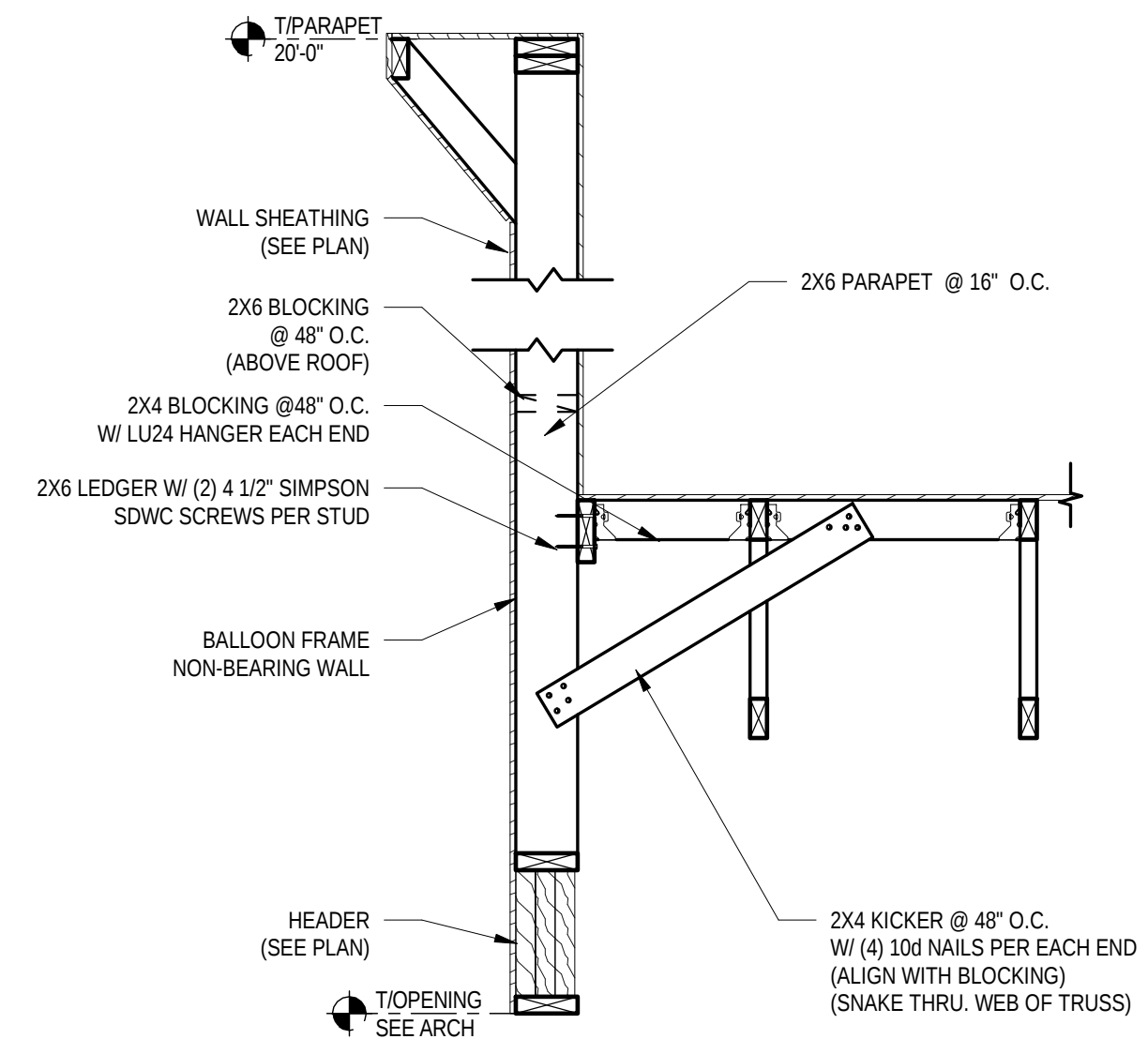
1 TRUSS BEARING @ EXTENDED PARAPET
SCALE: 3/4" = 1'-0"



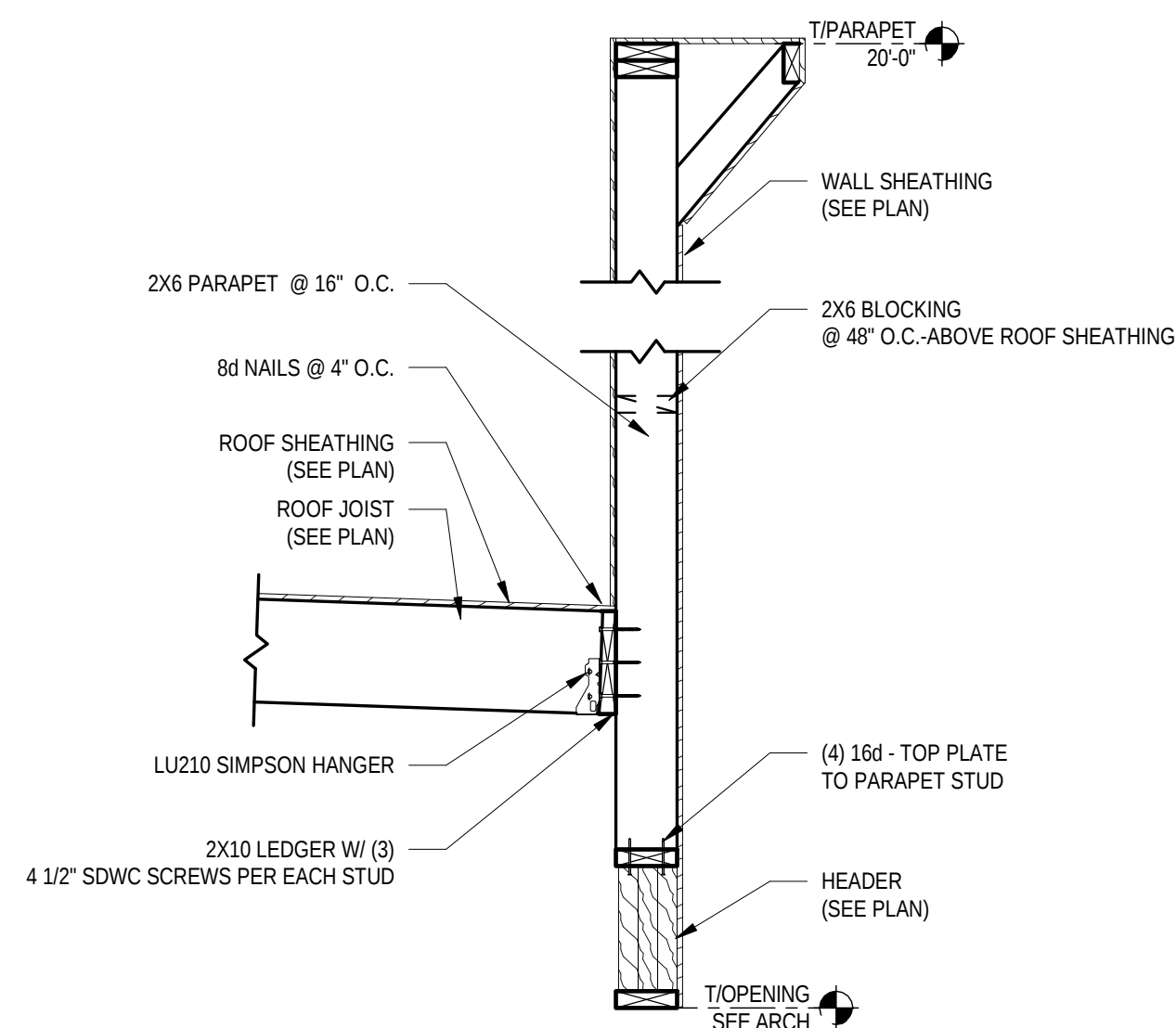
2 TRUSS BEARING @ REGULAR PARAPET
SCALE: 3/4" = 1'-0"



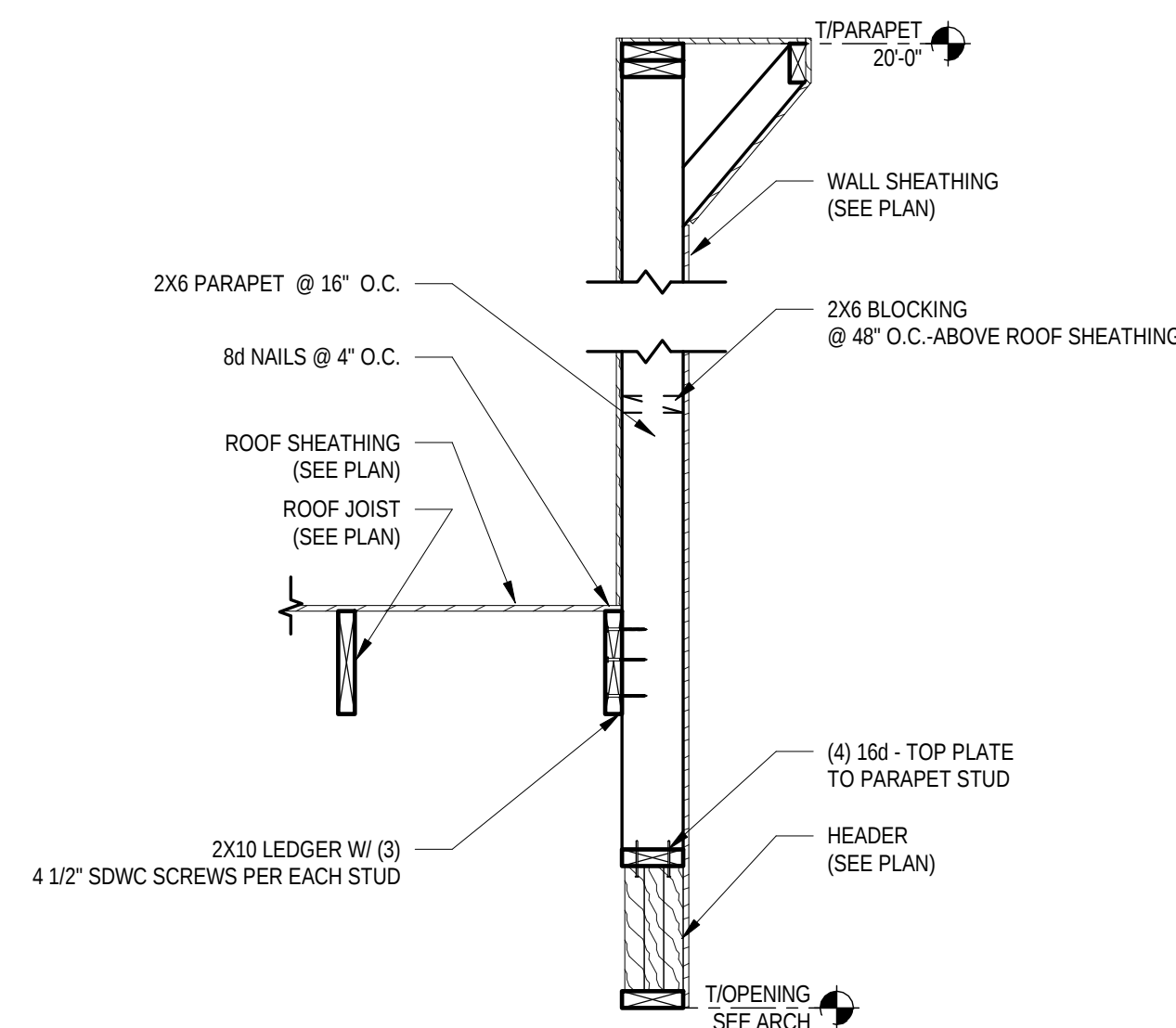
3 TRUSS NON-BEARING @ EXTENDED PARAPET
SCALE: 3/4" = 1'-0"



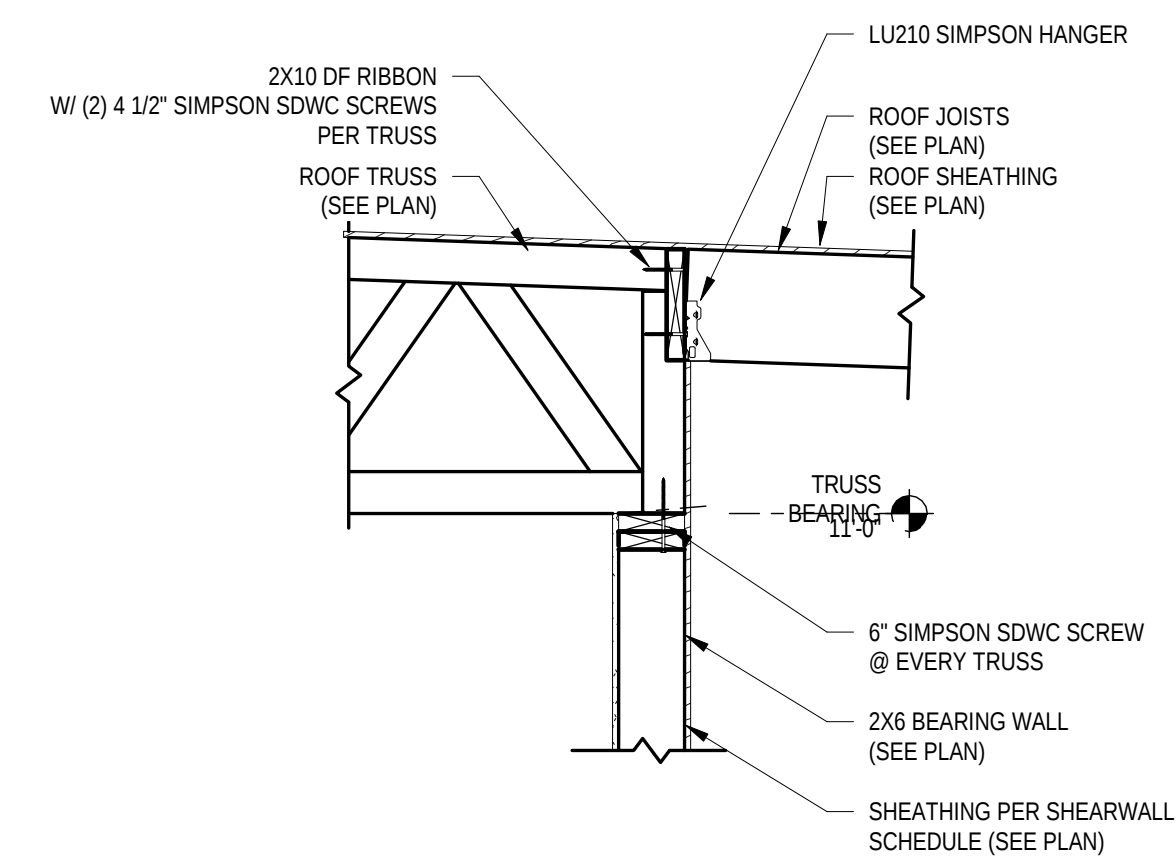
4 TRUSS NON-BEARING @ REGULAR PARAPET
SCALE: 3/4" = 1'-0"



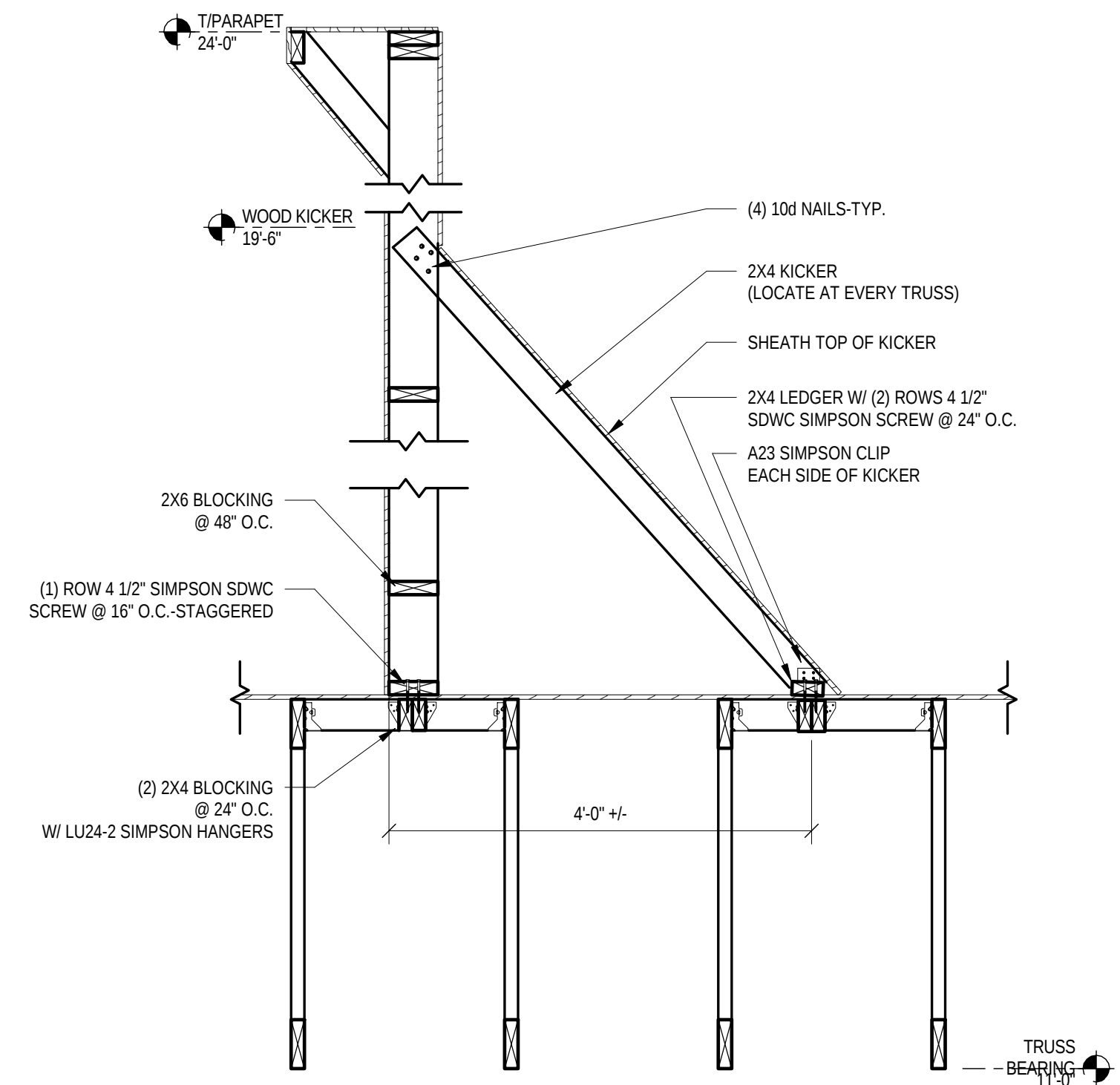
5 JOIST LEDGER @ PARAPET
SCALE: 3/4" = 1'-0"



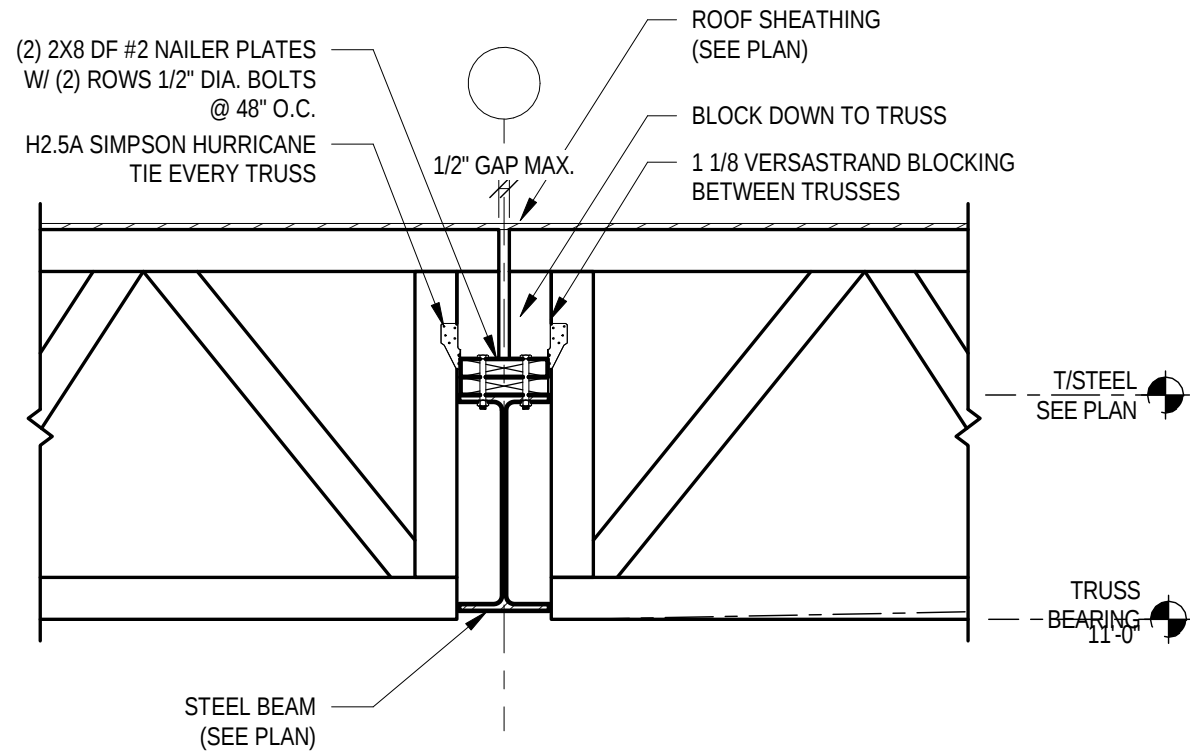
6 JOIST LEDGER @ PARAPET NON-BEARING
SCALE: 3/4" = 1'-0"



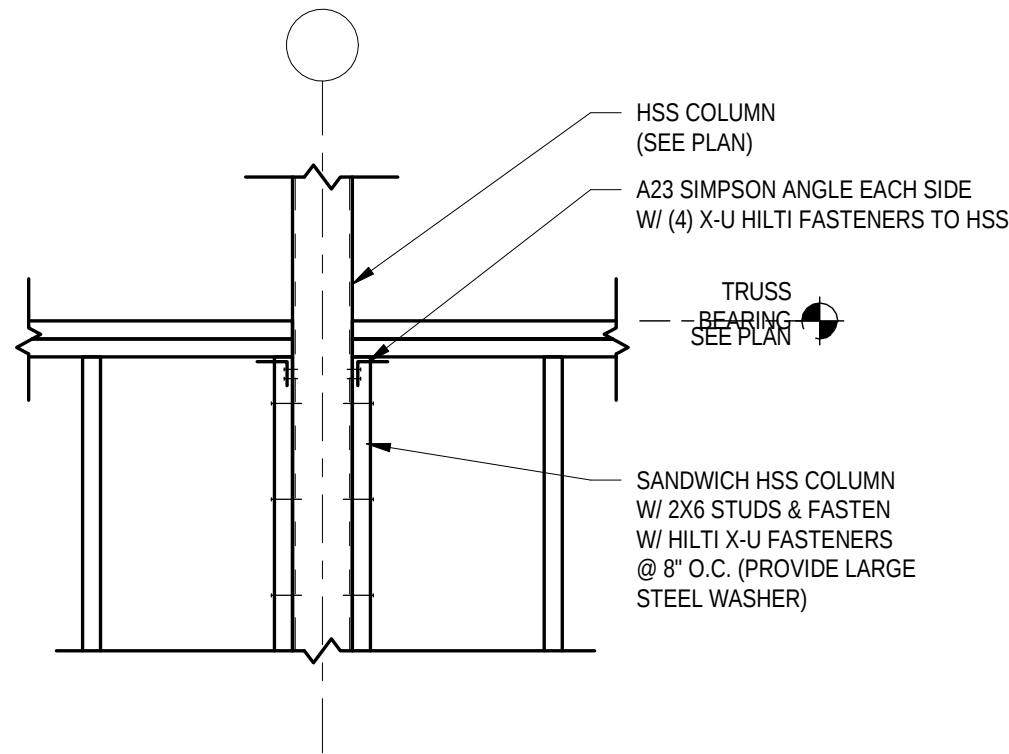
7 TRUSS LEDGER
SCALE: 3/4" = 1'-0"



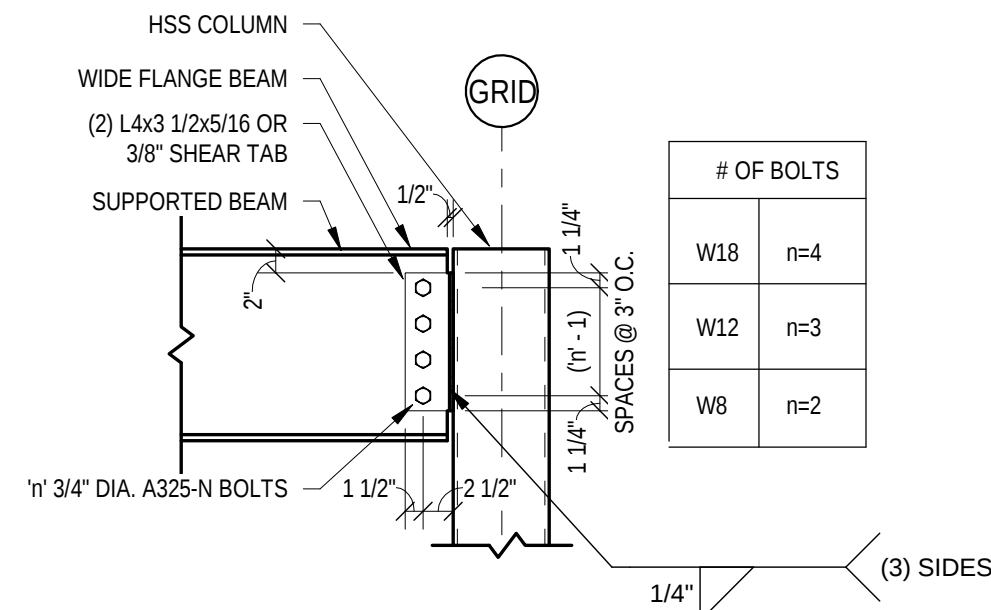
8 SCREENWALL RUNNING PARALLEL WITH TRUSS
SCALE: 3/4" = 1'-0"



1 STEEL BEAM BEARING
SCALE: 3/4" = 1'-0"

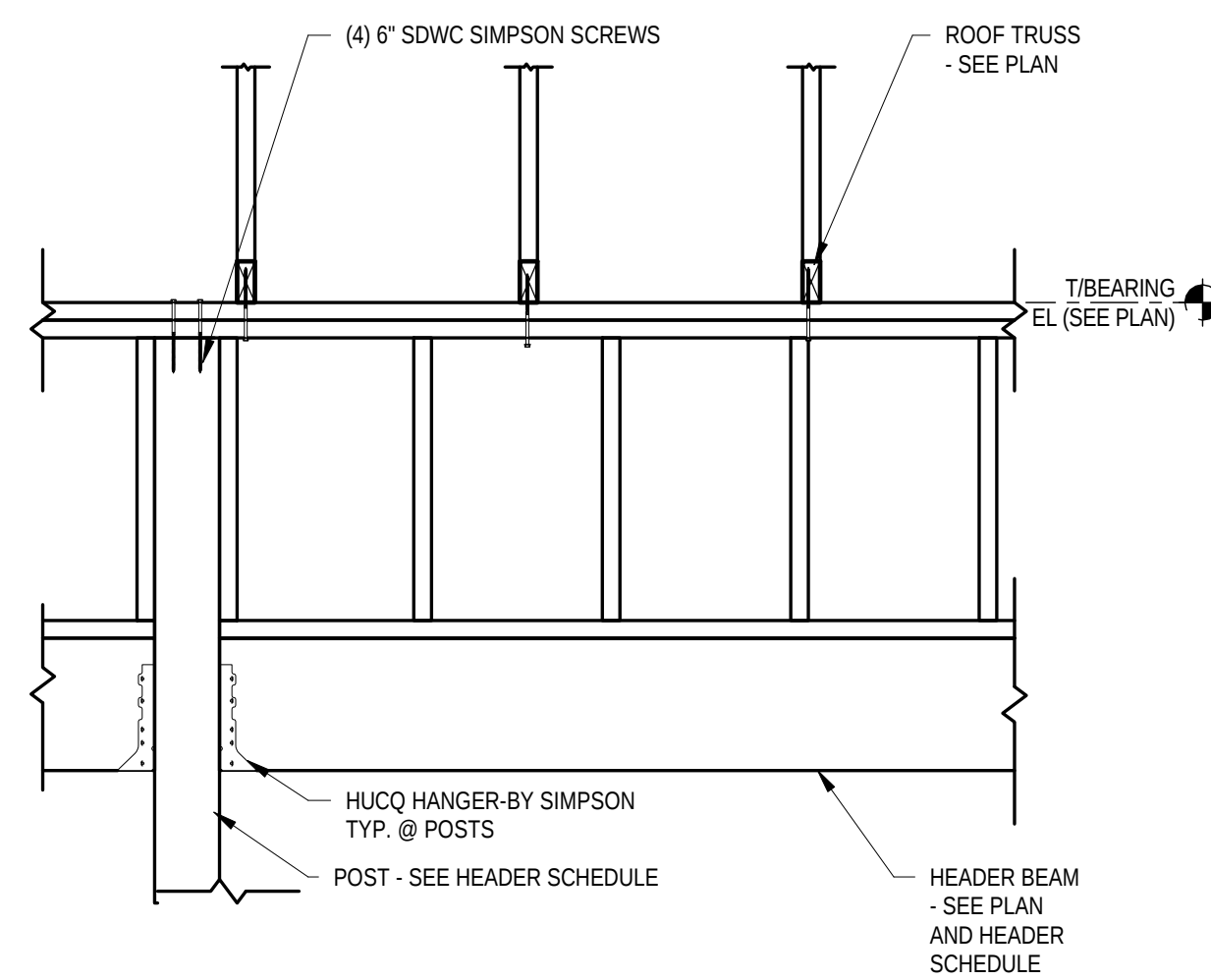


2 STEEL COLUMN FASTENING
SCALE: 3/4" = 1'-0"

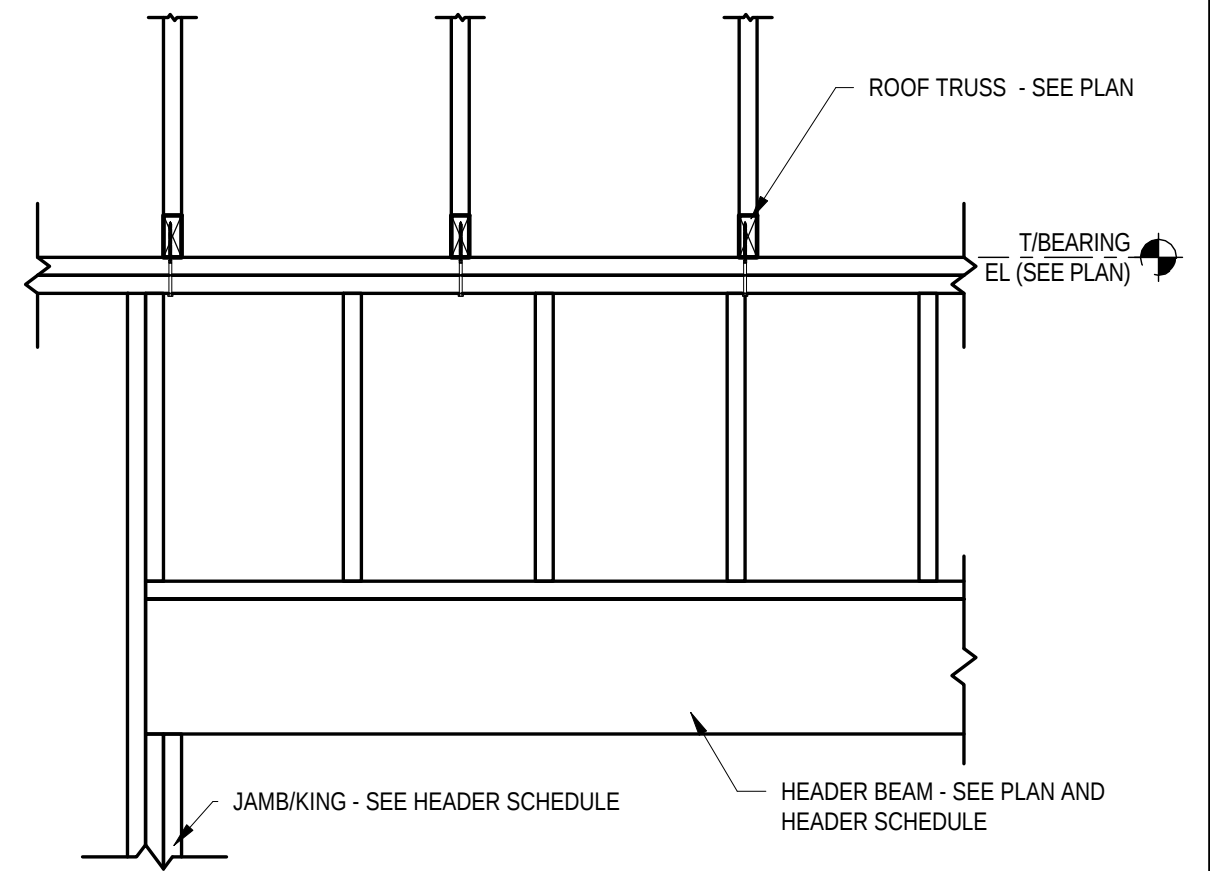


- NOTES:
- UNLESS NOTED OTHERWISE, PROVIDE SHEAR CONNECTIONS AS INDICATED BY THIS DETAIL. DETAILER IS RESPONSIBLE FOR FULLY DEVELOPING GEOMETRY AND DIMENSIONAL INFORMATION REQUIRED TO FABRICATE.
 - WHERE TYPICAL SHEAR CONNECTION DETAIL IS NOT APPLICABLE, FABRICATOR SHALL SUBMIT PROPOSED ALTERNATE CONNECTION CAPABLE OF DEVELOPING EQUAL STRENGTH. ALTERNATE CONNECTION SHALL BE SELECTED IN ACCORDANCE WITH AISC ASD CONNECTION TABLES.
 - USE 3/8" SHEAR TAB IN LIEU OF ANGLE @ CONTRACTOR'S OPTION

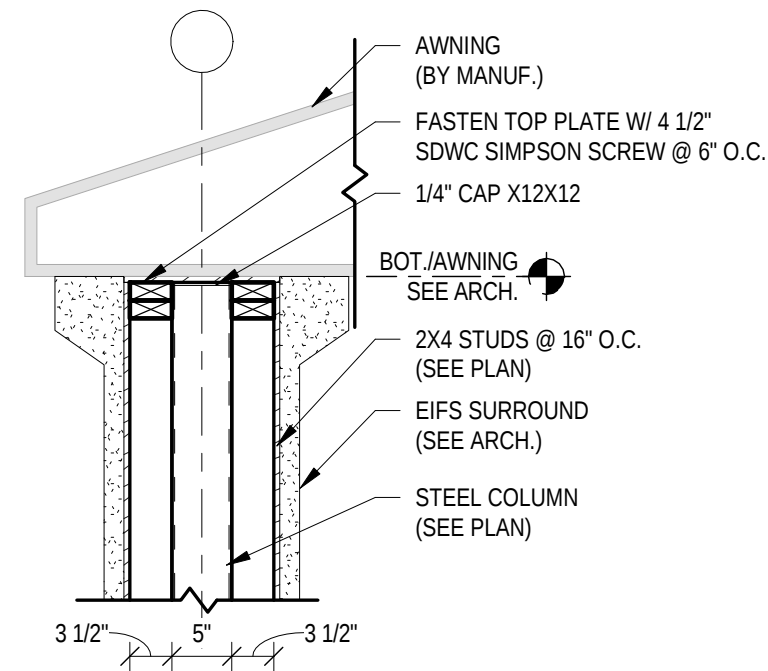
3 TYPICAL HSS COL. SHEAR CONN. DETAIL
SCALE: 3/4" = 1'-0"



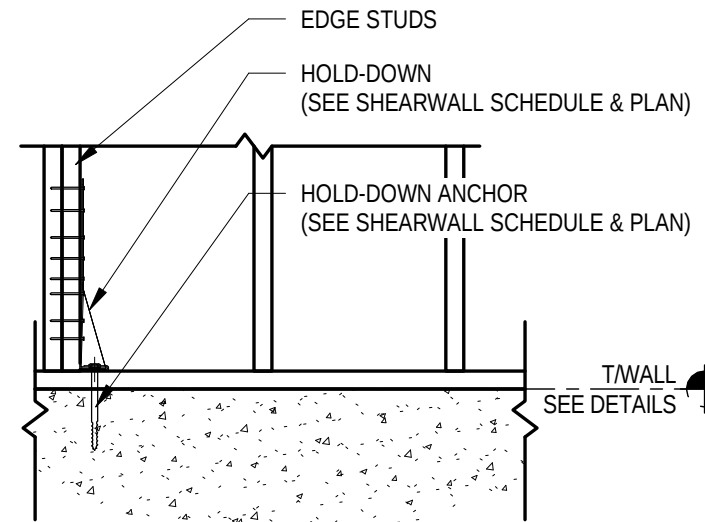
4 HEADER DETAIL @ POSTS
SCALE: 3/4" = 1'-0"



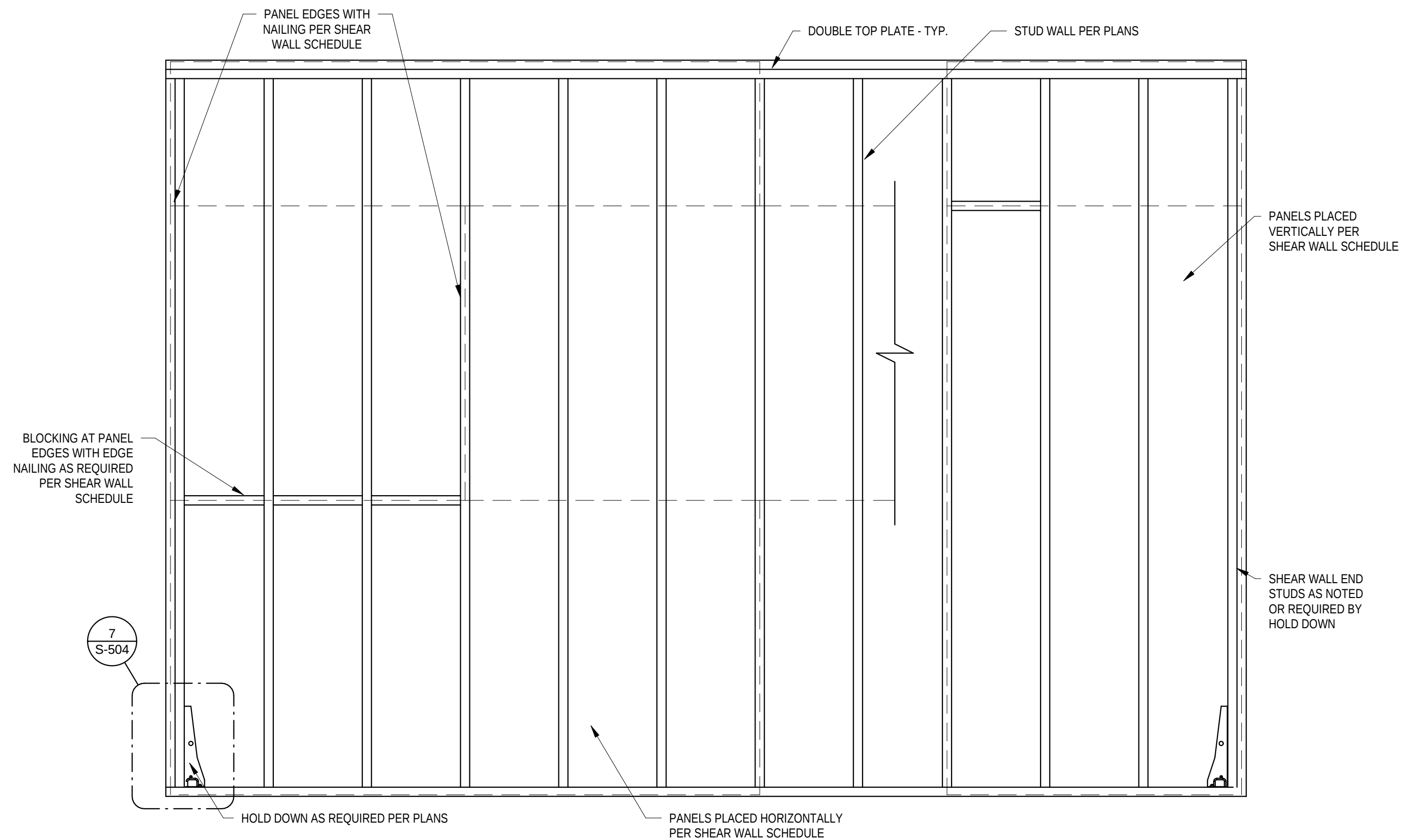
5 TYPICAL HEADER DETAIL
SCALE: 3/4" = 1'-0"



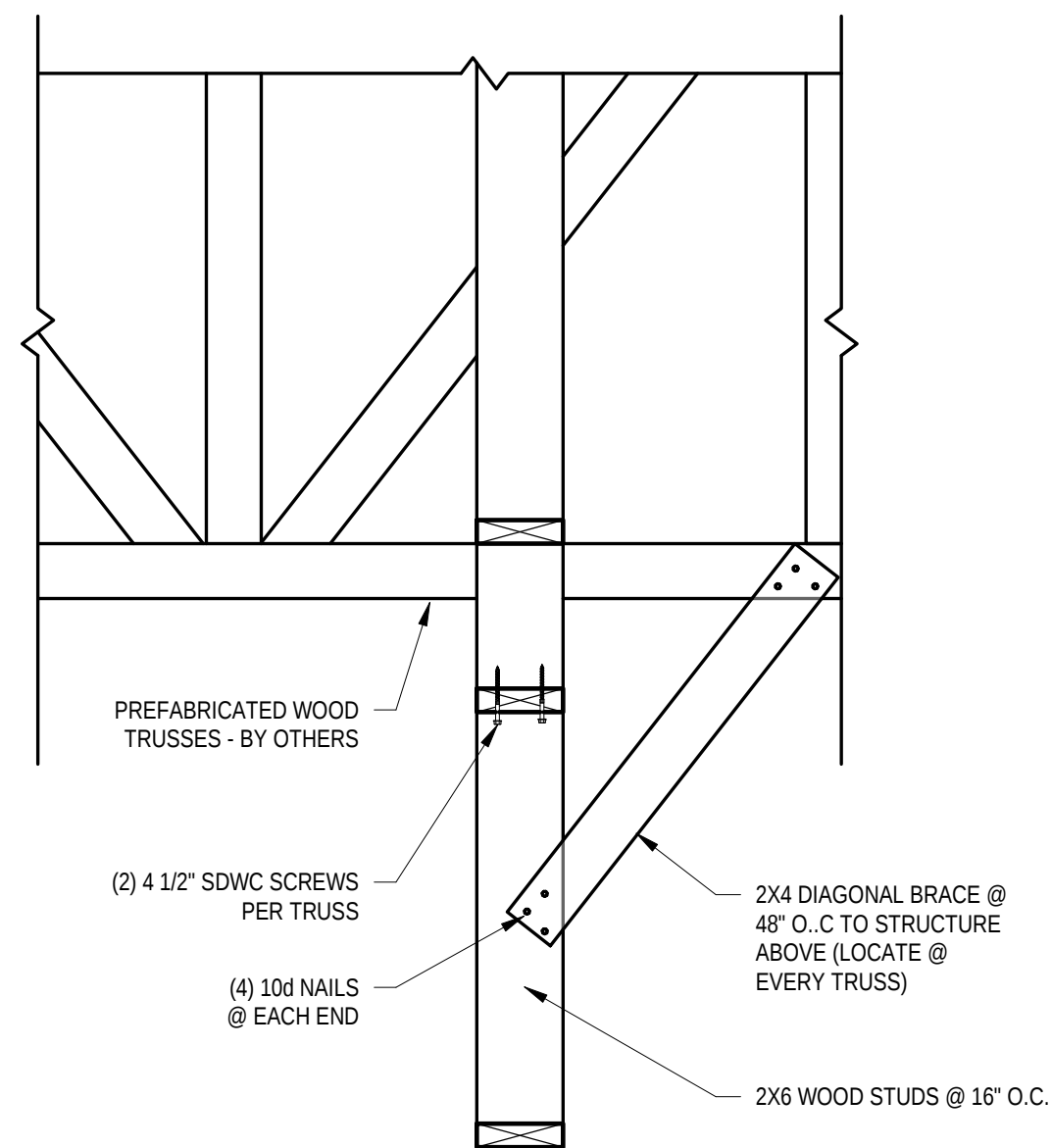
6 PIER FRAMING
SCALE: 3/4" = 1'-0"



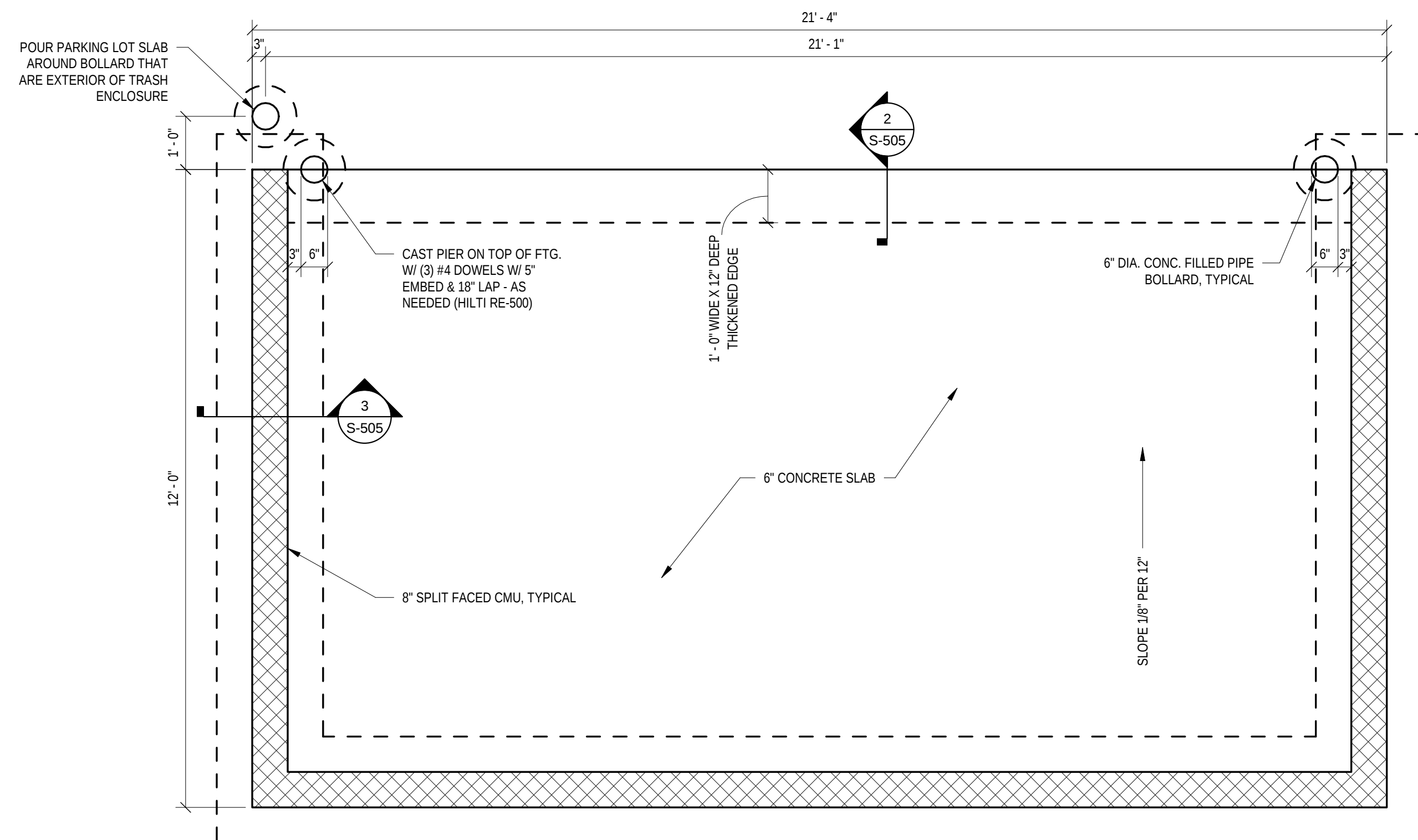
7 HOLD-DOWN DETAIL
SCALE: 3/4" = 1'-0"



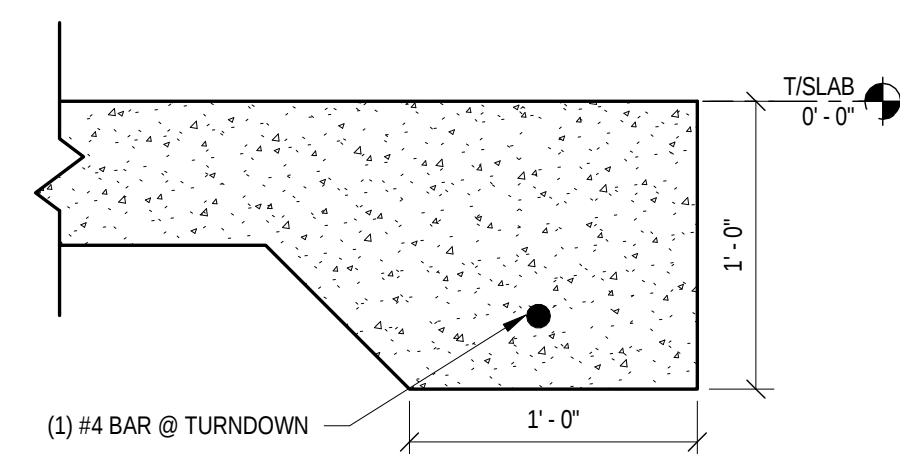
8 TYPICAL SHEAR WALL
SCALE: 3/4" = 1'-0"



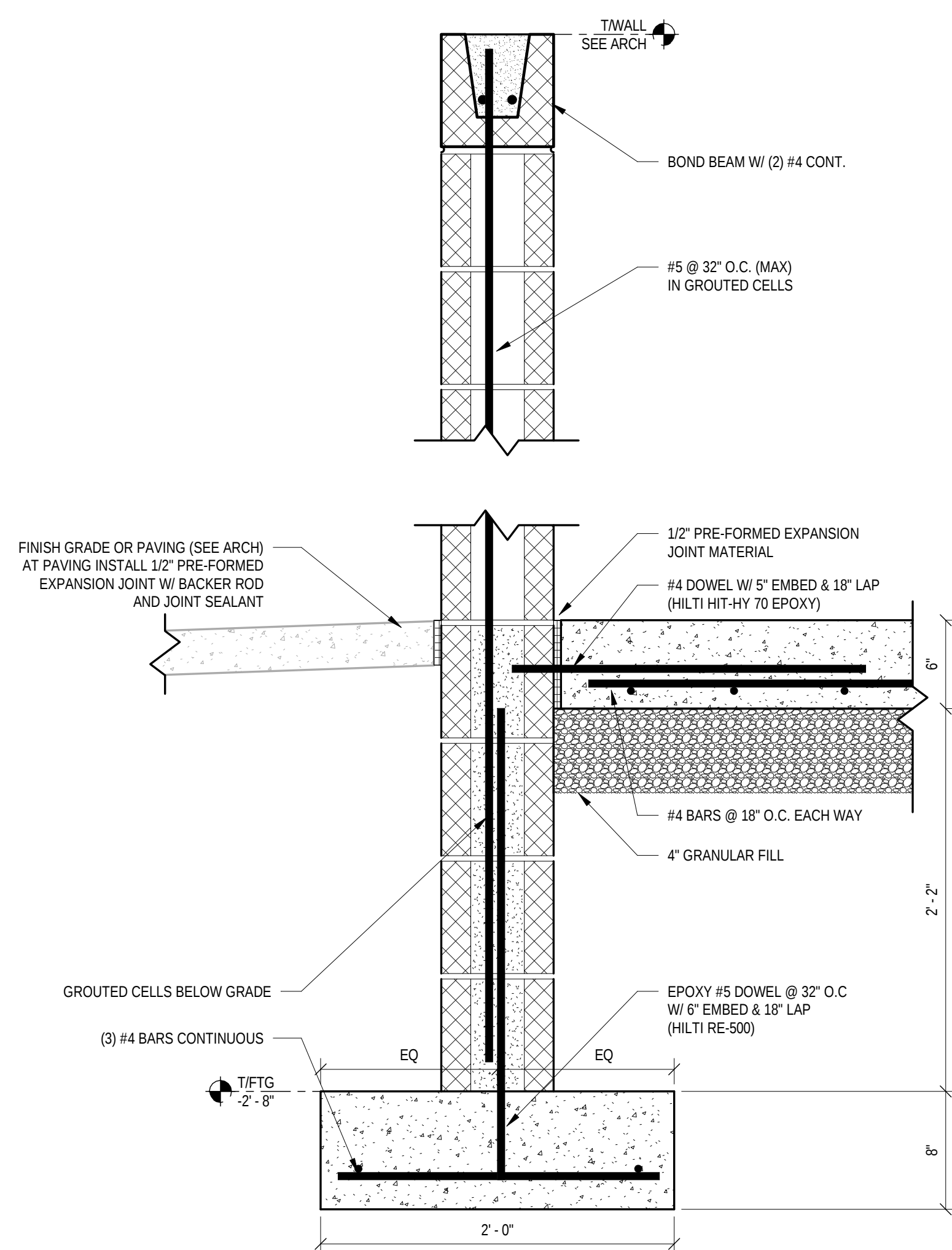
9 FRAMING @ HANGING WALL
SCALE: 1" = 1'-0"



1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"



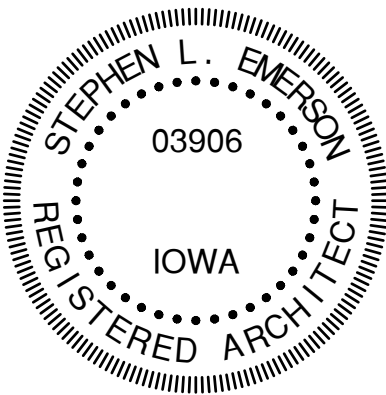
2 SLAB TURNDOWN
SCALE: 1 1/2" = 1'-0"



3 SECTION @ ENCLOSURE
SCALE: 1 1/2" = 1'-0"

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD, DAVENPORT
2017
CONSTRUCTION DRAWINGS

CERTIFICATION



The portion of the technical submission described below has been prepared under the direct supervision and responsible charge of the undersigned.

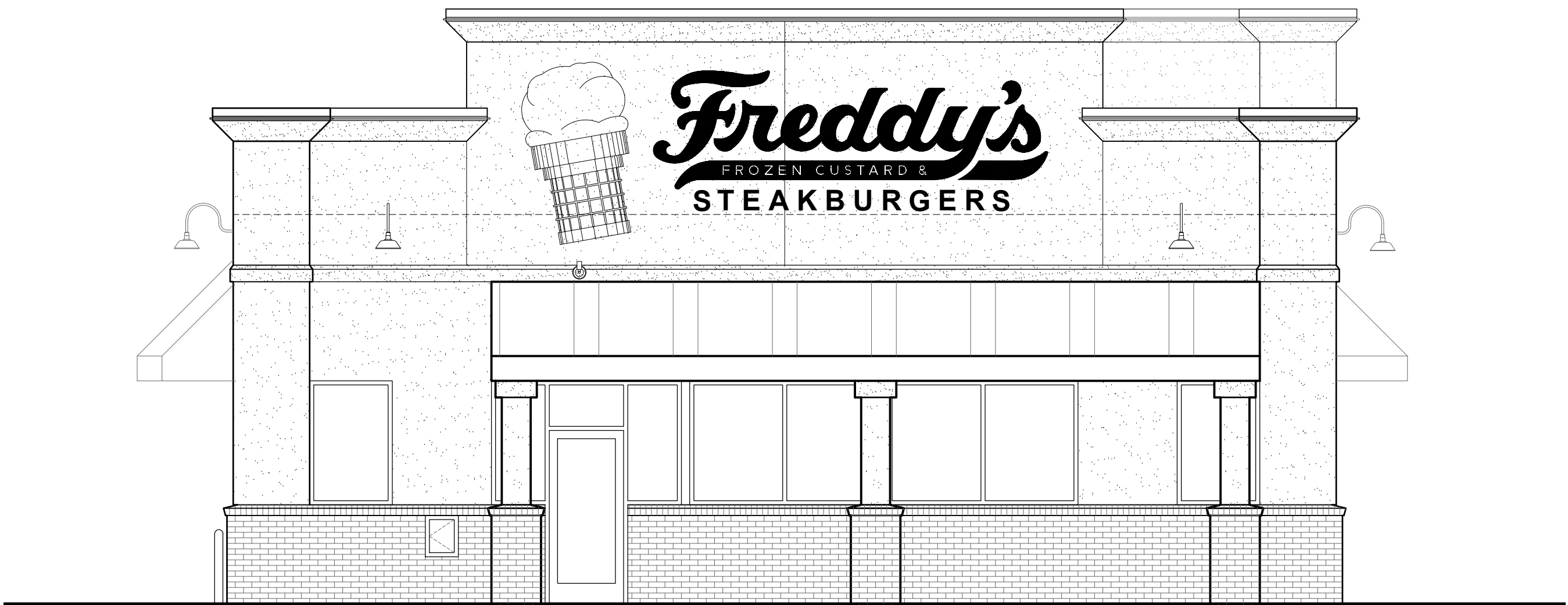
Signature: 
STEPHEN L. EMERSON

Discipline: Architectural
Iowa Registration No.: 03906
Registration expiration date: June 30, 2018
Sheets covered by this seal: All "G," and "A" Sheets

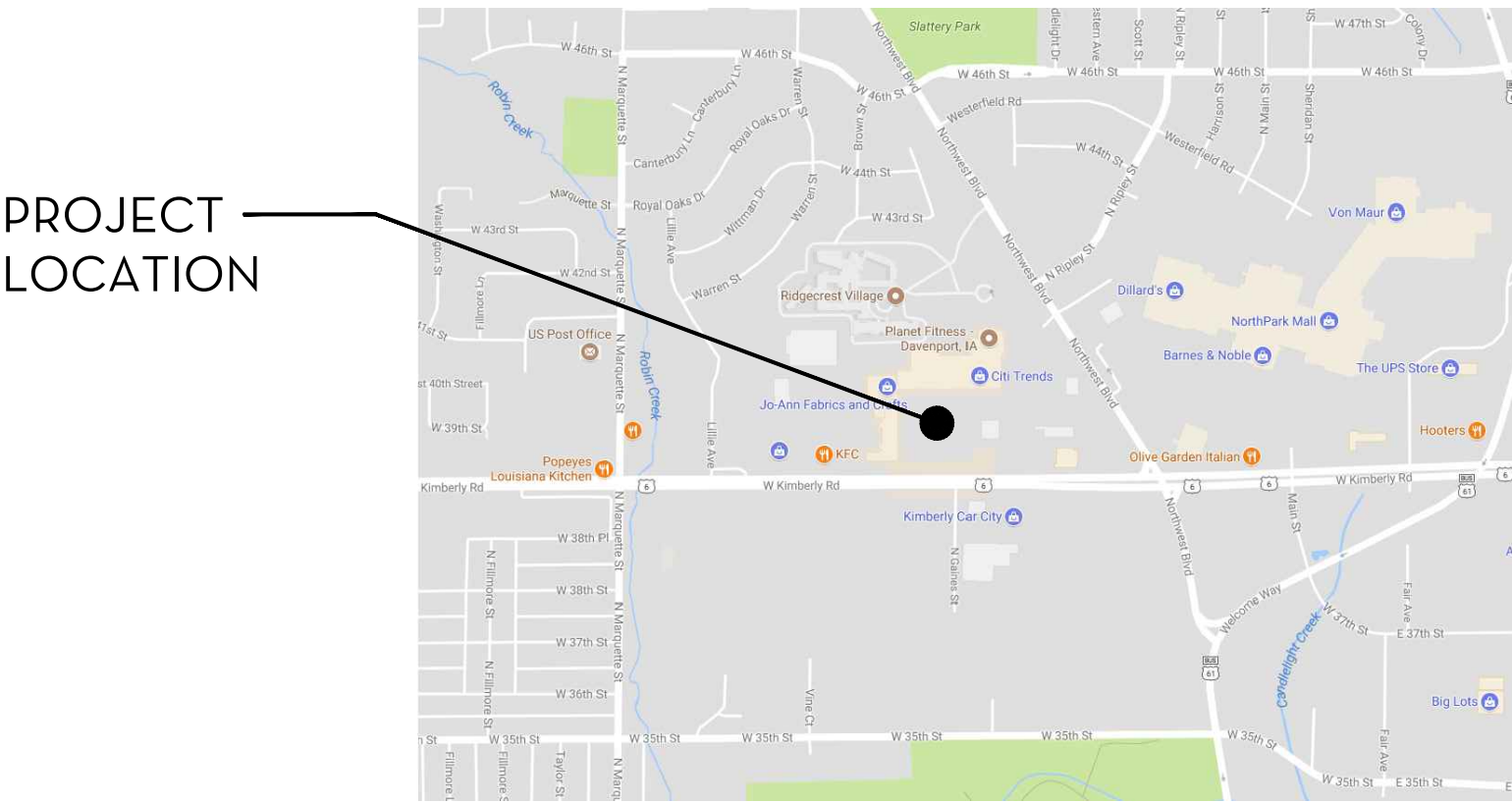
Date of Issuance: June 30, 2017

ARCHITECTURAL

ELEVATION



SITE MAP



LIST OF CONTACTS

- OWNER**
MLY REAL ESTATE, LLC
1241 PARK PLACE NE, SUITE C
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EMAIL: mikeyoung@paneraiaowa.com

ARCHITECT
ASPECT ARCHITECTURE
221 2ND AVENUE SE, SUITE 400
CEDAR RAPIDS, IA 52401
PH: 319-364-7444
FAX: 319-364-7562
CONTACT:
STEVE EMERSON
EMAIL: sle@aspectinc.net

STRUCTURAL ENGINEER
SELECT STRUCTURAL ENGINEERING
606 14TH AVENUE SW
CEDAR RAPIDS, IA 52404
PH: 319-365-1150
CONTACT:
- MEP ENGINEER**
WEST PLAINS ENGINEERING, INC
215 2ND AVENUE SE, SUITE 200
CEDAR RAPIDS, IA 52401
PH: 319-365-0030
MECHANICAL CONTACT:
MIKE HESSMAN
EMAIL: mike.hessman@westplainsengineering.com
ELECTRICAL CONTACT:
JEFF REINHART
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KITCHEN DESIGNER
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CODE INFORMATION

- INTERNATIONAL BUILDING CODE 2003
- CONSTRUCTION TYPE : VB
OCCUPANCY : A-2
ALLOWABLE AREA = 6,000 SF
ACTUAL AREA = 3,200 SF
OCCUPANCY = 158 PERSONS
FULLY SPRINKLED TO NFPA 13
ALLOWABLE TRAVEL DISTANCE = 250'-0"
REQUIRED EXITS = 2
PROVIDED EXITS = 3
- REQUIRED PLUMBING FIXTURES:
2 TOILET/URINAL PER SEX
2 LAVATORY PER SEX

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
COVER SHEET

DRAWING
G000

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY



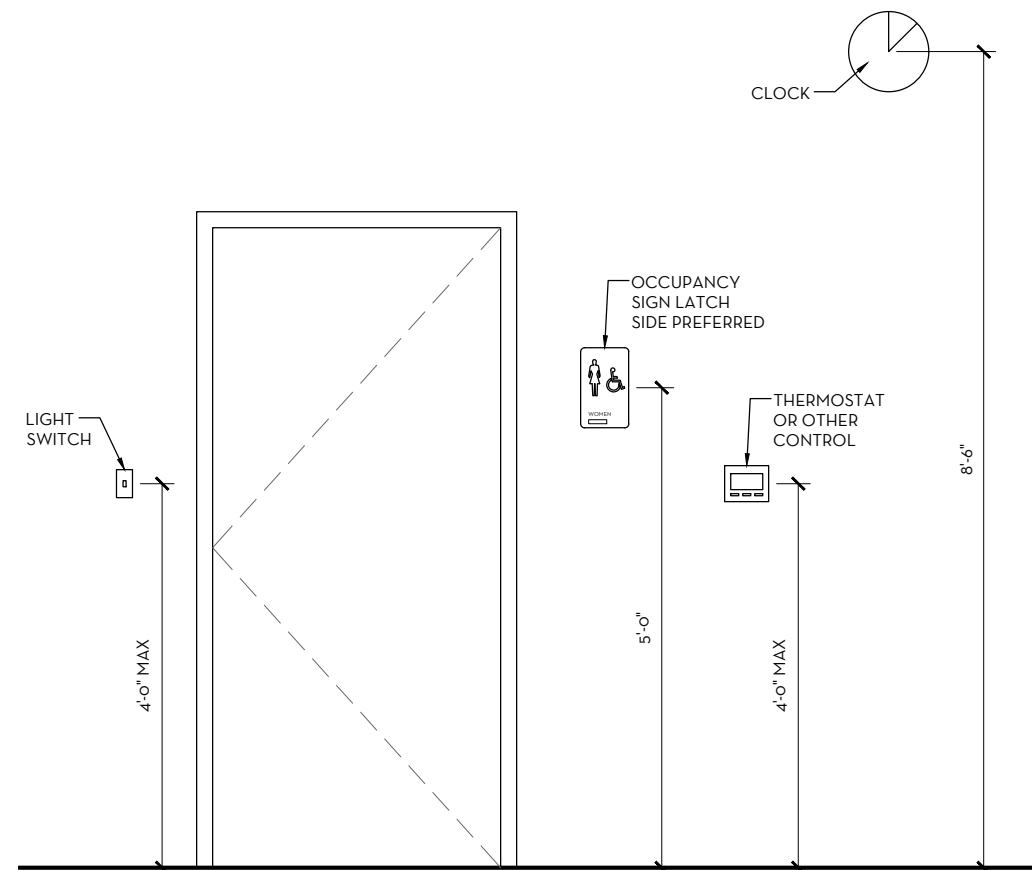
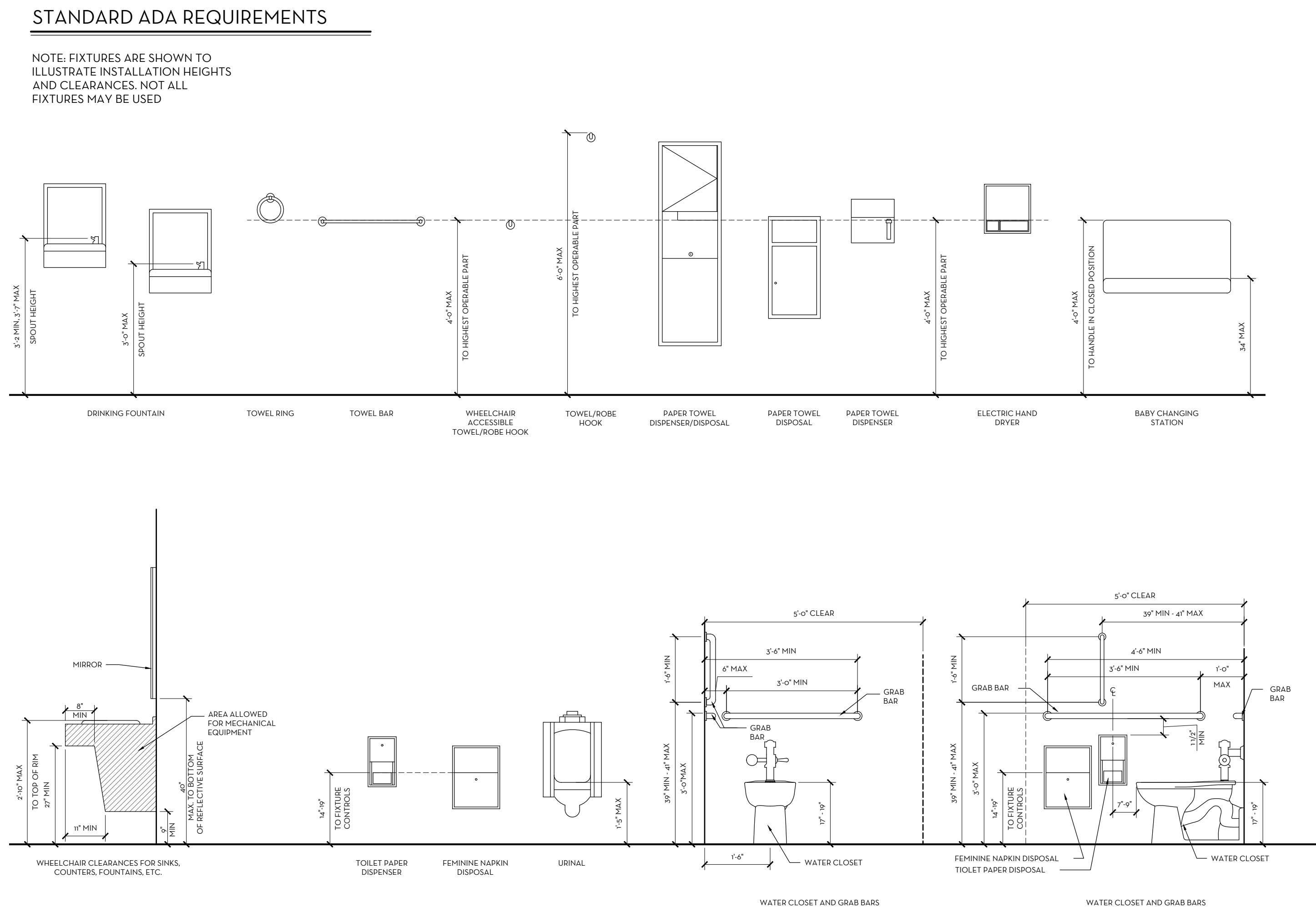
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STANDARD ABBREVIATIONS

@ &	AT AND	CORR CPT CSI	CORRIDOR CARPET-ED- CONSTRUCTION SPECIFICATION INSTITUTE CERAMIC TILE CENTER; COUNTER	FUR FURN FUT FV FXT	FURRED; FURRING FURNACE FUTURE FIELD VERIFY FIXTURE	MECH MTL MEZZ MFG	CONTRACT-OR- MECHANICAL METAL MEZZANINE MANUFACTURED; MANUFACTURING; MANUFACTURER	RD RH RL RM RO RVS	ROAD; ROOF DRAIN RIGHT HAND RAILING ROOM ROUGH OPENING REVERSE-D-	W/ W/O WC WD WGT WH WP WSCT	WITH WITHOUT WATER CLOSET WOOD WEIGHT WATER HEATER WATERPROOF-ING- WAINSCOT
A ABV ACT ADDL ADDUM ADJ AFF AGGR ALT ALUM ANOD APPROX ARCH AVG	AREA ACCOUSTICAL TILE ADDITIONAL ADDENDUM ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALTERNATE ALUMINUM ANODIZED APPROXIMATE ARCHITECT-URAL- AVERAGE	CT CTR		GA GALV GB GC GF GL GRD GYP	GAGE; GAUGE GALVANIZED GRAB BAR; GYPSUM BOARD GENERAL CONTRACTOR GRANULAR FILL GLASS; GLAZING GRADE GYPSUM	MIN MISC MIR MLD MOD MOV MR MULL	MINIMUM MISCELLANEOUS MIRROR MOLD-ING- MODULAR MOVABLE MOISTURE RESISTANT MULLION	S SB SC SCHD SCN SDG SECT SF STRUC SHT SIM SOF SPEC SQ SS STD STL STN STOR	SOUTH SPASH BLOCK SCALE SCHEDULE SCREEN SIDING SECTION SQUARE FOOT STRUCTURE SHEET SIMILAR SOFFIT SPECIFICATION-S- SQUARE STAINLESS STEEL STANDARD STEEL STONE; STAIN-ED- STORAGE		
B-B BD BD FT BF BL BLDG BLK BLKG BLW BM BOS BOT BRG BSMT BTWN BTR BVL BW	BACK TO BACK BOARD BOARD FOOT BOTH FACES BUILDING LINE BUILDING BLOCK BLOCKING BELOW BEAM BOTTOM OF STEEL BOTTOM BEARING BASEMENT BETWEEN BETTER BEVELED BOTH WAYS	E EA EC EF EIFS	EAST EACH ELECTRICAL CONTRACT-OR- EACH FACE EXTERIOR INSULATION FINISH SYSTEM EXPANSION JOINT ELECTRIC-AL- ELEVATOR; ELEVATION ENCLOSE; ENCLOSURE ENTRANCE EQUAL EQUIP EQUIPMENT EACH WAY EWC ELECTRIC WATER COOLER EXCAV EXCAVATE EXIST EXISTING EXP EXPOSED EXT EXTERIOR	HD HDW HGT HM HORIZ HR HTG HVAC	HEAD HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HOUR; HANDRAIL HEATING HEATING -VENTING -AIR CONDITIONING	N NIC NOM NTS NUM or #	NORTH NOT IN CONTRACT NOMINAL NOT TO SCALE NUMBER	THK THRES TEMP TOB TOC TOM TOS TOW TYP T&B	THICK-NESS- THRESHOLD TEMPERED; TEMPORARY TOP OF BEARING TOP OF CONCRETE TOP OF MASONRY TOP OF STEEL/SLAB TOP OF WALL TYPICAL TOP AND BOTTOM		
C-C CAB CHAN CJ CL CLMN CLNG CLOS CLR CMU COMB CONC CONST CONT CONTR	CENTER TO CENTER CABINET CHANNEL CONTROL JOINT CENTER LINE COLUMN CEILING FINISH FIN FLR FLOOR FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STEEL/STONE FRM FRAME-D- FRMG FRAMING FT or ' FOOT FTG FOOTING	FD FDN FE FF FIN FLR FOC FOF FOS FRM FRMG FT or ' FTG	FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISH FLOOR FINISH FLOOR FACE OF CONCRETE FACE OF FINISH FACE OF STEEL/STONE FRAME-D- FRAMING FOOT FOOTING	L LAM LAV LH LIN LS LT LTL LVR LVT	LONG; LENGTH LAMINATE-D- LAVATORY LEFT HAND LINEAR LIMESTONE LIGHT LINTEL LOUVER LUXURY VINYL TILE	PAR PBD PC PERP PFB PL PLAM PLAS PLBG PLWD PROJ PT PTN	PARALLEL PARTICLE BOARD PRECAST PERPENDICULAR PREFABRICATED PLATE; PROPERTY LINE PLASTER PLUMBING PLYWOOD PROJECT-OR- POINT; PAINT-ED- PARTITION	UNEX UNFIN UNO UR	UNEXCAVATED UNFINISHED UNLESS NOTED OTHERWISE URINAL		
				MAS MASONRY MAX MAXIMUM MEM MEMBRANE MC MECHANICAL		R REC REF REFD REV RF REFIG	RISER; RADIUS RECESSED; RECOMMENDATION RECEPTACLE REFER-ENCE- REQUIRED REVISIONS; REVISE-ED- ROOF REFRIGERATOR	VB VCT VERT VEST VIN VNR VT W	VINYL BASE; VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL VESTIBULE VINYL VENEER VINYL TILE WEST		

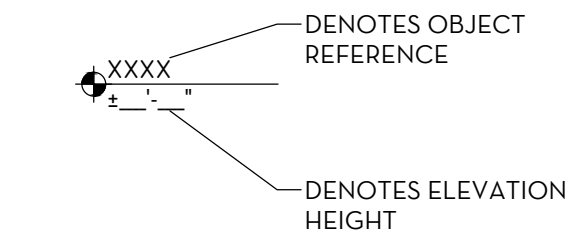
STANDARD ADA REQUIREMENTS

NOTE: FIXTURES ARE SHOWN TO ILLUSTRATE INSTALLATION HEIGHTS AND CLEARANCES. NOT ALL FIXTURES MAY BE USED

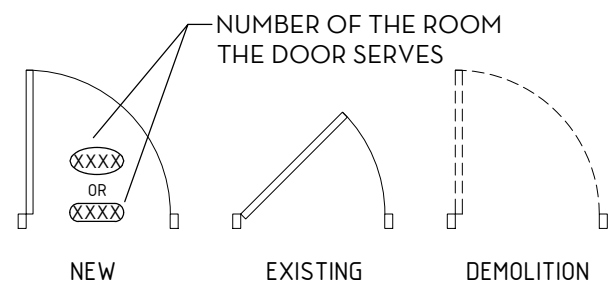


MATERIAL LEGEND

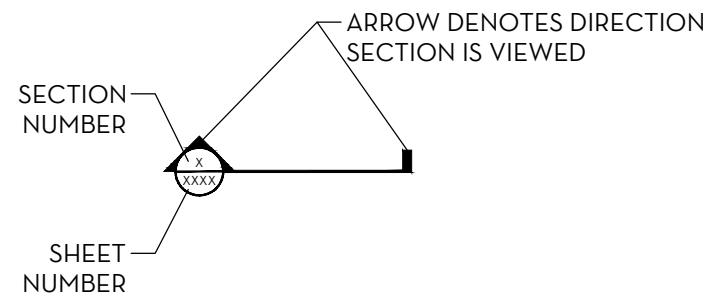
	COURSE POROUS MATERIAL/ GRANULAR FILL		PLYWOOD
	RIPRAP		PARTICLE BOARD
	FINE POROUS MATERIAL/GYPSUM BOARD/EIFS		ACOUSTICAL TILE
	CONCRETE TOPPING SLAB		GRATING
	ASPHALT		CHECKER PLATE/DIAMOND PLATE
	BEDROCK/SHAKE SHINGLES		FINISHED WOOD
	UNDISTURBED EARTH/GRADE		STEEL
	COMPACTED FILL MATERIAL		ALUMINUM
	CONCRETE		BRASS/BRONZE
	BRICK MASONRY		CERAMIC TILE
	CONCRETE MASONRY UNIT (PLAN)		GLASS
	CONCRETE MASONRY UNIT (SECTIONS, DETAILS)		CONTINUOUS WOOD FRAMING
	STONE		NON-CONTINUOUS WOOD FRAMING
	BATT INSULATION (SECTIONS, DETAILS)		CONCRETE MASONRY UNIT (ELEVATIONS)
	RIGID INSULATION		BRICK (ELEVATIONS)
	CAVITY DRAINAGE MAT		METAL SIDING & ROOFING (ELEVATIONS)
	GROUT		ASPHALT SHINGLES (ELEVATIONS)



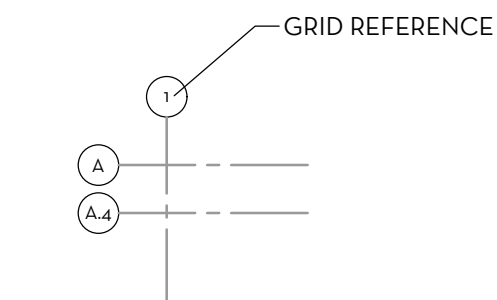
ELEVATION TAG



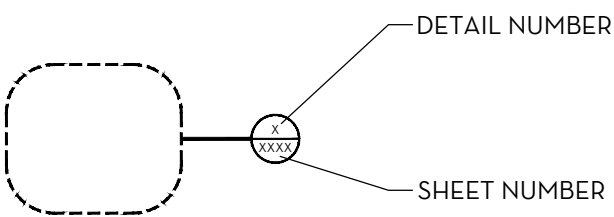
DOOR IDENTIFICATION



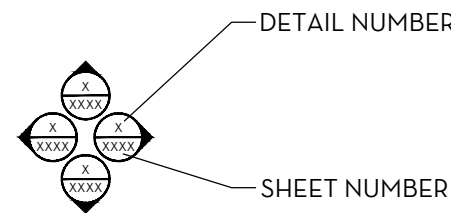
BUILDING SECTION REFERENCE



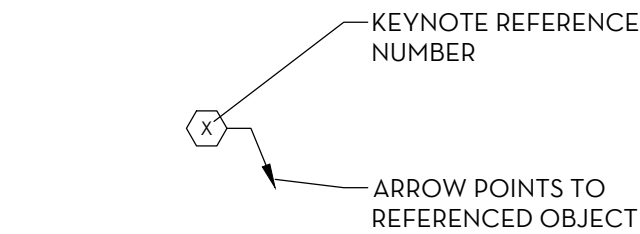
STRUCTURAL GRID



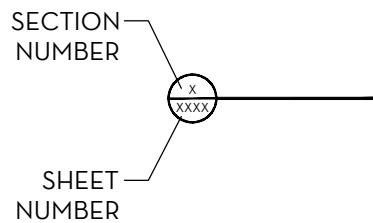
PLAN DETAIL REFERENCE



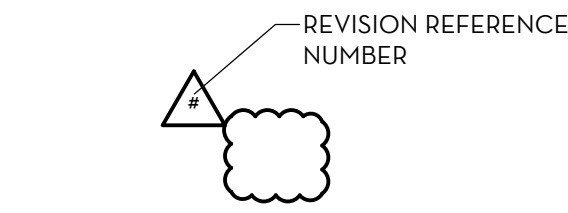
ROOM IDENTIFICATION



KEYNOTE REFERENCE



ELEVATION DETAIL REFERENCE



DRAWING REVISION



DRAWING REFERENCE

BAR IS ONE INCH ON OFFICIAL DRAWINGS
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

ASPECT
architecture:design

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DRAWN BY: JAS
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
GENERAL NOTES, SYMBOLS, &
GENERAL ADA REQUIREMENTS

DRAWING
G001

ACCESSIBILITY NOTES:

IT IS THE RESPONSIBILITY OF THE TENANT FOR THIS NEW FACILITY TO COMPLY WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBILITY

THE EXISTING PRIMARY PATH OF TRAVEL, RESTROOM FACILITIES, DRINKING FOUNTAINS & PUBLIC TELEPHONES ARE THE STANDARDS FOR ACCESSIBILITY.

CORRIDORS / AISLES
EVERY CORRIDOR SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NO LESS THAN 44" IN WIDTH. CORRIDORS SERVING AN OCCUPANT LOAD OF LESS THAN 10 SHALL NOT BE LESS THAN 36" IN WIDTH. CIRCULATION AISLES & PEDESTRIAN WAYS SHALL BE SIZED ACCORDING TO FUNCTIONAL REQUIREMENTS & IN NO CASE SHALL BE LESS THAN 36" CLEAR WIDTH.
EVERY PORTION OF EVERY BUILDING IN WHICH ARE INSTALLED SEATS, TABLES, EQUIPMENT OR SIMILAR MATERIALS SHALL BE PROVIDED WITH AISLES LEADING TO AN EXIT.

FLOORS / LEVELS
GROUND & FLOOR SURFACES ALONG ACCESSIBLE ROUTES & IN ACCESSIBLE ROOMS & SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, & CURB RAMPS, SHALL BE STABLE, FIRM, & SLIP RESISTANT. CHANGES IN LEVEL UP TO A 1/4" MAY BE VERTICAL & WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP NO STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.
IF CARPET OR CARPET TILES IS USED ON A FLOOR SURFACE, IT SHALL BE SECURELY ATTACHED. HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD & HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE OR LEVEL CUT/UNCUT PILE TEXTURE. THE MAXIMUM PILE HEIGHTS SHALL BE 1/2". EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES & HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET TRIM SHALL COMPLY WITH TITLE 24 REQUIREMENTS.

CONTROLS / OPERATING MECHANISMS
THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSER, RECEPTACLES, & OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15" IF FORWARD APPROACHED & WITHIN 54" BUT NOT LOWER THAN 9" IF SIDE APPROACHED.
CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, PUNCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS OF FORCE.
FAUCET CONTROLS & OPERATING MECHANISM FOR KITCHEN SINKS SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE FAUCET CONTROLS & OPERATING MECHANISM FOR KITCHEN SINKS SHALL BE NO GREATER THAN 5 PLF. LEVER OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

HAZARDS / PROTRUDING OBJECTS
OBJECTS PROTRUDING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27" & 80" ABOVE THE FINISHED FLOOR SHALL PROTRUDE ANY AMOUNT NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.
OBJECTS WITH THEIR LEADING EDGES AT OR BELOW 27" ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES.
FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12" MAXIMUM FROM 27" TO 80" ABOVE THE GROUND OR FINISHED FLOOR.
PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE.
WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80" MINIMUM CLEAR HEAD ROOM.
ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80" ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION.

SPACE ALLOWANCE / REACH RANGES
THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180 DEGREE TURN IS A CLEAR SPACE OF 60" DIAMETER OR A T-SHAPED SPACE.
IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48". THE MINIMUM LOW FORWARD REACH IS 15", IF THE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, REACH & CLEARANCES SHALL BE PER CODE.
IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54" & THE LOW SIDE REACH SHALL BE NO LESS THAN 9" ABOVE THE FLOOR AS SHOWN. IF THE SIDE REACH IS OVER AN OBSTRUCTION, THE REACH & CLEARANCES SHALL BE PER CODE.

FIXED OR BUILT-IN SEATING, TABLES & COUNTERS
WHERE FIXED OR BUILT-IN SEATING, TABLES OR COUNTERS ARE PROVIDED FOR THE PUBLIC, & IN GENERAL EMPLOYEE AREAS, 5% BUT NOT LESS THAN 1 MUST BE ACCESSIBLE.
THE TOPS OF TABLES & COUNTERS SHALL BE 28" TO 34" FROM THE FLOOR OR GROUND.
IF SEATING FOR PEOPLE IN WHEELCHAIRS IS PROVIDED AT FIXED TABLES OR COUNTERS, KNEE SPACES AT LEAST 27" HIGH, 30" WIDE, & 19" DEEP SHALL BE PROVIDED. NOT OVERLAP KNEE SPACE BY MORE THAN 19".
WHERE A SINGLE COUNTER CONTAINS MORE THAN ONE TRANSACTION STATION, SUCH AS A BANK COUNTER WITH MULTIPLE TELLER WINDOWS OR A RETAIL SALES COUNTER WITH MULTIPLE CASH REGISTER STATIONS, AT LEAST 5% BUT NEVER LESS THAN 1, OF EACH TYPE OF STATION SHALL BE LOCATED AT A SECTION OF COUNTER THAT IS AT LEAST 36" LONG AND NO MORE THAN 28" TO 34" HIGH.

SIGNS / IDENTIFICATION
THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO 15090 IN FEDERAL STANDARD 599B.
LETTER & NUMBERS ON SIGNS SHALL HAVE WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 & 1:1 & A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 & 1:10.
CHARACTERS & NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR, THE MINIMUM CHARACTER HEIGHT SHALL BE 5".
CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AN USABLE BY PERSONS WITH DISABILITIES & AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY & WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.

ELECTRICAL
THE CENTER OF THE ELECTRICAL & COMMUNICATION RECEPTACLE OUTLETS SHALL BE INSTALLED NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
THE CENTER GRIP OF THE OPERATING HANDLE OF CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING & RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING, AND VENTILATING EQUIPMENT SHALL NOT BE MORE THAN 48" ABOVE THE FLOOR OR WORKING PLATFORM.
THE CENTER OF THE FIRE ALARM INITIATING DEVICES (PULL STATIONS) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE, OR SIDEWALK.
THE INSTALLATION OF FIRE ALARM EQUIPMENT & SYSTEMS IN ANY OCCUPANCY WITHIN THE SCOPE OF THESE REGULATIONS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE FIRE CODE.

RESPONSIBILITIES

*NOTE: ALL ITEMS OF WORK ARE TO BE PROVIDED BY THE CONTRACTOR EXCEPT AS NOTED OTHERWISE IN THIS SCHEDULE

	OWNER FURNISH	OWNER INSTALL	VENDOR INSTALL	GC FURNISH	GC INSTALL	N/A	
WORK SCOPE ITEM							REMARKS
1000 GENERAL							
BUILDERS RISK -PROP INS				X			
CONSTRUCTION FACILITIES & TEMPORARY CONTROLS				X			
TEMPORARY UTILITIES				X			
PROGRESS & FINAL CLEAN-UP				X			
UNLOADING/STORAGE OF EQUIP & BOOTH PACKAGE				X			
6000 WOOD & PLASTICS							
INTERIOR ARCHITECTURAL CABINETS & COUNTERTOPS	X			X			GC TO PROVIDE ALL REQUIRED DIMENSIONS TO WOOTEN
10000 SPECIALTIES							
ARTIFACTS DECORATION	X			X			
INTERIOR MENU BOARDS	X			X			
BUILDING SIGNAGE & AWNINGS	X	X					GC TO PROVIDE FINAL CONNECTIONS
SMALLWARES	X	X					
FIRE EXTINGUISHERS & CABINETS			X	X			LOCATION TBD BY FIRE MARSHALL -GC TO PROVIDE 2 MINIMUM
SOAP DISPENSERS	X			X			
TOWEL DISPENSERS	X			X			
TOILET PAPER DISPENSERS	X			X			
ELECTRIC HAND DRYER	X			X			
ALL OTHER TOILET ACCESSORIES IN TOILETS	X			X			
TRASH RECEPTACLE	X			X			
ADA IDENTIFYING SIGNAGE				X	X		RESTROOMS
ADA IDENTIFYING DEVICES				X	X		
BABY CHANGING SYSTEM				X	X		
FLAG POLE & LIGHTS	X	X					ELECTRICAL CIRCUIT TO LIGHTS BY EC -SEE GENERAL NOTES
11000 EQUIPMENT							
FOOD SERVICE EQUIPMENT	X			X			GC TO PROVIDE FINAL CONNECTIONS
OFFICE EQUIPMENT	X			X			GC TO PROVIDE FINAL CONNECTIONS
OFFICE SHELVEING, STANDARDS & DESK				X	X		
KITCHEN SHELVEING (WALL)	X	X					
KITCHEN MONITOR BRACKETS	X	X					
STAINLESS CORNER GUARDS	X			X			
STAINLESS PANELS IN COOK LINE	X			X			
ROOF LADDER				X	X		
DRIVE-UP WINDOW(S) & AIR CURTAIN				X	X		
CUSTARD MACHINE	X			X			CUSTARD MACHINE, CUSTARD MACHINE CONDENSER, EQUIP LINES & REFRIGERANT BY MACHINE SUPPLIER. MACHINE SUPPLIER IS RESPONSIBLE FOR PROVIDING A FULLY OPERATIONAL UNIT. GC IS RESPONSIBLE FOR ROOFING & FLASHING ONLY. (INCLUDING INSTALL) OWNER TO PROVIDE FINAL START UP
12000 FURNISHINGS							
HIGH TOP TABLES	X			X			
TABLES	X			X			
BAR STOOLS	X			X			
CHAIRS	X			X			
SITE BENCHES	X			X			EXTERIOR PATIO TABLES
SITE MENU BOARDS	X			X			
SITE DIRECTIONAL SIGNAGE	X			X			
SAFE	X			X			GC TO BOLT TO FLOOR
DECORATIVE TILE BANDS	X			X			
WALK-OFF MATS RECESSED IN SLAB ENTRY							N/A
15000 MECHANICAL							
MAKE UP AIR UNITS	X			X			REFER TO SCHEDULES ON MECHANICAL SHEETS
EXHAUST HOODS & THEIR SWITCHES	X			X			
RESTROOM EXHAUST FANS							PROVIDED & INSTALLED BY ELECTRICAL CONTRACTOR MECHANICAL CONTRACTOR TO MAKE DUCTWORK CONNECTION
ANSUL SYSTEM	X			X			CALL KITCHEN EQUIP SUPPLIER TO ARRANGE FINAL INSTALL
GRILLES, REGISTERS & DIFFUSERS				X	X		
DUCTWORK				X	X		
ROOFTOP UNITS				X	X		
SMOKE DETECTORS IN DUCTWORK				X	X		
CONDENSER RACK & CURB				X	X		
ALL NECESSARY ACCESS PANELS				X	X		
PLUMBING SYSTEM, FIXTURES				X	X		
MOP SINK, FAUCET & BASIN				X	X		CHEMICAL SYSTEM BY OWNER
REFRIGERATION EQUIPMENT (WALK-IN)				X	X		GC TO PROVIDE ALL CHASES, LINES, CONNECTIONS, CONDENSER & REFRIGERANT, GC TO PROVIDE FULLY OPERATIONAL UNIT INCLUDING ROOFING, CURBS & FLASHING
WALK-IN COOLER/FREEZER	X			X			
FIRE SPRINKLER DESIGN/SYSTEM				X	X		
16000 ELECTRICAL							
LIGHTING FIXTURES	X			X			
POS SYSTEM	X	X					GC TO PROVIDE ALL CONDUIT, PULL ALL WIRE & PROVIDE TERMINATION
LAMPS	X			X			
SWITCHES, PANELS & BREAKERS				X	X		
A/V EQUIPMENT, MUZAK, SATELLITE	X	X					GC TO PROVIDE CONDUIT WITH PULL STRING
ELECTRICAL SERVICE/SYSTEM				X	X		GC TO INVENTORY SHIPMENT UPON RECEIPT
SECURITY ALARM	X	X					GC TO PROVIDE ALL CONDUIT FOR SYSTEM, WITH PULL WIRE
TELEPHONE SYSTEM	X			X			
SITE LIGHTING	X			X			
FIRE ALARM SYSTEM				X	X		
CABLE (INTERNET ACCESS)	X	X					
MISCELLANEOUS							
SODA SYSTEM	X	X					GC TO PROVIDE PVC CHASE -REFERENCE PLANS

GENERAL NOTES:

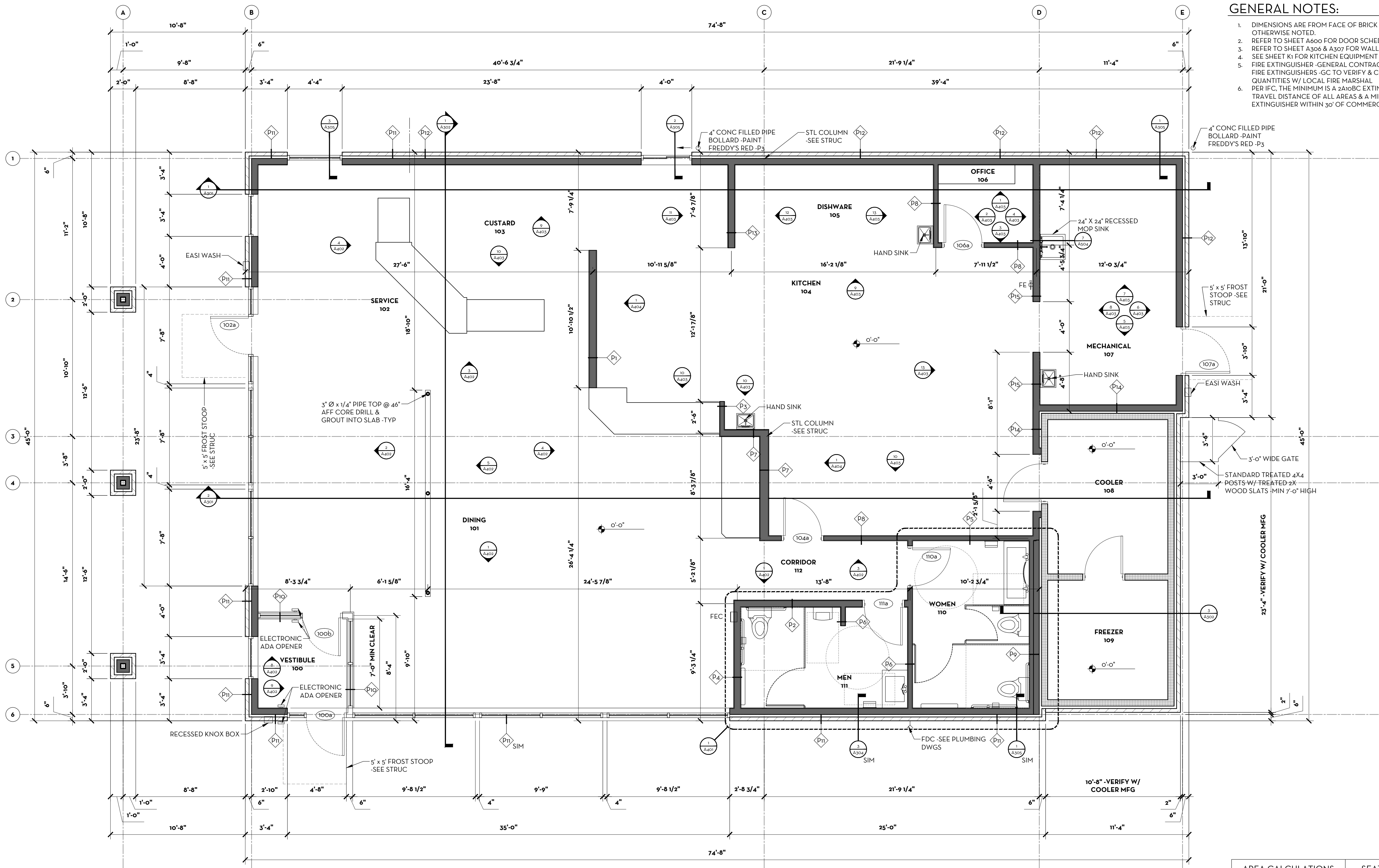
1. FLAG POLE : CONCORD INDUSTRIES SPECIFICATIONS
 - EXPOSED HEIGHT : 30'-0"
 - SHAFT DIAMETER : 5" AT BASE -3" AT TOP
 - MAXIMUM WALL THICKNESS (INCH) : .125
 - RECOMMENDED FLAG SIZE (FEET) : 6 X 10
 - FLAGGED WINDSPEED (MPH) : 85
 - CONCORD CONTINENTAL CATALOG PART NUMBER : C30050125
2. SEE CIVIL PLANS FOR FLAG POLE LOCATION

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
0"=1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY



DRAWN BY: JAS
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
GENERAL ADA REQUIREMENTS & RESPONSIBILITIES



- GENERAL NOTES:**
- DIMENSIONS ARE FROM FACE OF BRICK TO CENTER OF STUD UNLESS OTHERWISE NOTED.
 - REFER TO SHEET A600 FOR DOOR SCHEDULE & NOTES
 - REFER TO SHEET A306 & A307 FOR WALL PARTITIONS & NOTES
 - SEE SHEET K1 FOR KITCHEN EQUIPMENT LAYOUT PLAN & NOTES
 - FIRE EXTINGUISHERS - GC TO VERIFY & COORDINATE LOCATIONS AND QUANTITIES W/ LOCAL FIRE MARSHAL
 - PER IFC, THE MINIMUM IS A 2A10BC EXTINGUISHER WITHIN 75' OF TRAVEL DISTANCE OF ALL AREAS & A MINIMUM RATED 408 FIRE EXTINGUISHER WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT

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JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
MAIN LEVEL FLOOR PLAN

1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA CALCULATIONS		SEATING CALCULATIONS	
ROOM NAME	ROOM SF	STORE SEATING	SEATS
DINING	1,213	(11) 4 SEAT TABLES	44
KITCHEN	762	(5) 6 SEAT BOOTHS	30
RESTROOMS	272	(6) 4 SEAT BOOTHS	24
OFFICE	58	TOTAL IN STORE DINING	98
CUSTARD	263		
DISHWASH	119	PATIO SEATING	
CORRIDOR	68	(7) 4 SEAT TABLES	28
VESTIBULE	62		
MECH/STORAGE	245	TOTAL W/ PATIO SEATING	126
COOLER/FREEZER	275		
FREDDY'S AREA	3,337		



1. THE ROOF MEMBRANE IS A 50 MIL REINFORCED THERMOPLASTIC ROOFING MEMBRANE SYSTEM AS MANUFACTURED BY DURO-LAST ROOFING, INC. -EXPOSED FACE COLOR -WHITE- NO EXCEPTIONS
2. ROOF SYSTEM SHALL BE MECHANICALLY FASTENED & FIELD SEAMS HEAT WELDED PER MANUFACTURERS SPECIFICATIONS
3. PROVIDE & INSTALL NEW FACTORY FORMED SLIP RESISTANT WALKWAY PADS MADE FROM ROOFING MEMBRANE MATERIAL ON ROOF FROM LADDER AREA TO AREA BETWEEN & AROUND ALL MECHANICAL & ELECTRICAL EQUIPMENT. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS, SOLIDLY SECURED TO ROOF
4. ROOF TO BE TESTED TO PROVIDE CONSISTING FLOW THRU ROOF DRAIN SYSTEM
5. VERIFY ALL DIMENSIONS, EQUIPMENT CONFIGURATIONS & LOCATIONS, EXISTING CONDITIONS & ALL INFORMATION GIVEN OR NOT GIVEN ON DRAWINGS. CONTRACTOR SHALL VERIFY CONDITIONS ON SITE & SHALL BE RESPONSIBLE FOR QUANTITIES, DIMENSIONS & EXISTING CONDITIONS RELATED TO THE WORK REQUIRED UNDER THIS CONTRACT. FAILURE TO DO WILL NOT BE CAUSE FOR ADDITIONAL FUNDS OR CHANGE ORDERS FOR ITEMS NOT INCLUDED IN CONTRACTORS BID
6. THE ASSEMBLY SHALL COMPLY WITH UL-90 AND FM CLASS "B" RATINGS INCLUDING BUT NOT LIMITED TO COPINGS, FLASHING, PARAPET WALL COVERINGS & ENTIRE ROOF SURFACE
7. COOLER / FREEZER CLOSURE PANEL PROVIDED BY COOLER MANUFACTURER
8. ALL ROOF CRICKETS ARE TO BE BUILT W/ TAPERED GRIP INSULATION & PROVIDE THE SLIP SHEET, PER MANUFACTURERS RECOMMENDATIONS. ROOFING TO POSITIVE 1/4" PER FOOT SLOPE TO THE ROOF DRAINS OR SCUPPERS. INSULATION SHALL BE APPROVED BY ROOFING MANUFACTURER AS COMPATIBLE W/ ROOFING ASSEMBLY
9. ALL MECHANICAL EQUIPMENT OPENINGS TO BE COORDINATED W/ MECHANICAL AND/OR ALL OTHER RELATED DRAWINGS
10. 5'-4" WITH 1'-0" HIGH OPENING AT PARAPET WALL FOR DRAINAGE. SEE DETAIL 4/A305
11. INSTALLER QUALIFICATIONS: A QUALIFIED INSTALLER, CERTIFIED AS A 'MASTER INSTALLER' BY THE ROOFING SYSTEM MANUFACTURER, APPROVED BY MANUFACTURER TO INSTALL MANUFACTURERS' PRODUCTS & IS ELIGIBLE TO RECEIVE MANUFACTURERS WARRANTY
12. ALL CURB & EQUIPMENT FLASHING SHALL BE A PRODUCT OF DURO-LAST ROOFING INC. FLASHING & COPING CAP SHALL BE INSTALLED PER ROOFING MANUFACTURERS CRITERIA TO PROVIDE FULL MANUFACTURE'S GUARANTEE OF COMPLETE ROOFING ASSEMBLY
13. THE ROOFING CONTRACTOR IS TO COORDINATE ALL ROOF PENETRATIONS WITH ALL OTHER TRADES TO PROVIDE PROPER FLASHING & COMPLETE, WEATHER-TIGHT ROOF
14. PROVIDE A COPING CAP W/ FRONT & BACK DRIP EDGES ALONG ENTIRE PARAPET WALL -SEE EXTERIOR ELEVATIONS & WALL SECTIONS ('PAC-CLAD' ALUMINUM CARDINAL RED)
15. THE ROOF STRUCTURE SHALL NOT BE USED FOR STOCK-PILING OF EQUIPMENT OR MATERIALS UNLESS APPROVED BY THE ARCHITECT, STRUCTURAL ENGINEER AND THE TRUSS MANUFACTURER
16. PROVIDE A 1" DIAMETER CONDUIT INTO PARAPET WALL TO PROVIDE POWER FOR SIGNS & LIGHTING -SEE ELECTRICAL DRAWINGS FOR LOCATION & DETAILS
17. PROVIDE A RIGID ROOF INSULATION COMPOSED OF EITHER A CLOSED CELL POLY-ISOYANURATE OR EXPANDED POLYSTYRENE (EPS) FOAM CORE BONDED TO A MINIMUM 7/16" (MM) APA RATED SHEATHING (OSB) ON ONE SIDE & A FIBER REINFORCED GLASS OR FELT FACER ON THE OTHER. MINIMUM R-VALUE OF 24.
18. FASTENERS-FACTORY COATED STEEL FASTENERS & METAL PLATES MEETING FM 4470, DESIGNED FOR FASTENING SUBSTRATE PANELS TO SUBSTRATE & ACCEPTABLE TO ROOFING SYSTEM MANUFACTURER
19. DIMENSIONS AT HIGH ROOF ARE FROM OUTSIDE FACE OF FRAMING UNLESS NOTED OTHERWISE
20. FRONT & BACK SIDES OF PARAPET EXTENSIONS TO BE FINISHED W/ EXTERIOR INSULATED FINISH SYSTEM (EIFS) TO MATCH BUILDING WALLS
21. CONTRACTOR TO COORDINATE ALL ROOF CUTOUTS & ALL MECHANICAL EQUIPMENT OPENINGS TO BE COORDINATED W/ ALL OTHER TRADES
22. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED
23. GENERAL CONTRACTOR TO COORDINATE W/ OWNER'S SIGN VENDOR ACCESS REQUIREMENTS FOR SIGNAGE



- LINE OF EIFS BELOW
-  INDICATES WALKWAY PAD
-SEE GENERAL NOTE #3
-  INDICATES STRUCTURAL CANT
-SEE ARCHITECTURAL &
STRUCTURAL WALL SECTIONS
-  INDICATES HIGH WALL PARAPET
-SEE WALL SECTIONS & EXTERIOR
ELEVATIONS

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 1"
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ADJUST SCALE ACCORDINGLY

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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
ROOF PLAN

DRAWING

A102

1. GENERAL CONTRACTOR TO VERIFY ALL LIGHTING LOCATIONS W/ OWNER PRIOR TO INSTALLATION - SEE ELECTRICAL DRAWINGS
2. DIMENSIONS SHOWN ON PLAN FOR OVERHEAD BULKHEADS AT MENU BOARD & PICK-UP COUNTERS ARE FACE OF STUD - UNO
3. ALL DIFFUSERS IN DINING AREA ONLY ARE TO BE PAINTED (P3) - SEE FINISH SCHEDULE

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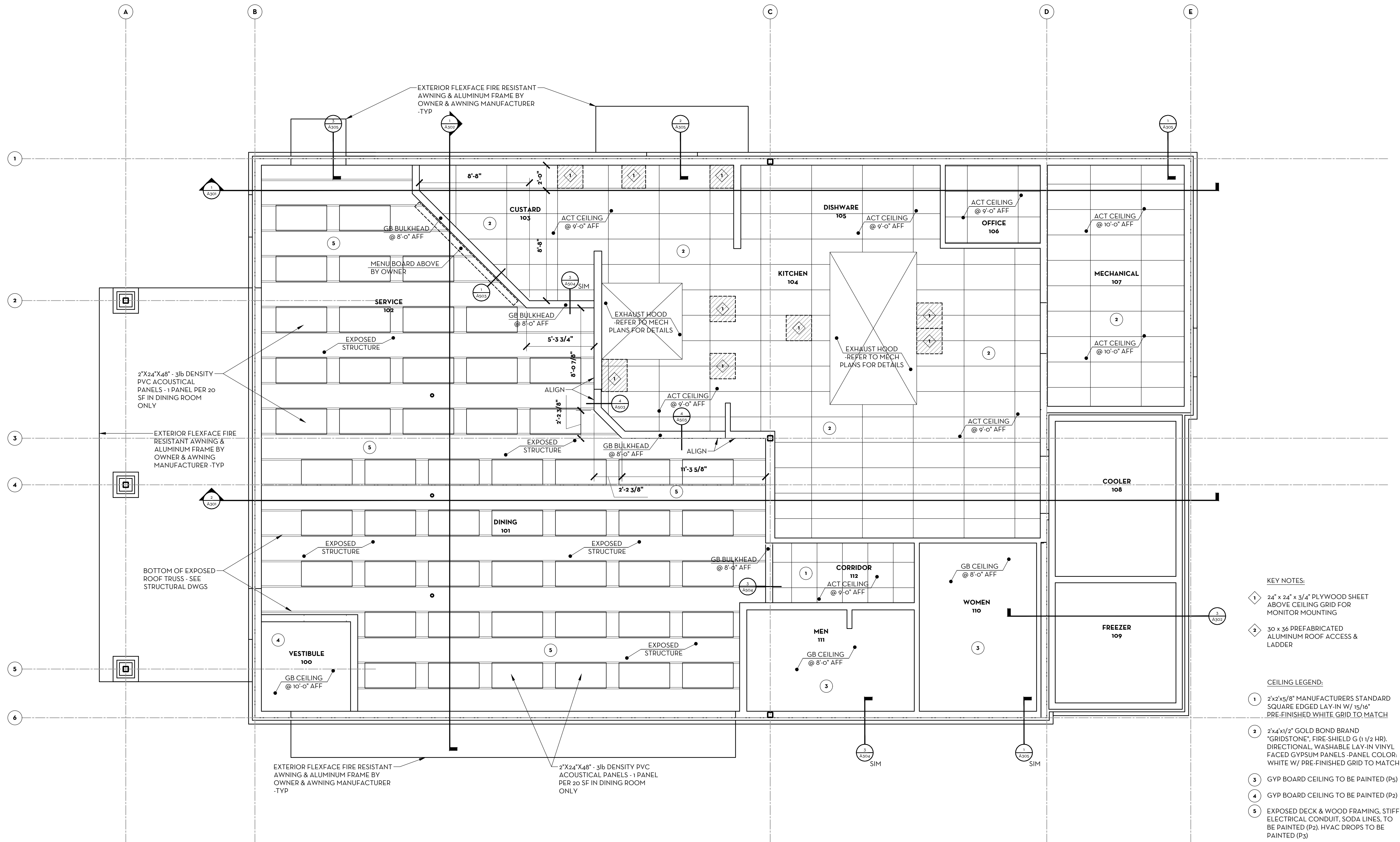
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902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
MAIN LEVEL D

AWING

A103



1 MAIN LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

KEY NOTES:

- 1 24" x 24" x 3/4" PLYWOOD SHEET
ABOVE CEILING GRID FOR
MONITOR MOUNTING
- 2 30 x 36 PREFABRICATED
ALUMINUM ROOF ACCESS &
LADDER

CEILING LEGEND:

- 1 2'x2'x5/8" MANUFACTURERS STANDARD SQUARE EDGED LAY-IN W/ 15/16" PRE-FINISHED WHITE GRID TO MATCH
- 2 2'x4'x1/2" GOLD BOND BRAND "GRIDSTONE", FIRE-SHIELD G (1 1/2 HR). DIRECTIONAL, WASHABLE LAY-IN VINYL FACED GYPSUM PANELS - PANEL COLOR: WHITE W/ PRE-FINISHED GRID TO MATCH
- 3 GYP BOARD CEILING TO BE PAINTED (P5)
- 4 GYP BOARD CEILING TO BE PAINTED (P2)
- 5 EXPOSED DECK & WOOD FRAMING, STIFF ELECTRICAL CONDUIT, DASH LINES, TO BE PAINTED (P2), HVAC DROPS TO BE PAINTED (P3)

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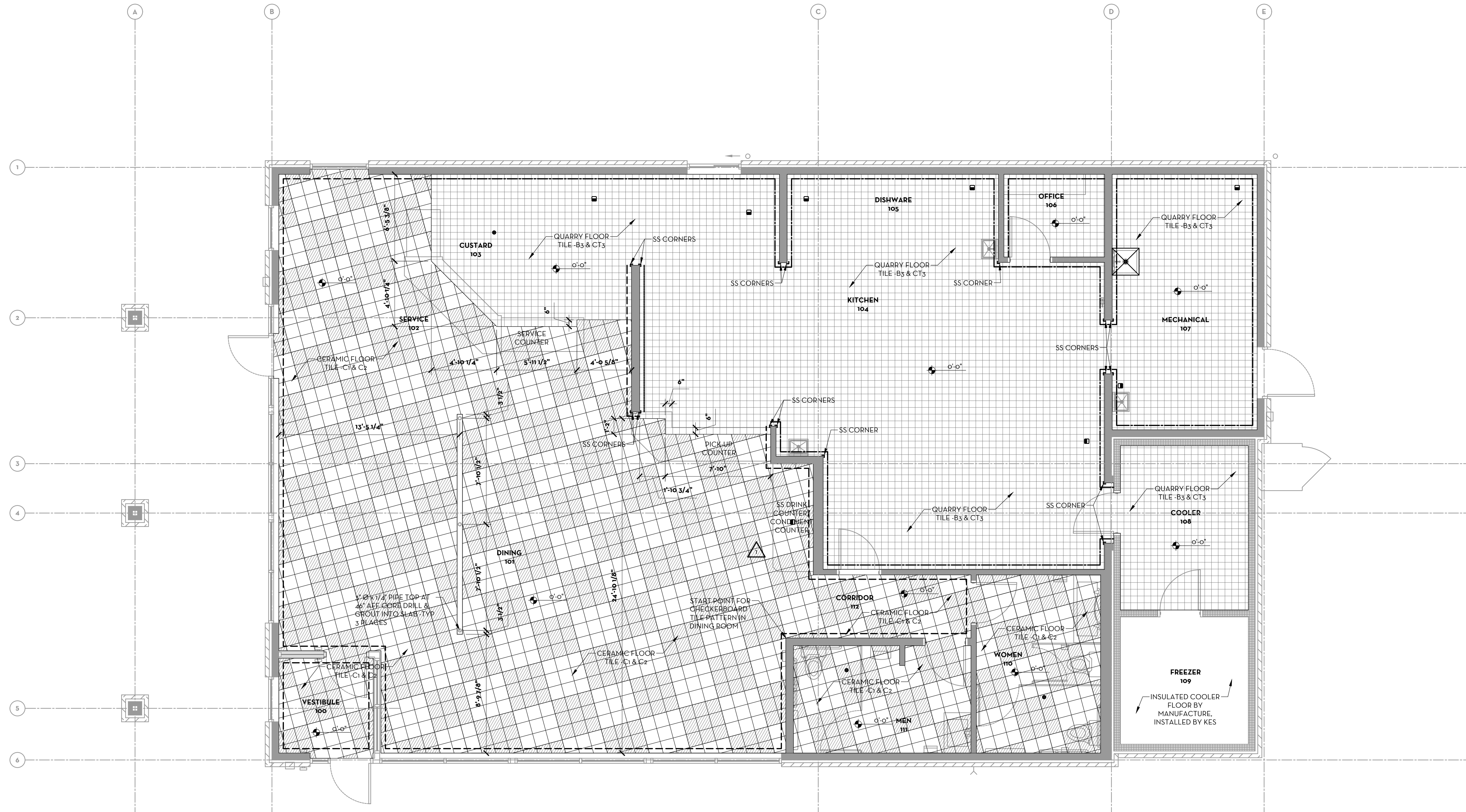
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JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
MAIN LEVEL FINISH FLOOR PLAN

DRAWING

A104



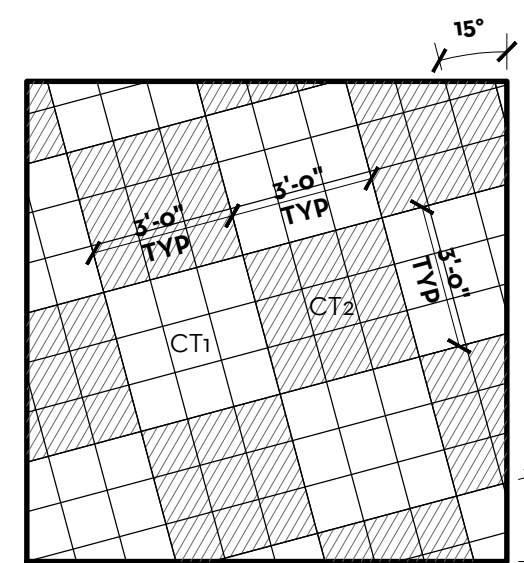
1 MAIN LEVEL FINISH FLOOR PLAN

SCALE: 1/4" = 1'-0"

LINE LEGEND

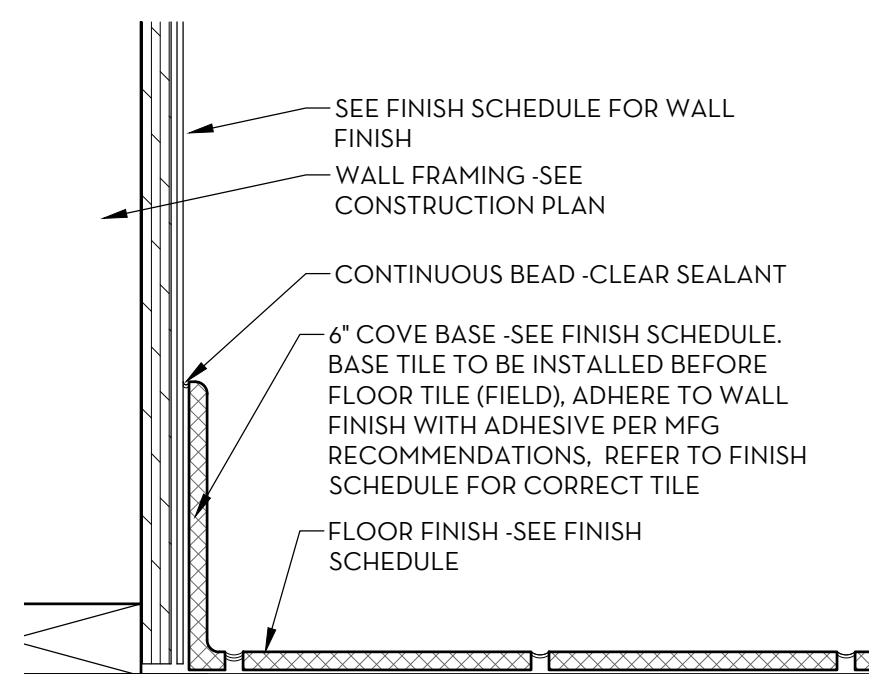
- INDICATES 1/2" OSB IN LIEU OF GB BEHIND FRP FINISH
- INDICATES FIRE TREATED SHEATHING IN LIEU OF GB BEHIND 18 GA SS WALL FINISH
- INDICATES 5/8" OSB TO 4'-0" AFF IN LIEU OF GB BEHIND SCORED FRP PANELS

*SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS



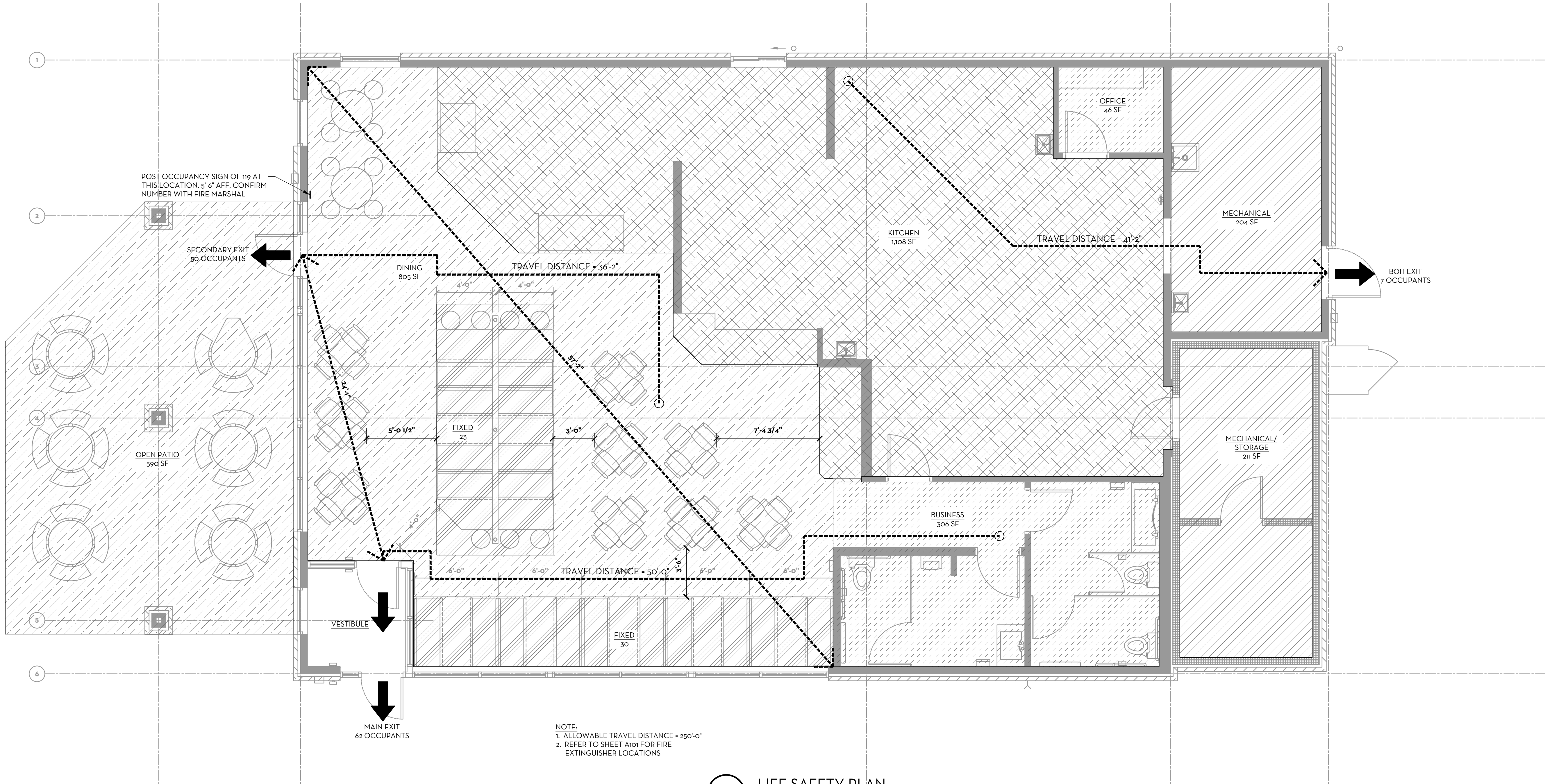
2 CHECKERBOARD TILE LAYOUT

SCALE: NOT TO SCALE



3 CHECKERBOARD TILE LAYOUT

SCALE: 3\"/>



OCCUPANCY CALCULATIONS -BASED ON 2003 IBC		
OCCUPANTS ARE CALCULATED IN EACH INDIVIDUAL SPACE, THEN ROUNDED UP		
ASSEMBLY AREAS	TOTAL SQ FT	OCCUPANT COUNT
ASSEMBLY W/O FIXED SEATING(UNCONCENTRATED TABLES AND CHAIRS) 15 NET	953	64
ASSEMBLY W/ FIXED SEATING -1 PERSON FOR EACH 24 INCHES OF BOOTH SEAT LENGTH		54
KITCHENS (COMMERCIAL) -200 GROSS	1,108	6
MECHANICAL/STORAGE ROOMS -300 GROSS	415	1
BUSINESS AREAS -100 GROSS	352	4
BUILDING OCCUPANTS		129

PATIO		
OCCUPANTS ARE CALCULATED IN EACH INDIVIDUAL SPACE, THEN ROUNDED UP		
ASSEMBLY AREAS	TOTAL SQ FT	OCCUPANT COUNT
ASSEMBLY W/O FIXED SEATING(UNCONCENTRATED TABLES AND CHAIRS) 15 NET (PATIO)	590	39
PATIO OCCUPANTS		39
TOTAL OCCUPANTS		168

1 LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
LIFE SAFETY PLAN

DRAWING

A105

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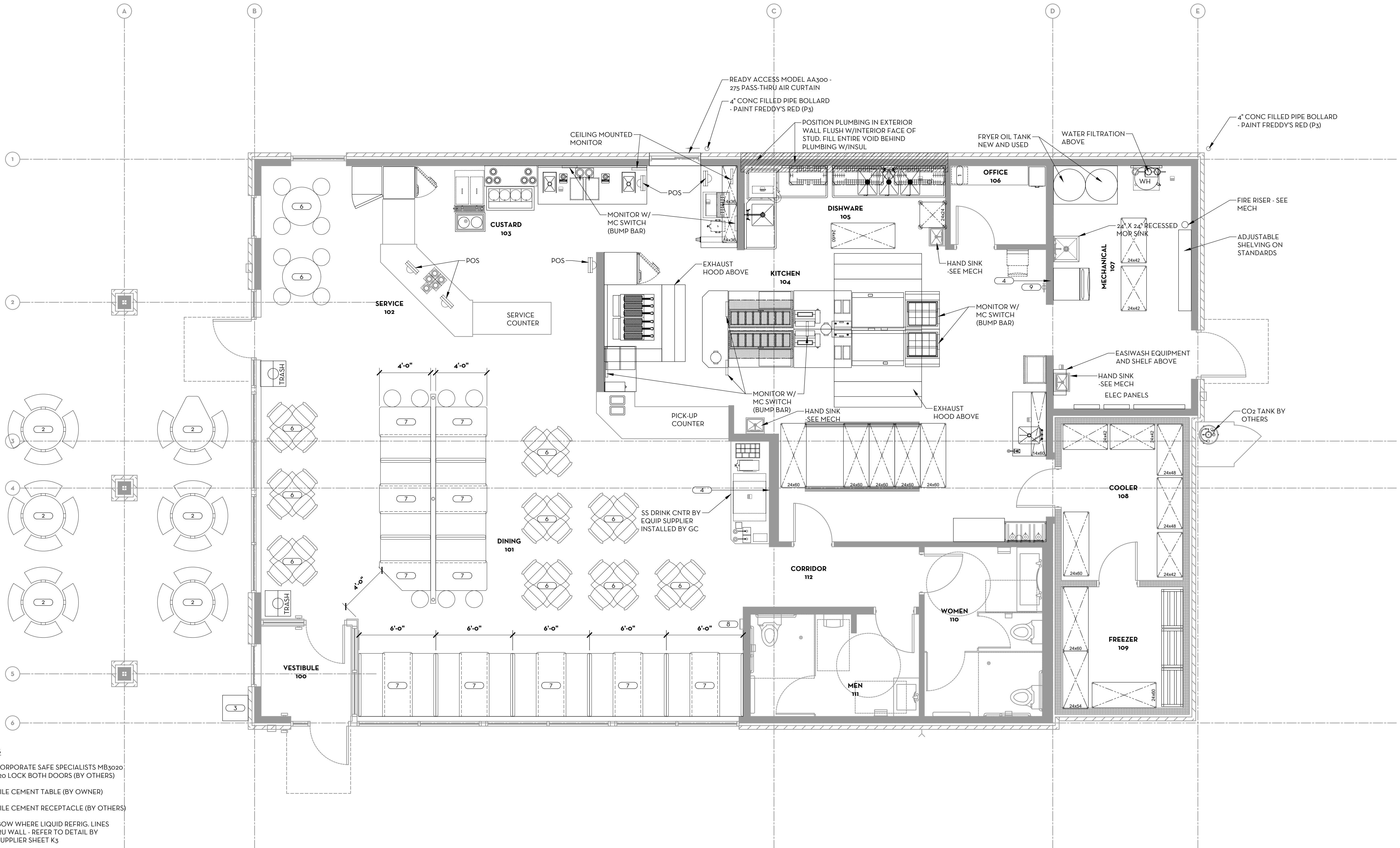
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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
MAIN LEVEL FURNITURE
AND EQUIPMENT PLAN

DRAWING

A110



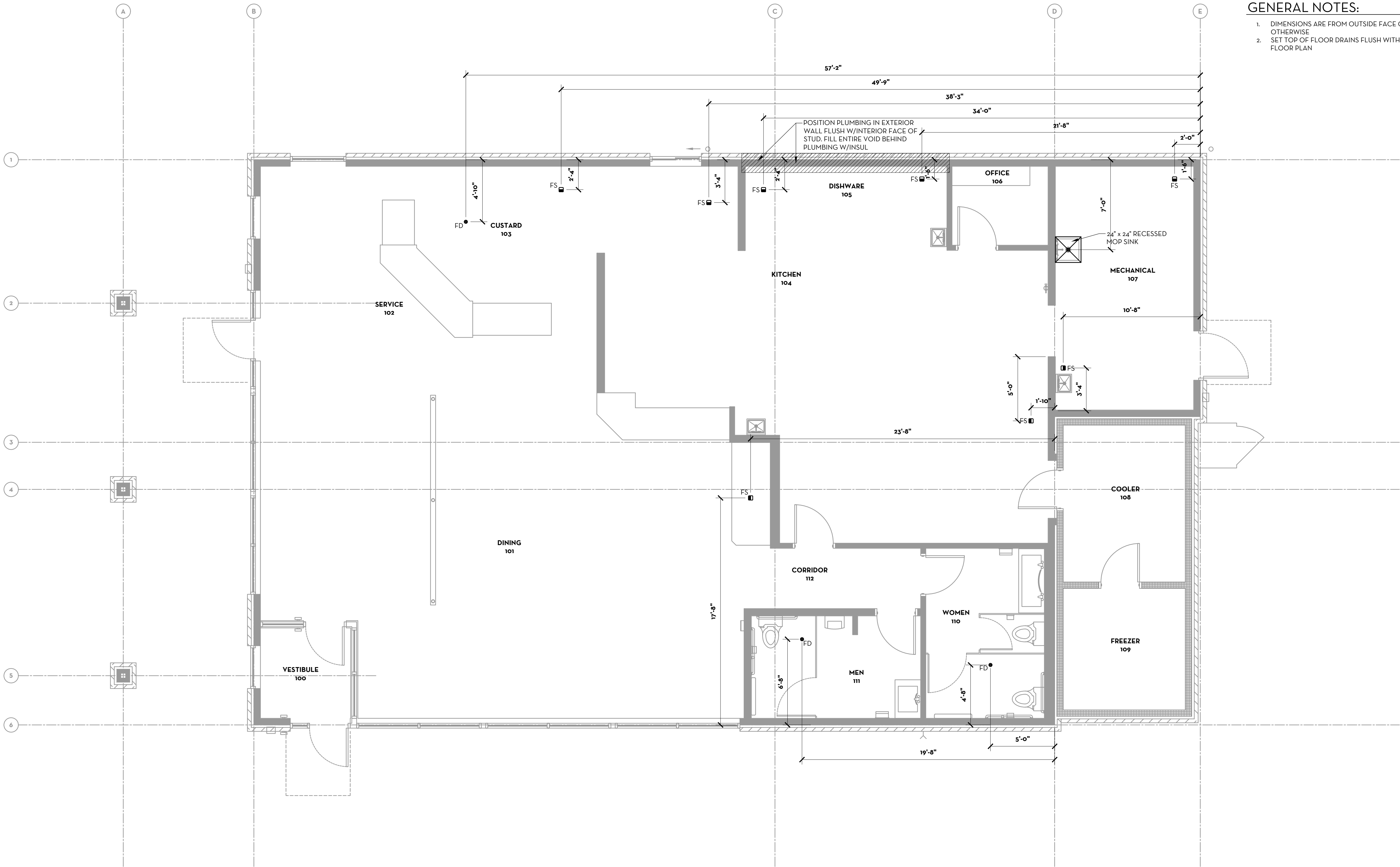
KEYNOTES

- SAFE BY CORPORATE SAFE SPECIALISTS MB3020 W/ S&G 6120 LOCK BOTH DOORS (BY OTHERS)
- WASSAU TILE CEMENT TABLE (BY OWNER)
- WASSAU TILE CEMENT RECEPTACLE (BY OTHERS)
- 3" PVC ELBOW WHERE LIQUID REFRIG. LINES COME THRU WALL - REFER TO DETAIL BY KITCHEN SUPPLIER SHEET K3
- HOOD FIRE PULL CONFIRM LOCATION W/ FIRE MARSHAL PRIOR TO INSTALLATION
- FORMICA, FREDDY'S RED, SOLID SURFACE
- FORMICA, FREDDY'S BLACK MATRIX 324, SOLID SURFACE
- MIN TYPE 2A 10BC RECESSED FIRE EXTINGUISHER CABINET PROVIDED BY VENDOR AND INSTALLED BY GC. T.O. 60" AFF MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX
- TYPE K WALL MOUNT FIRE EXTINGUISHER PROVIDED BY VENDOR AND INSTALLED BY GC. T.O. 2'-10" AFF MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX.

1

MAIN LEVEL FURNITURE AND EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
1. DIMENSIONS ARE FROM OUTSIDE FACE OF STUD UNLESS NOTED OTHERWISE
 2. SET TOP OF FLOOR DRAINS FLUSH WITH FINISH FLOOR -SEE FINISH FLOOR PLAN

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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
FLOOR DRAIN LOCATION PLAN

DRAWING
A111

1 FLOOR DRAIN LOCATION PLAN
SCALE: 1/4" = 1'-0"

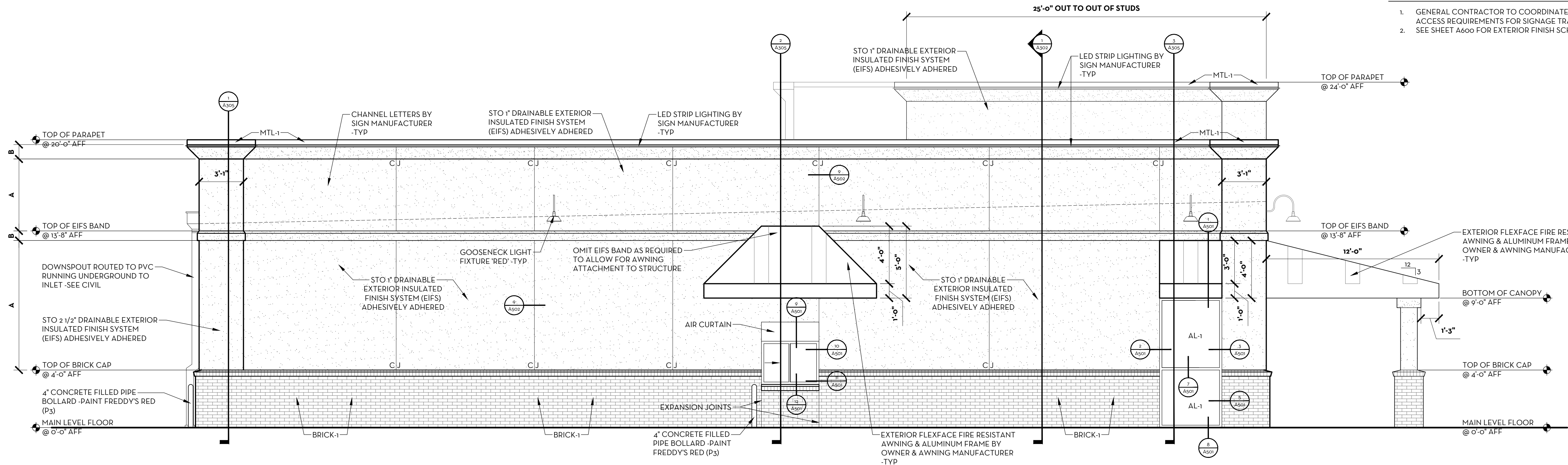


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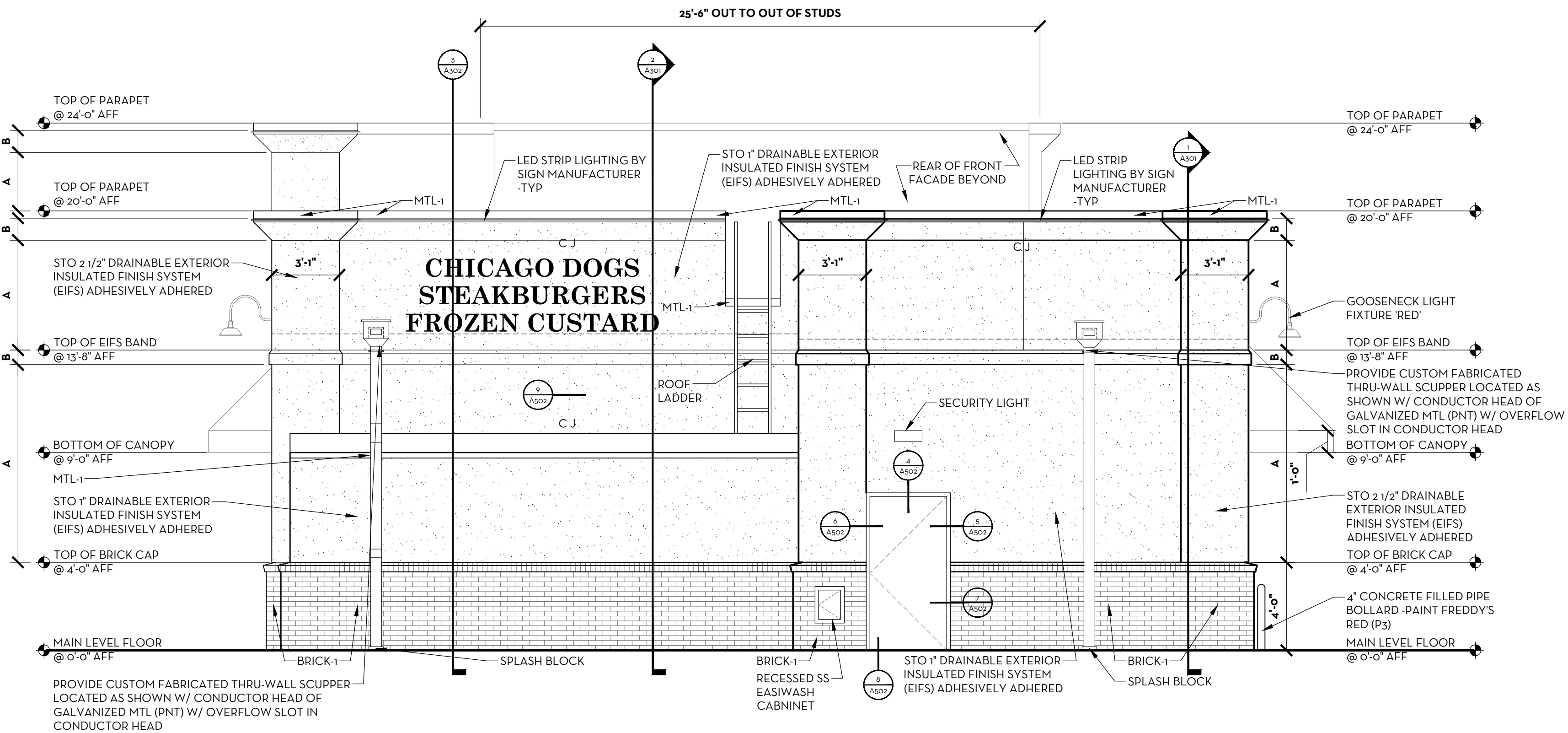
FREDDY'S FROZEN CUSTARD
1902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
TRASH ENCLOSURE PLAN, EX
SECTIONS, AND DETAILS

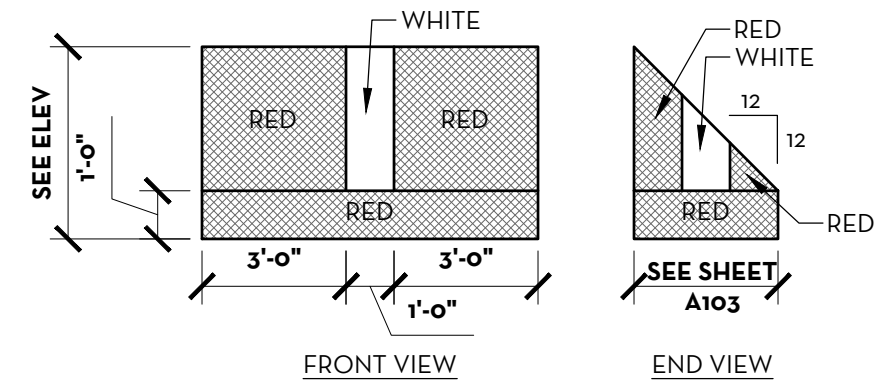
A12O



1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 AWNING COLOR KEY
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. GENERAL CONTRACTOR TO COORDINATE W/ OWNER'S SIGN VENDOR ACCESS REQUIREMENTS FOR SIGNAGE TRANSFORMERS
2. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

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ADJUST SCALE ACCORDINGLY

ASPECT
architecture:design

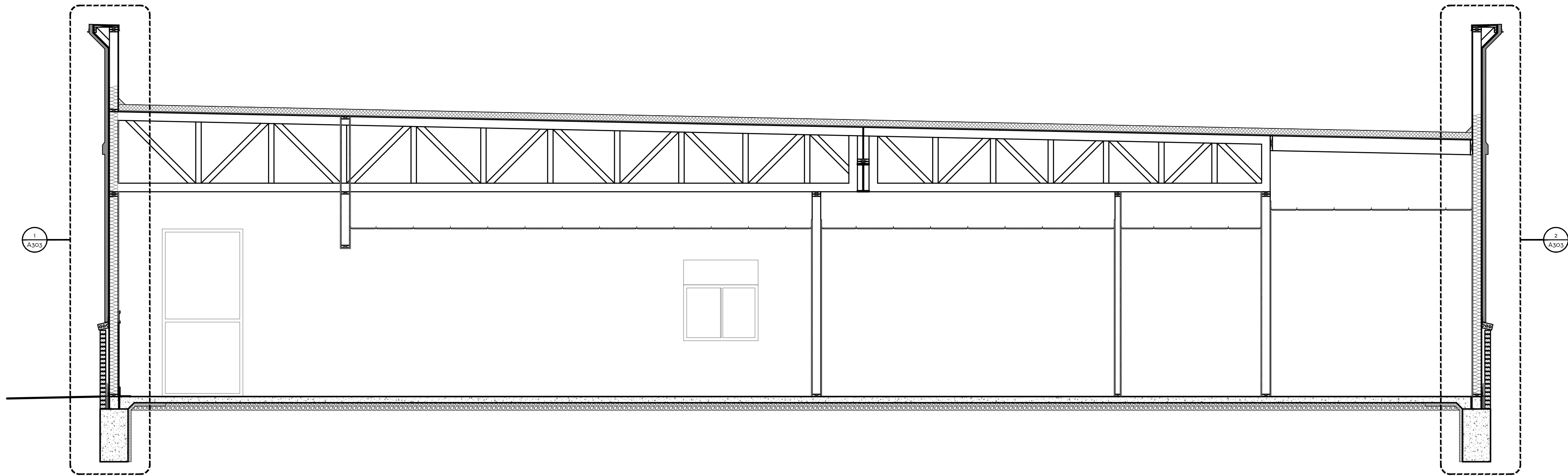
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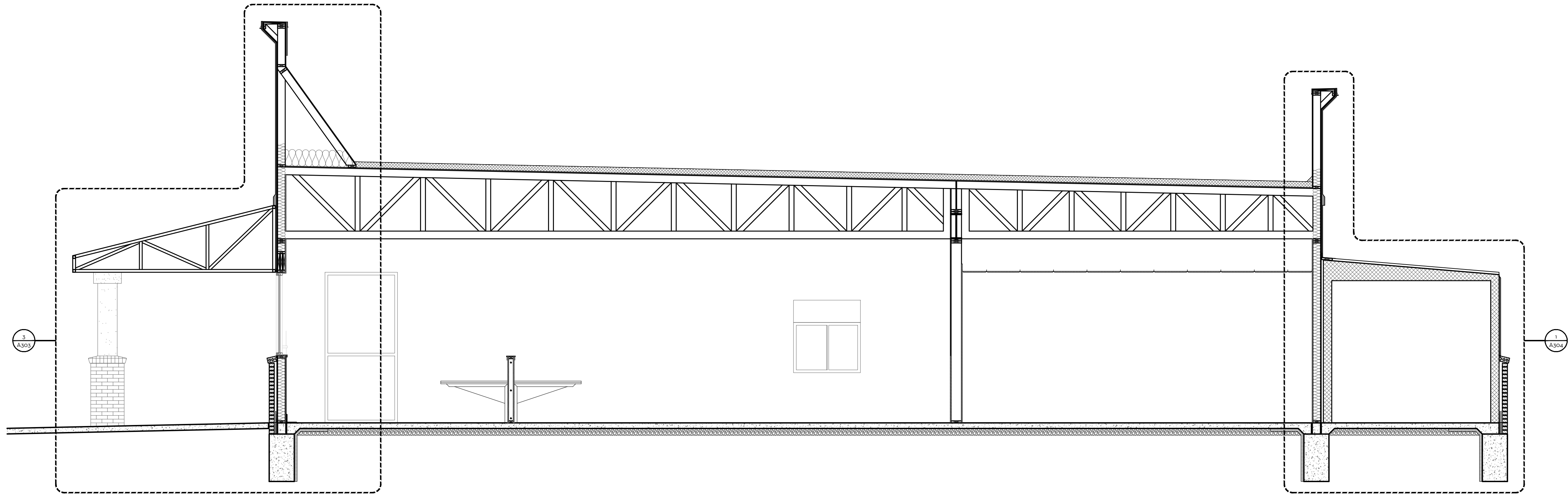
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
EXTERIOR ELEVATIONS

DRAWING

A202



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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ADJUST SCALE ACCORDINGLY

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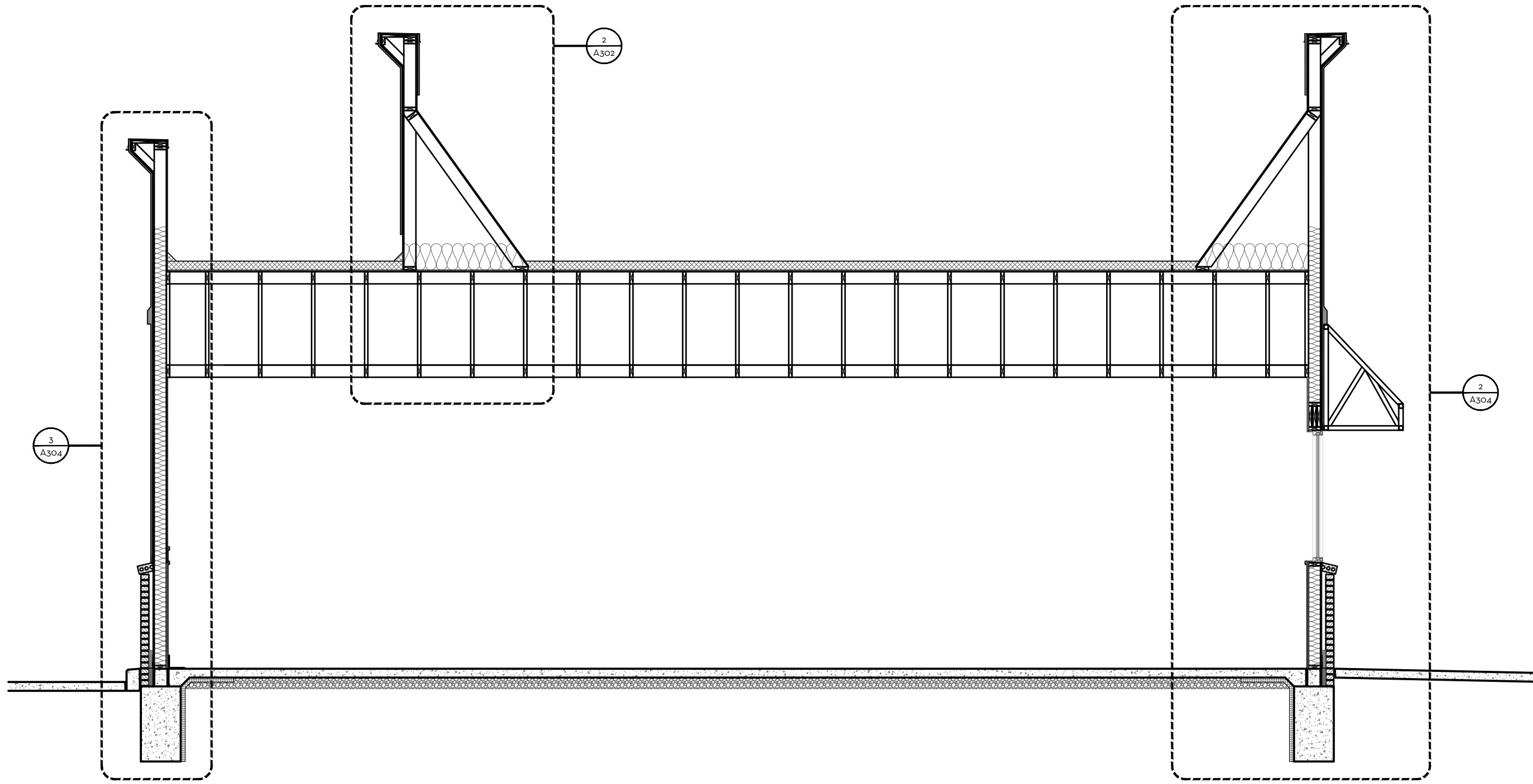
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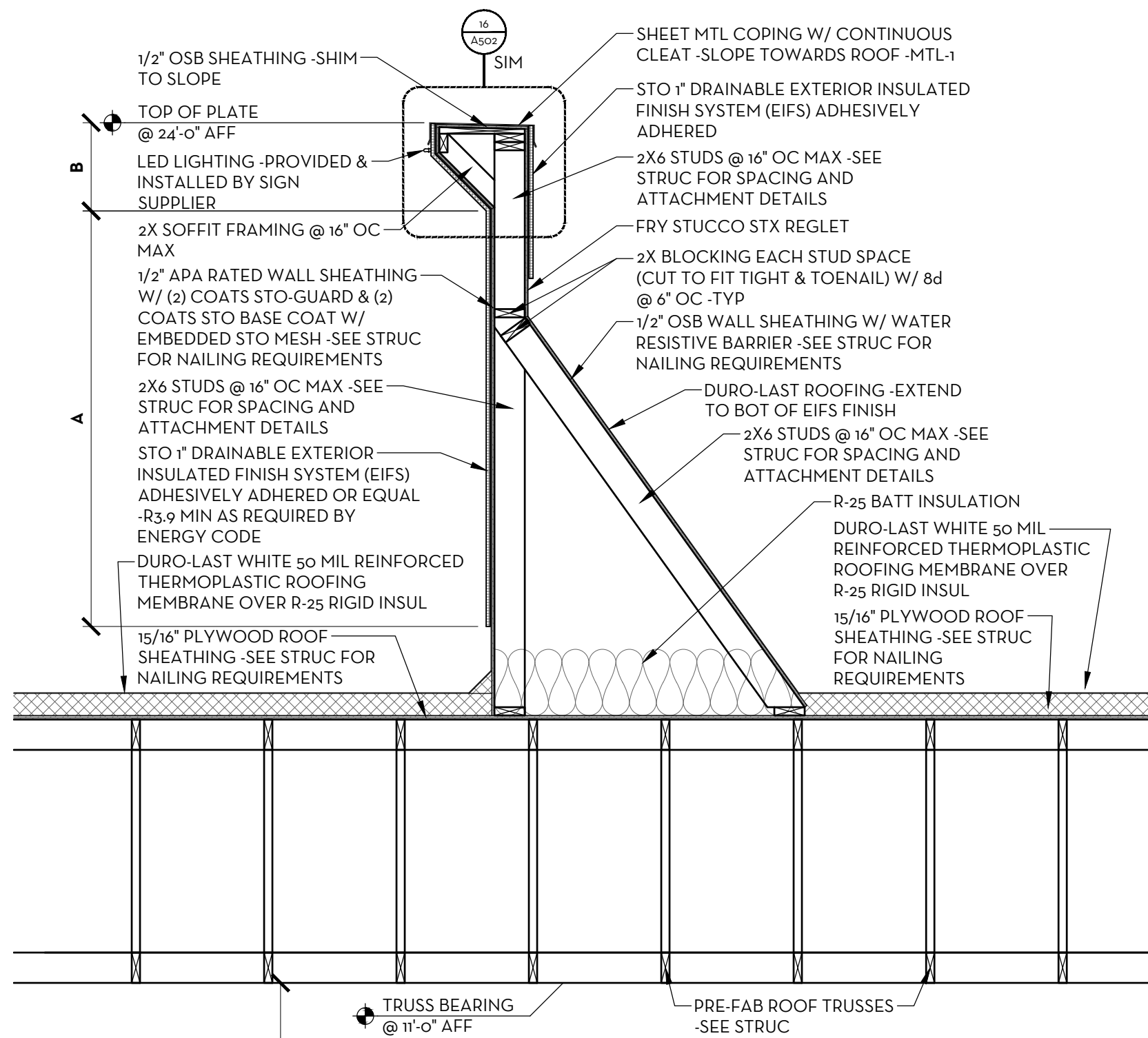
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
BUILDING SECTIONS

DRAWING

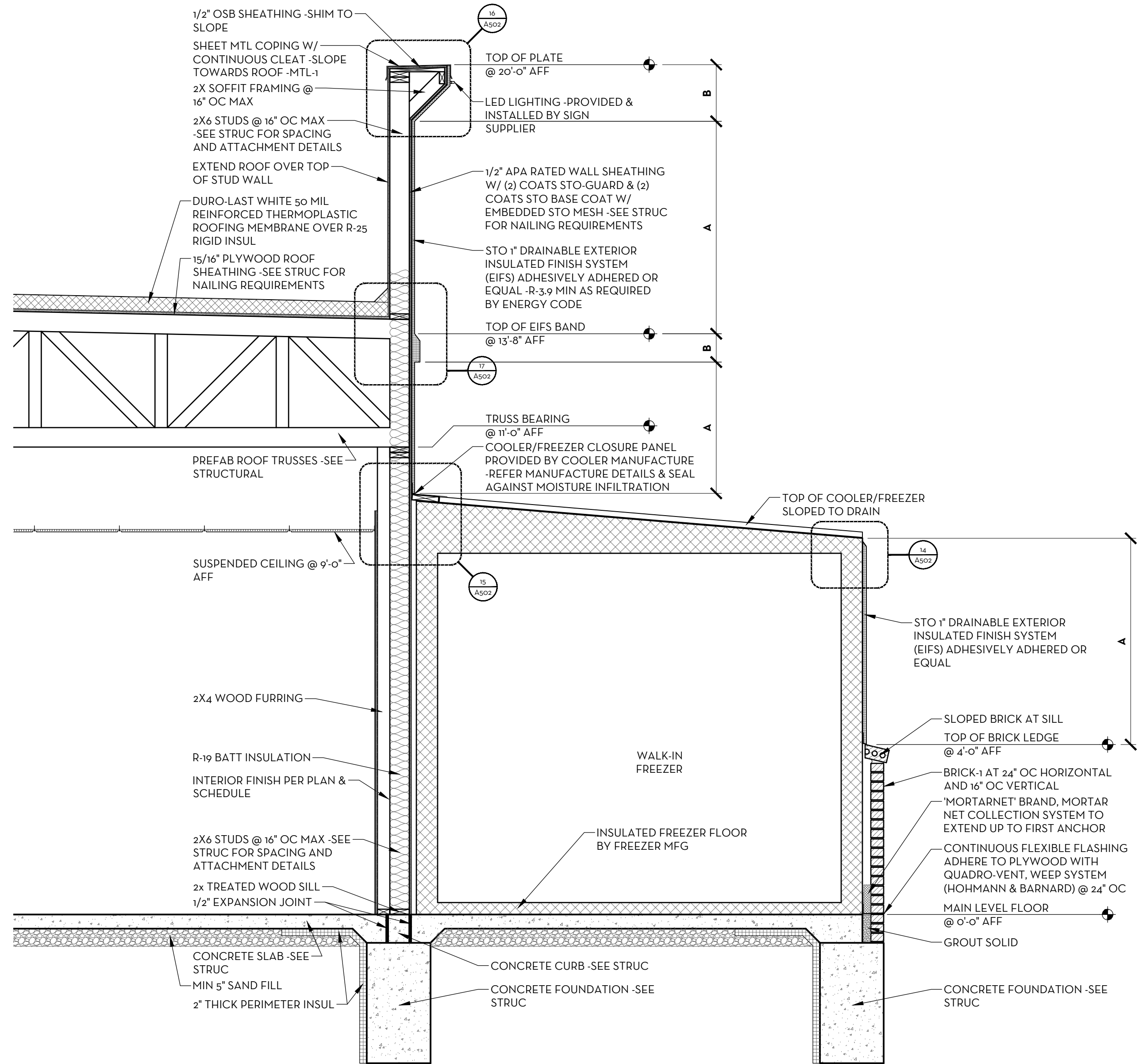
A301



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

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ADJUST SCALE ACCORDINGLY

ASPECT
architecture:design

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JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
BUILDING & WALL SECTIONS

DRAWING

A302

GENERAL NOTES:

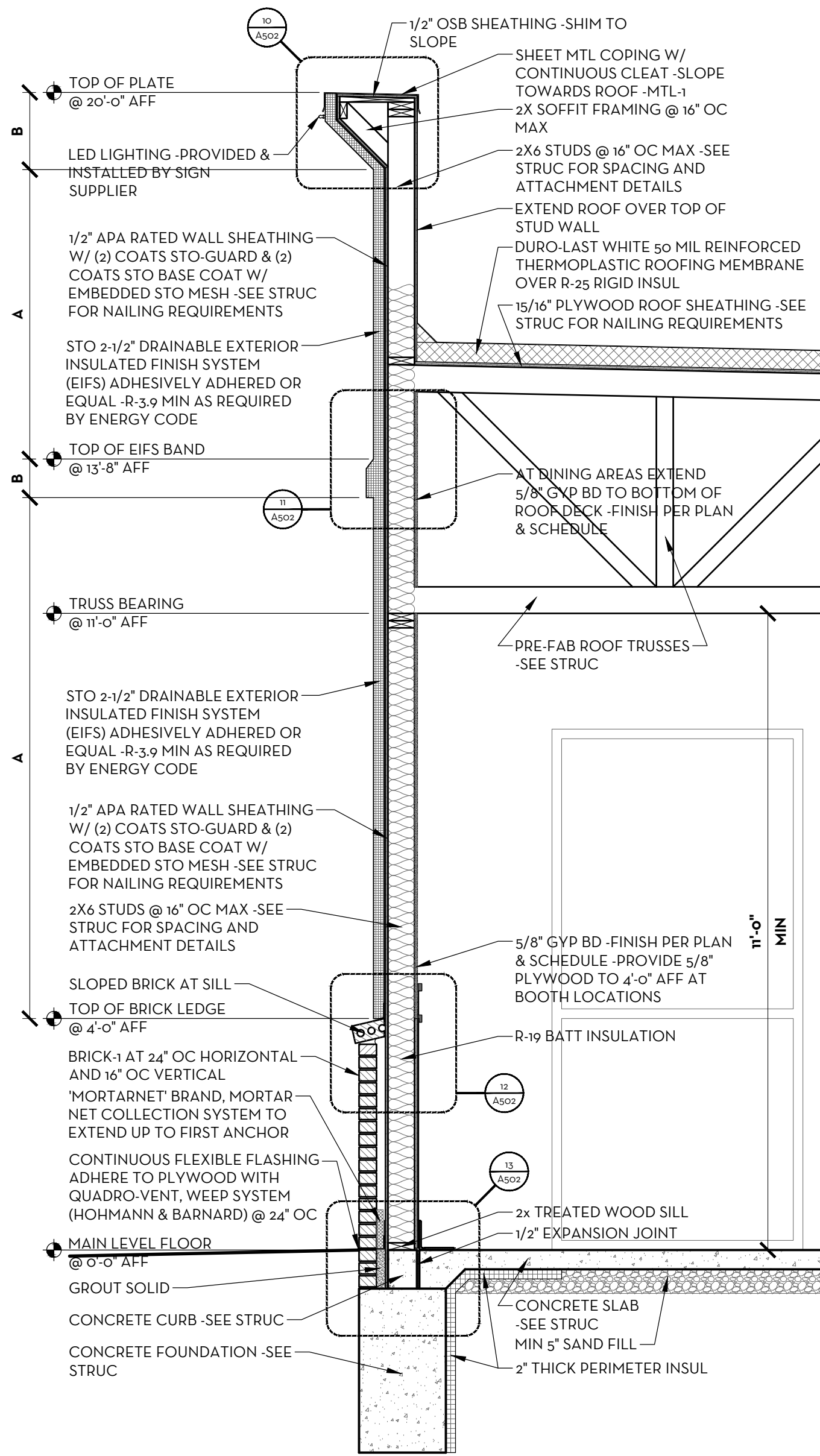
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY

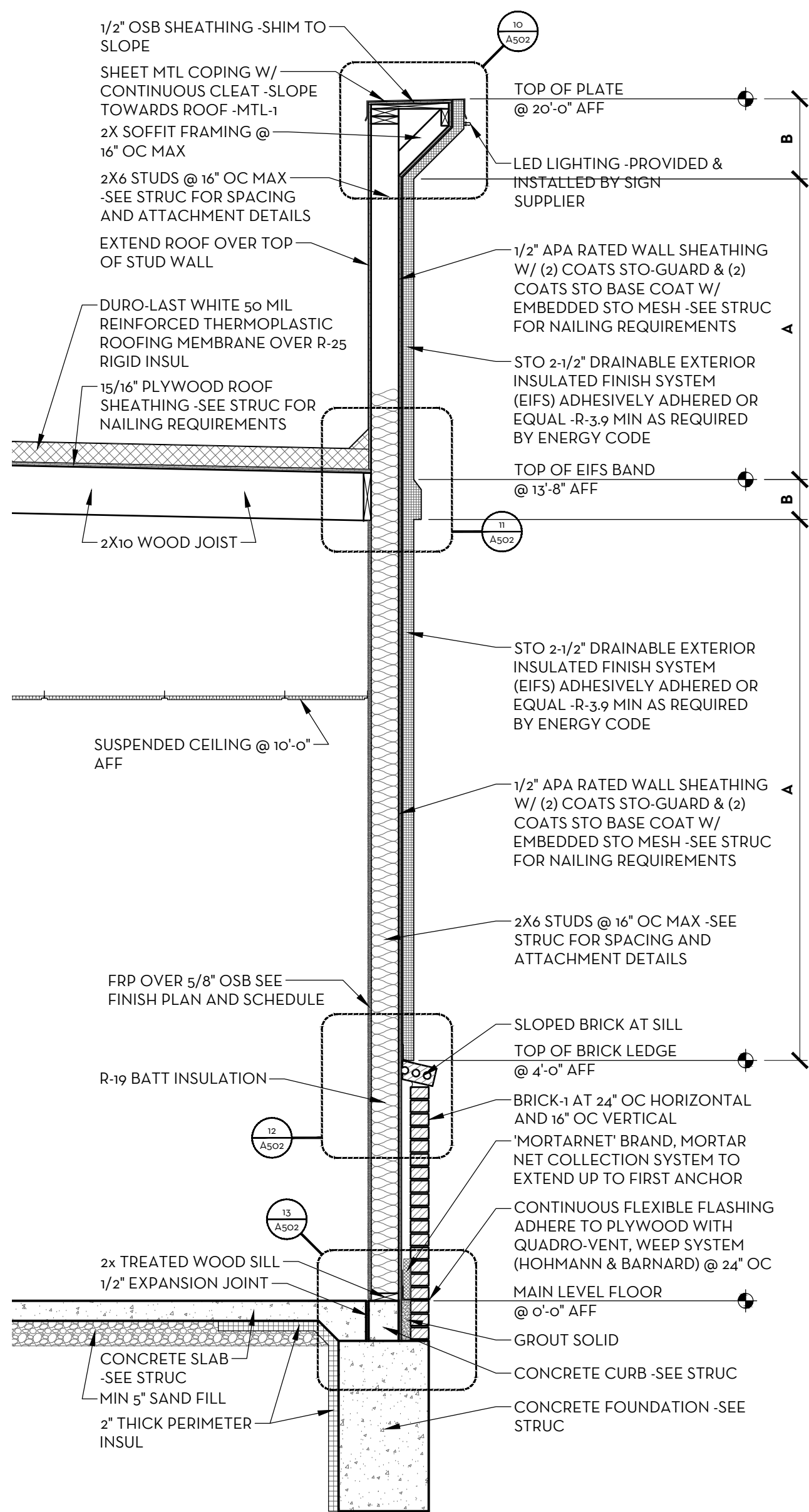
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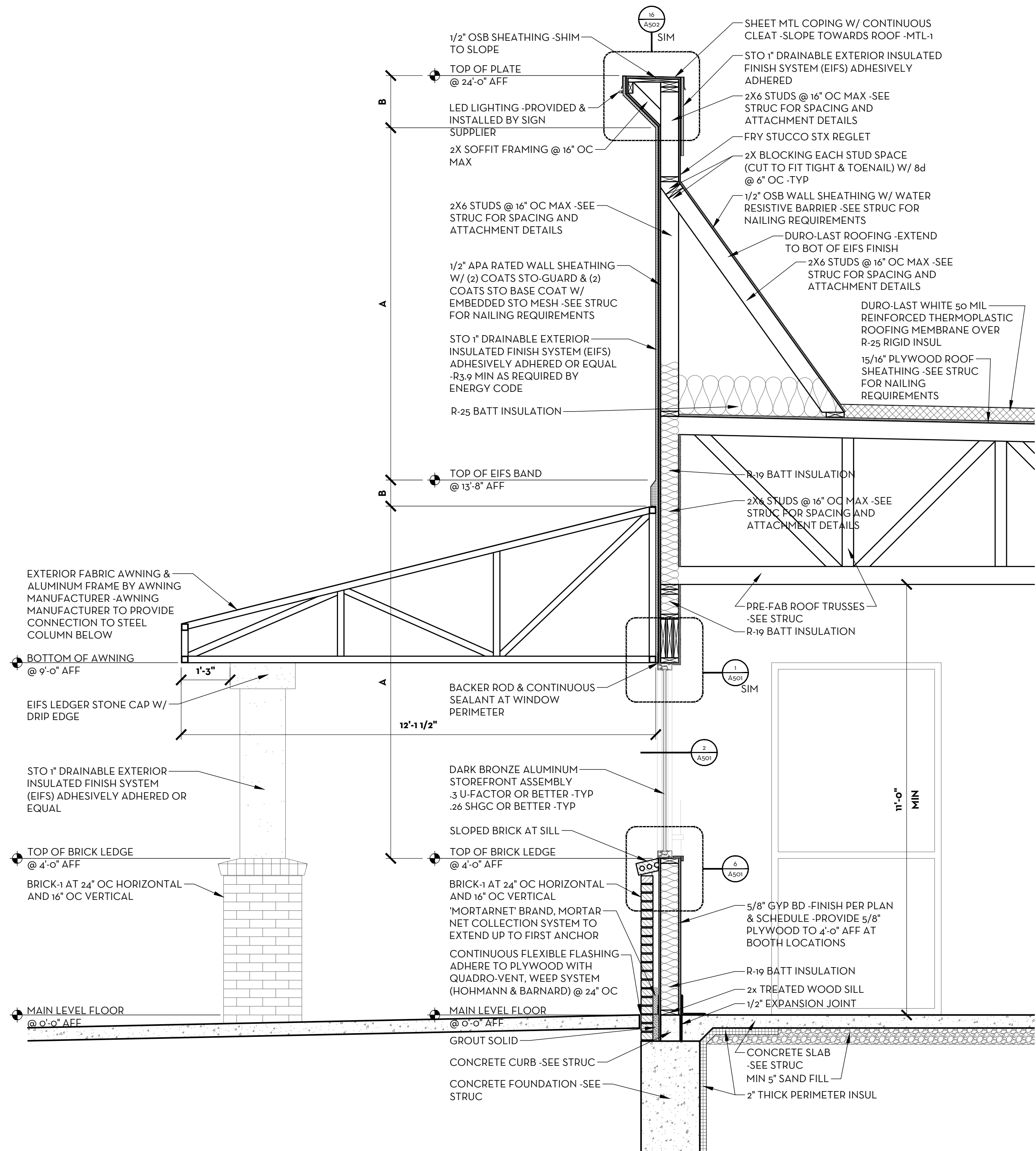
DRAWN BY: JAS
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016



1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
WALL SECTIONS

DRAWING

A303

GENERAL NOTES:

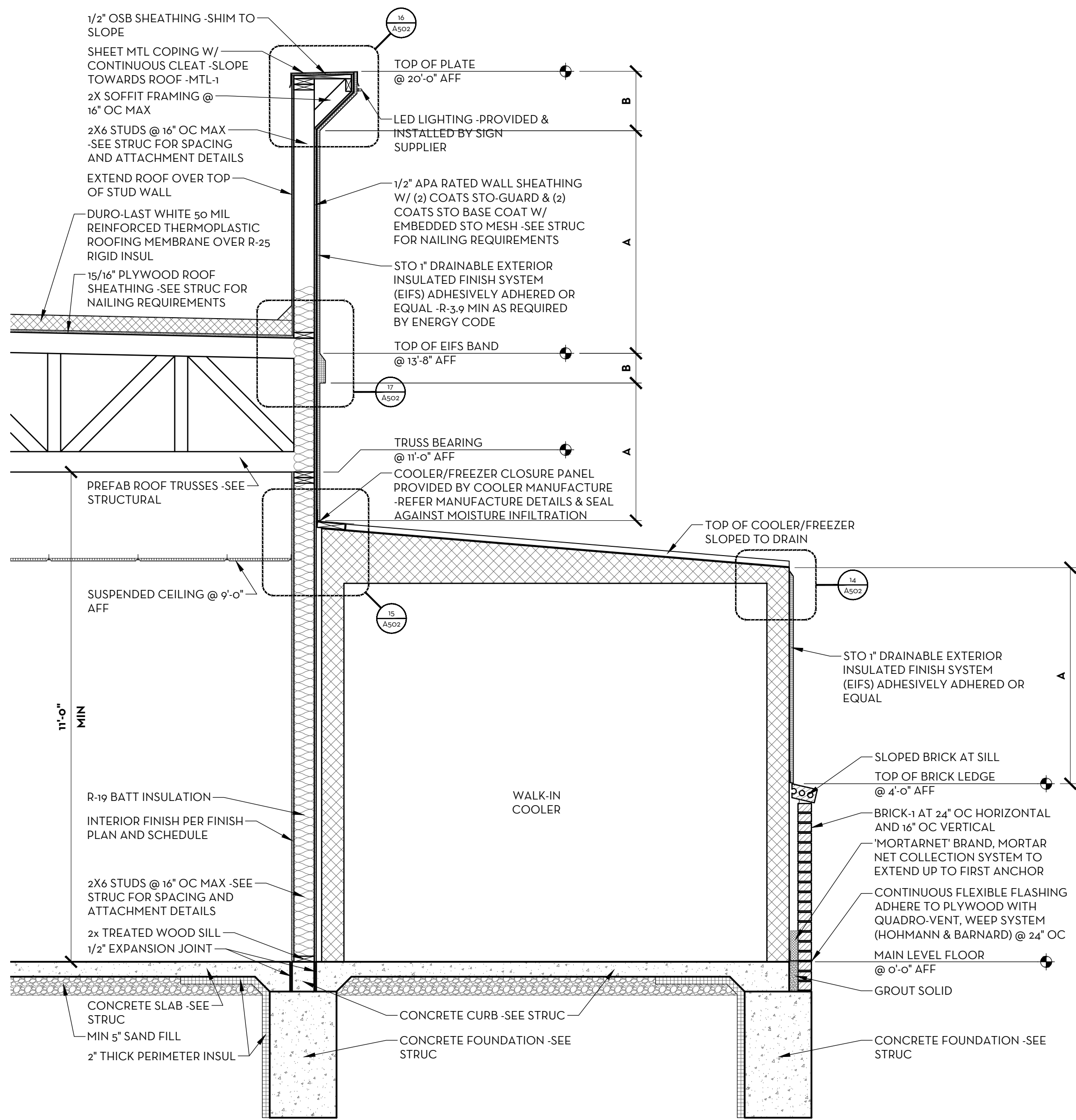
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
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ADJUST SCALE ACCORDINGLY

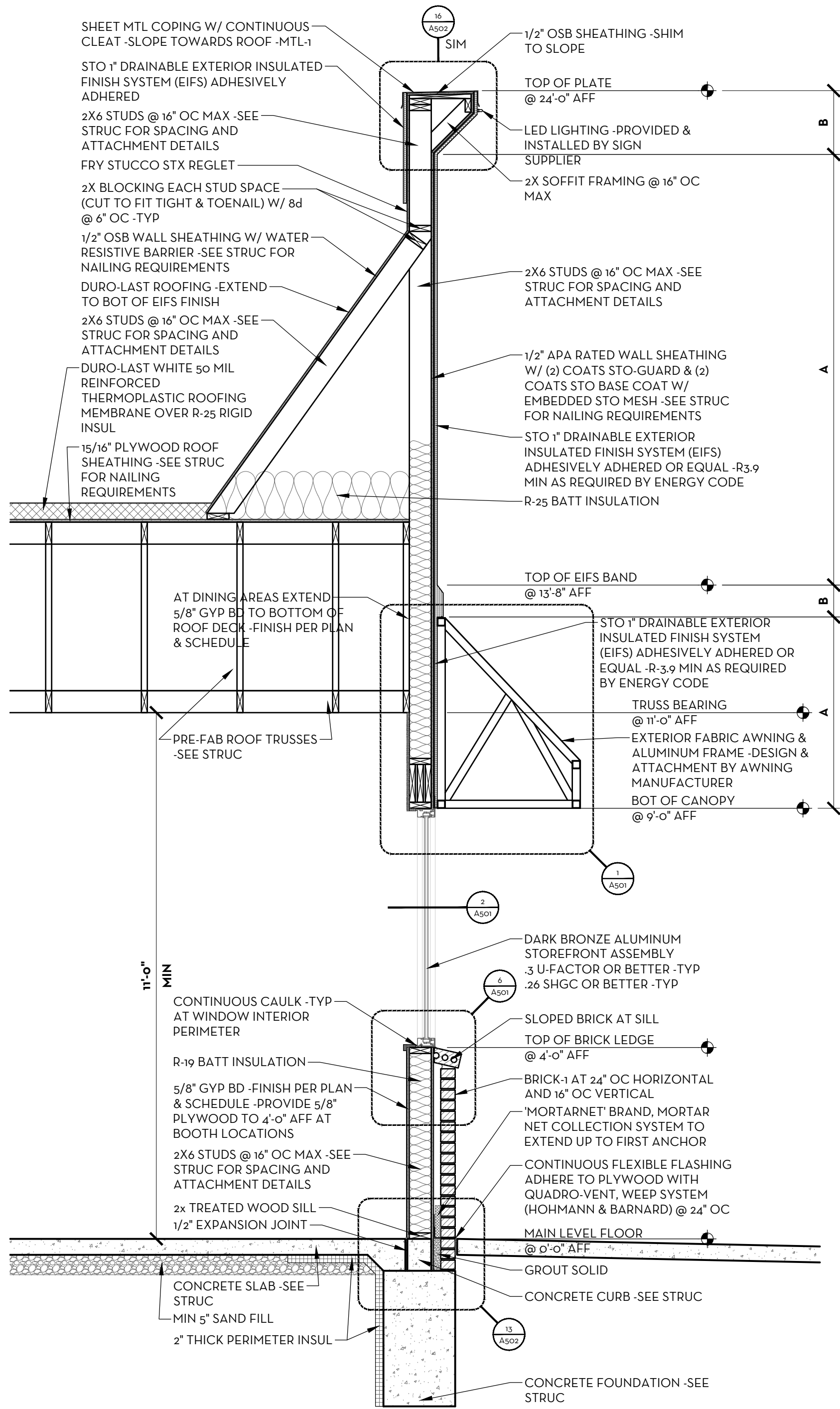
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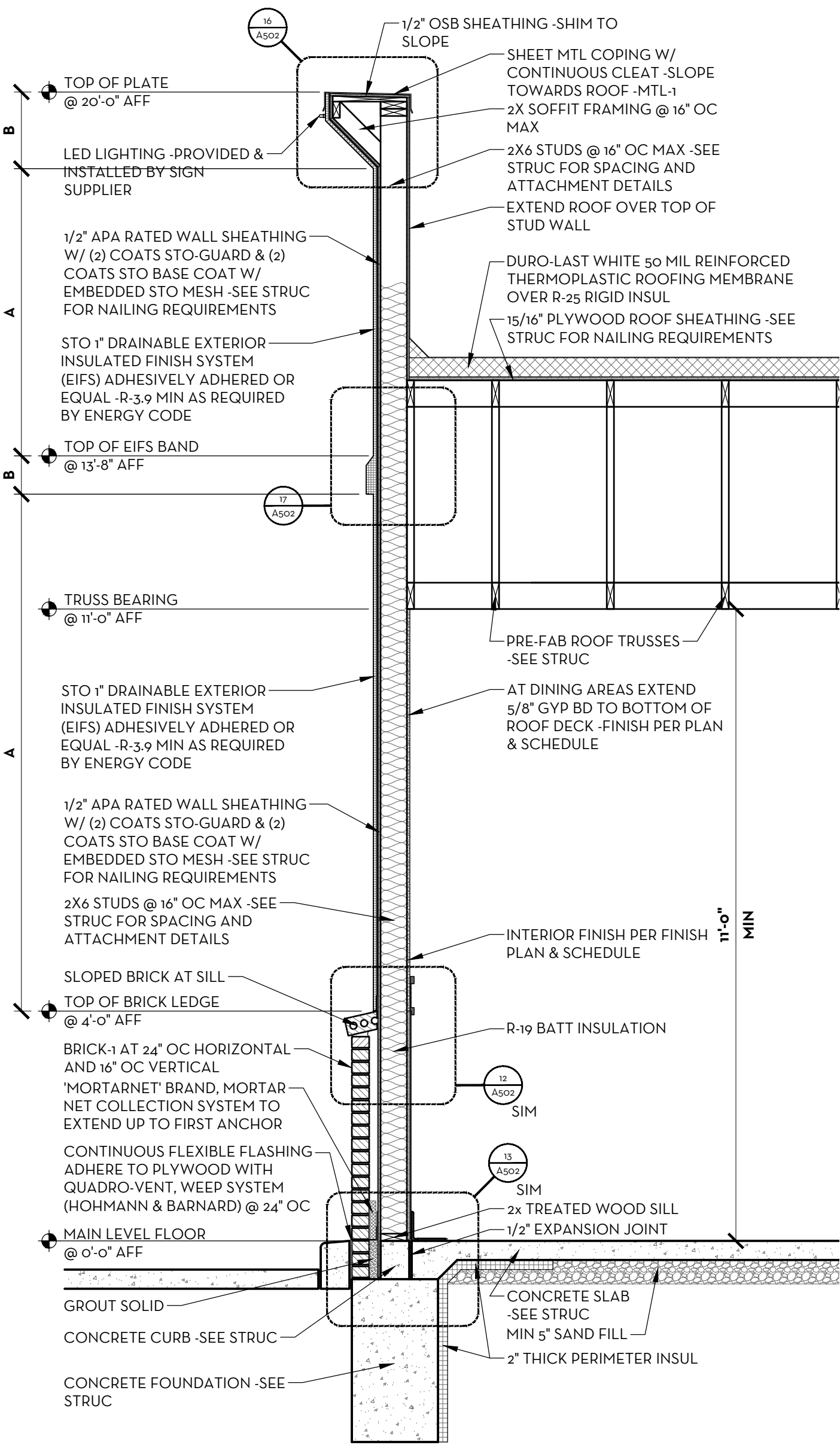
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APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016



1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
WALL SECTIONS

DRAWING

A304

GENERAL NOTES:

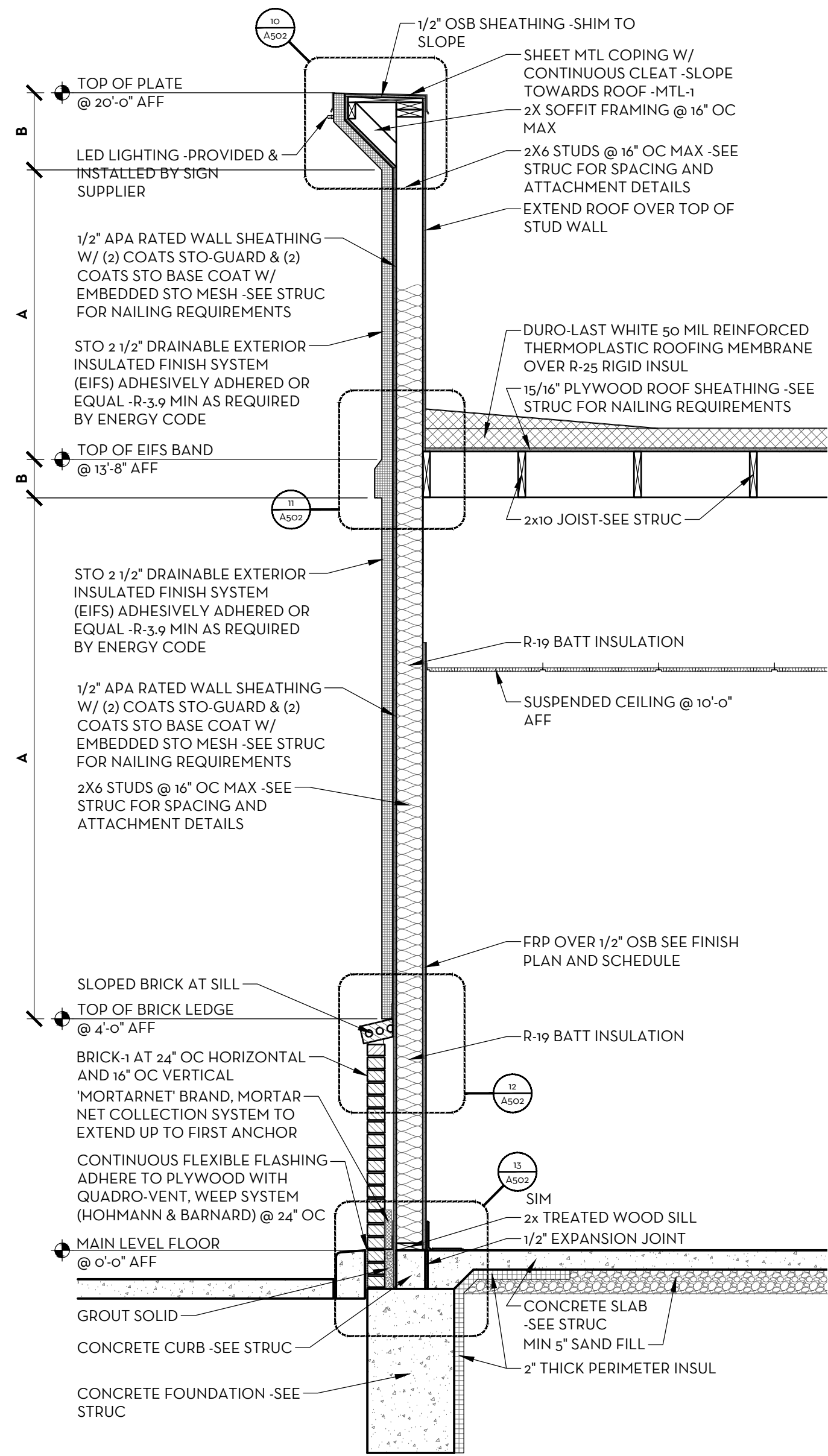
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY

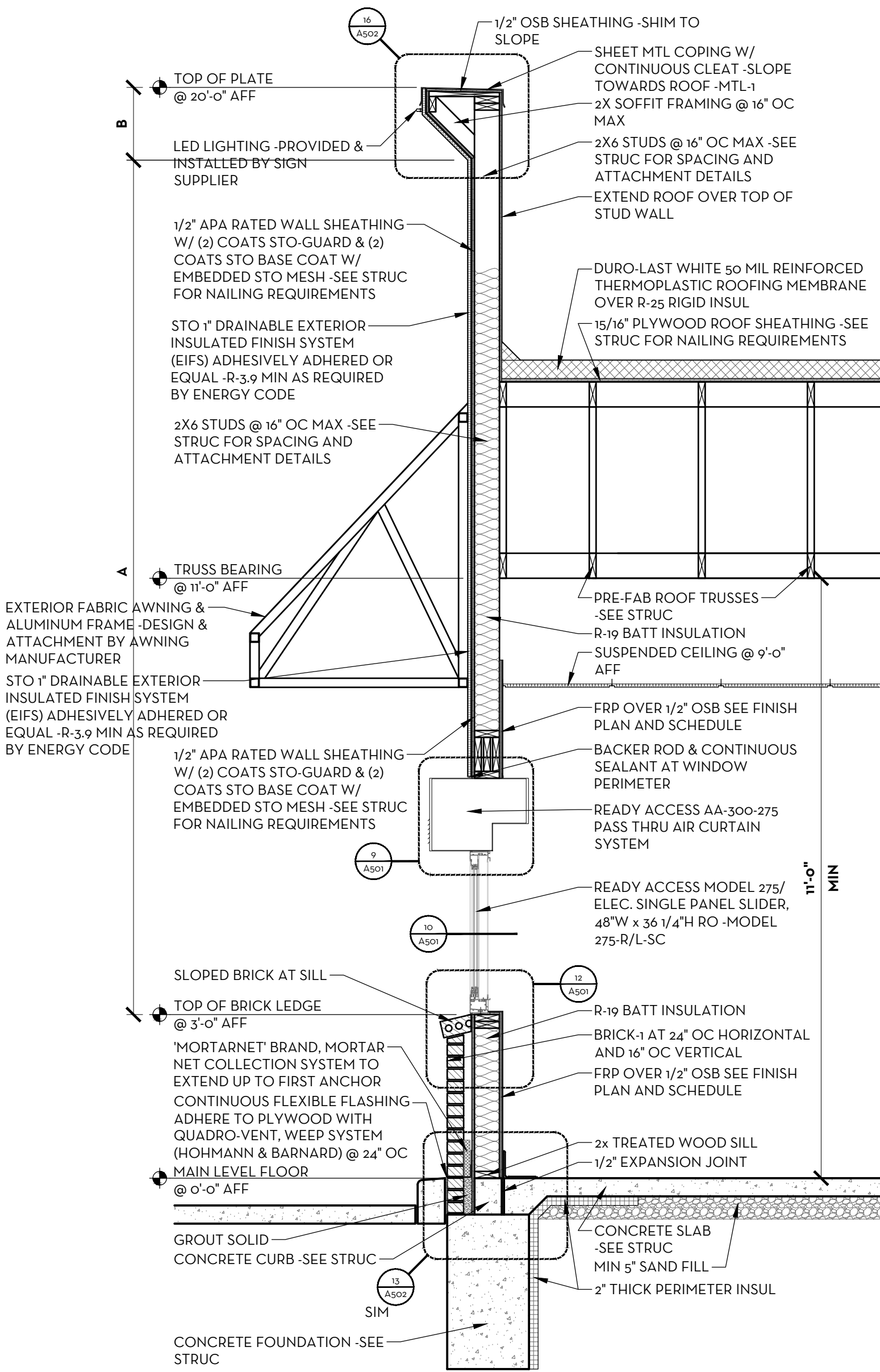
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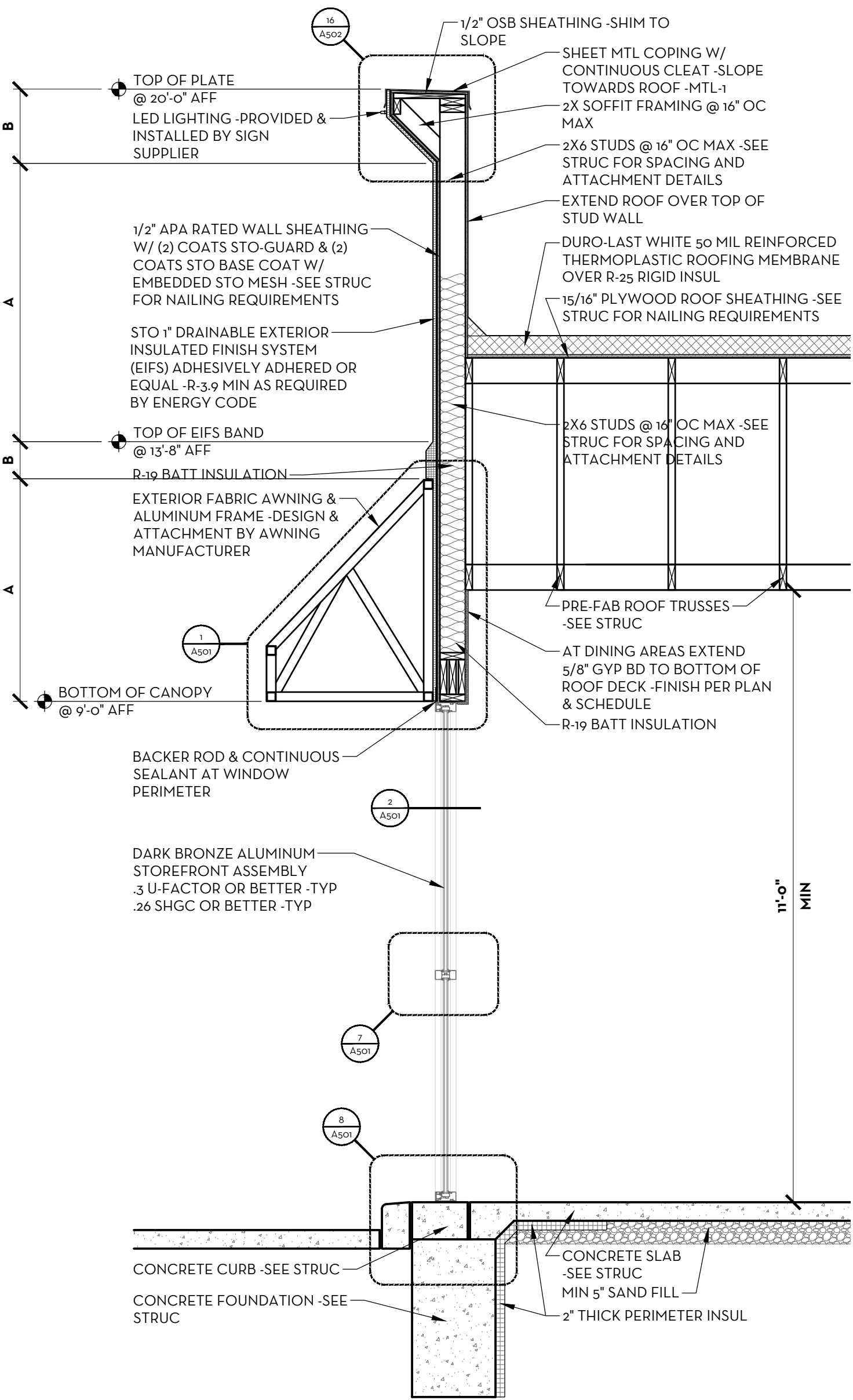
DRAWN BY: JAS
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016



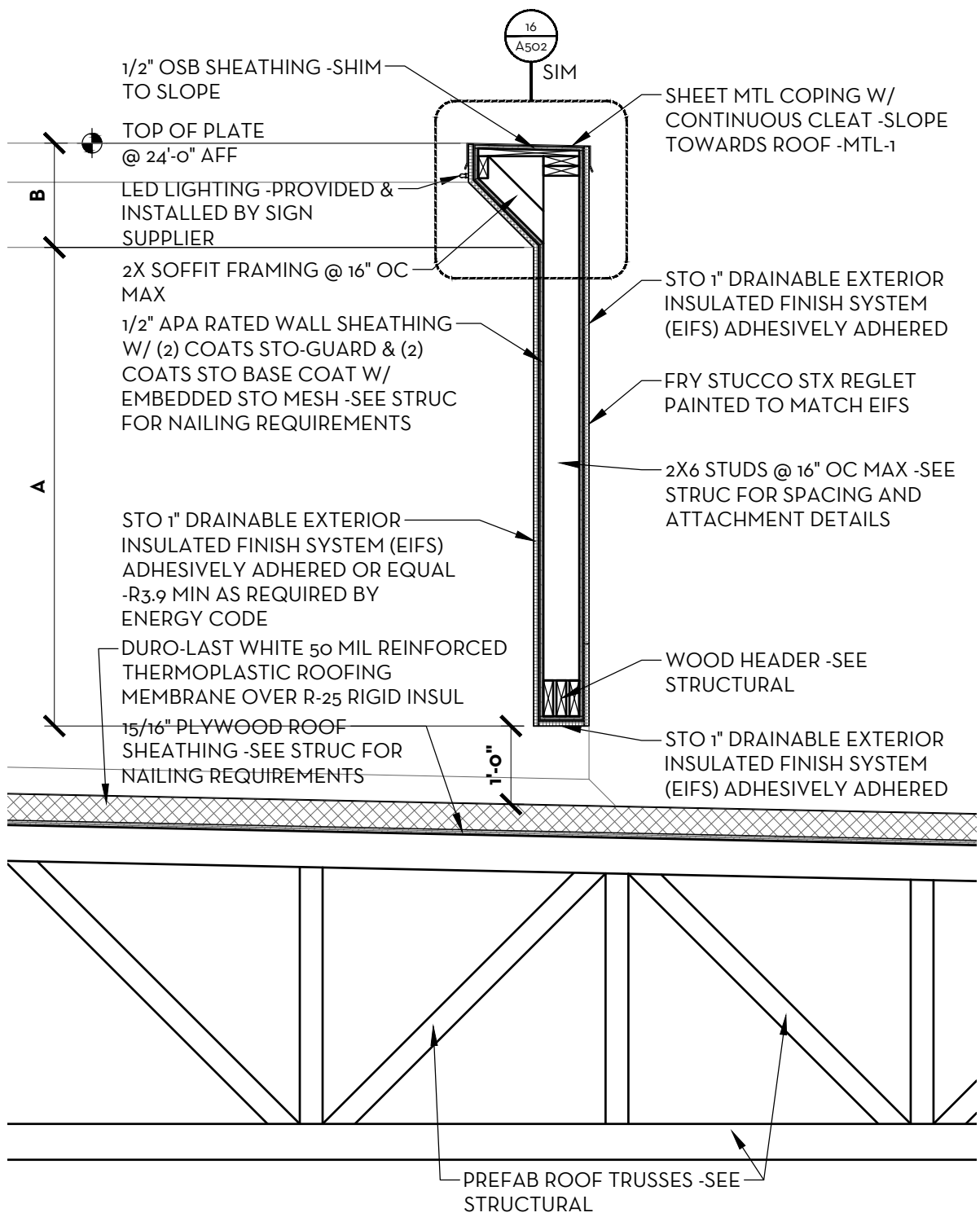
1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

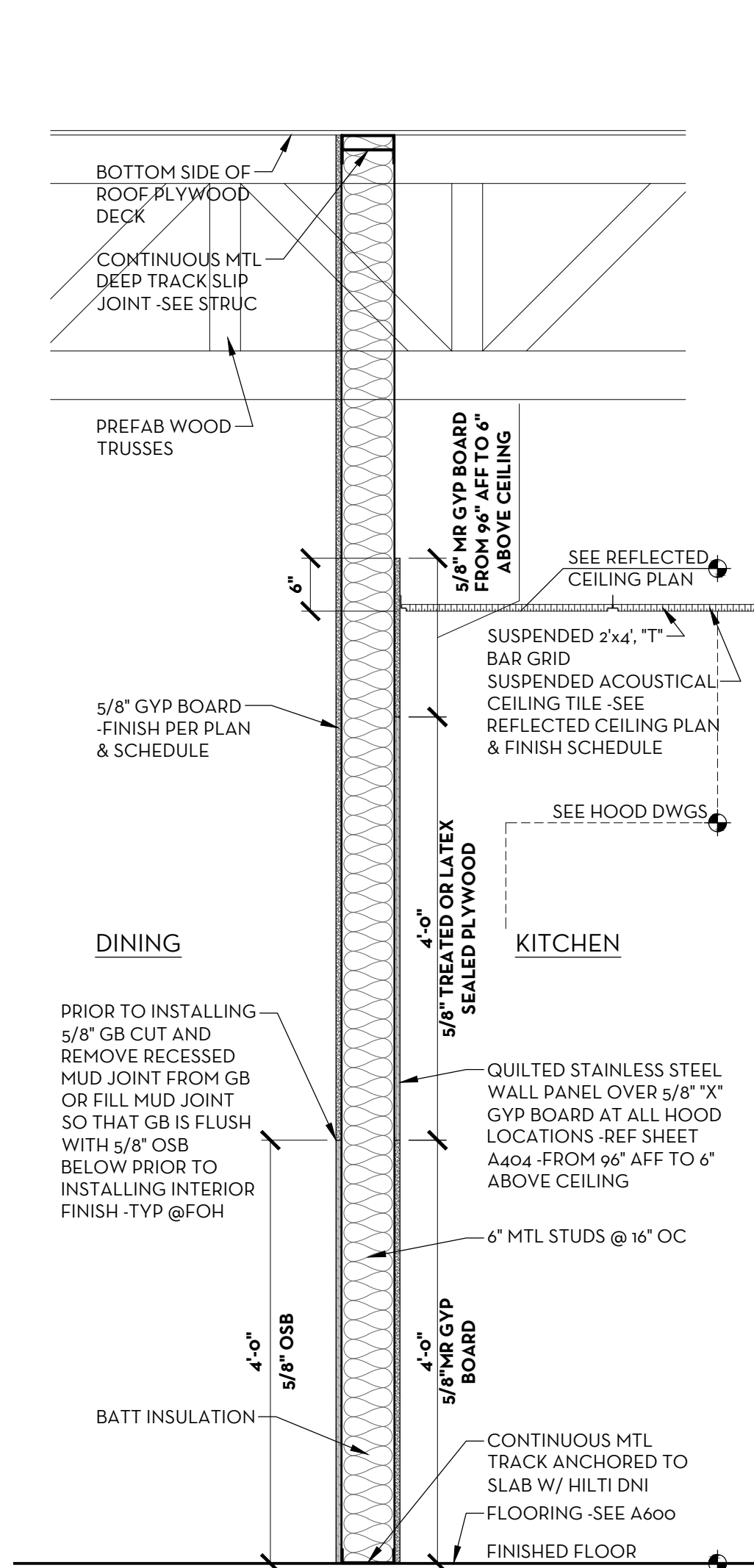


4 WALL SECTION
SCALE: 1/2" = 1'-0"

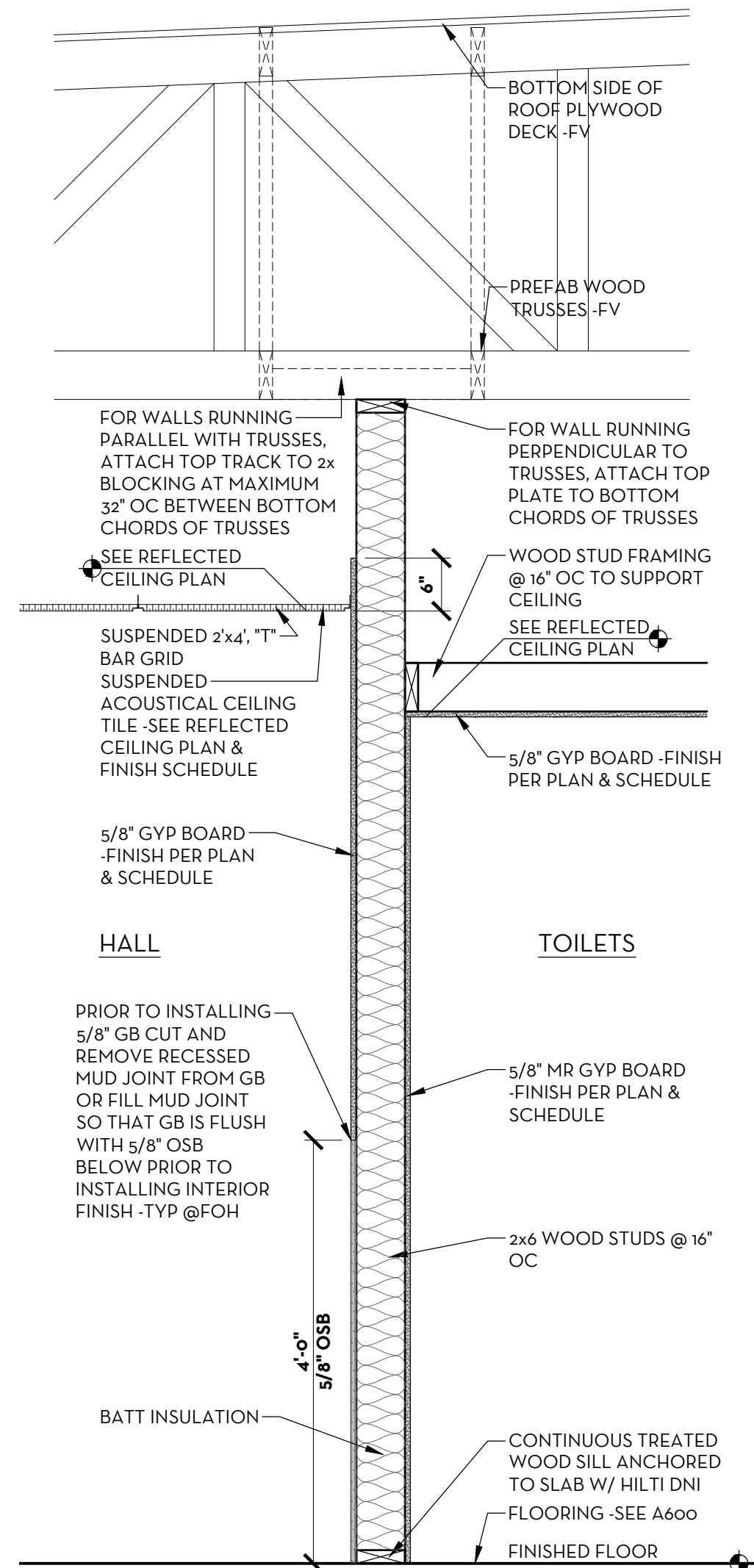
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
WALL SECTIONS

DRAWING

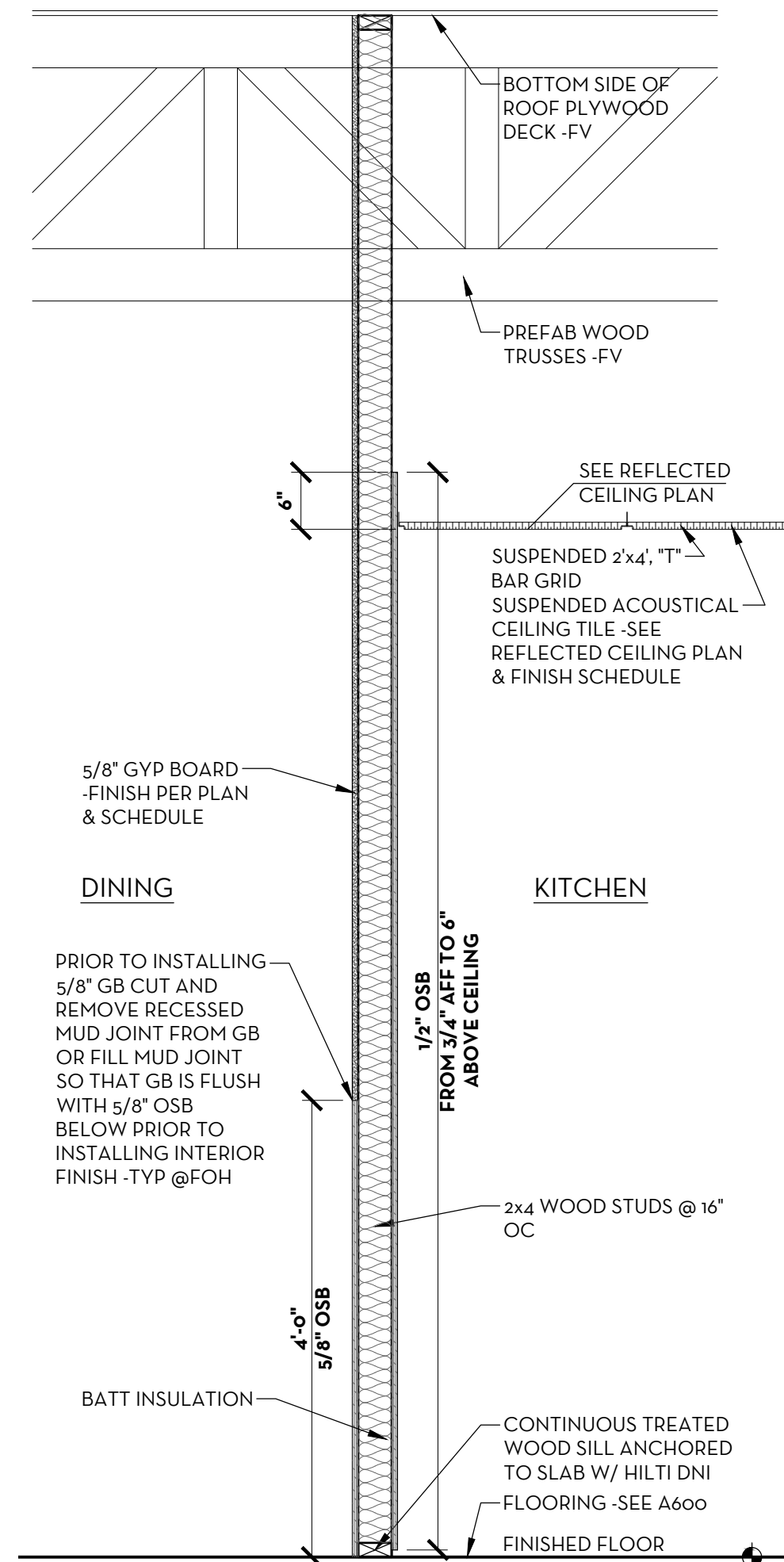
A305



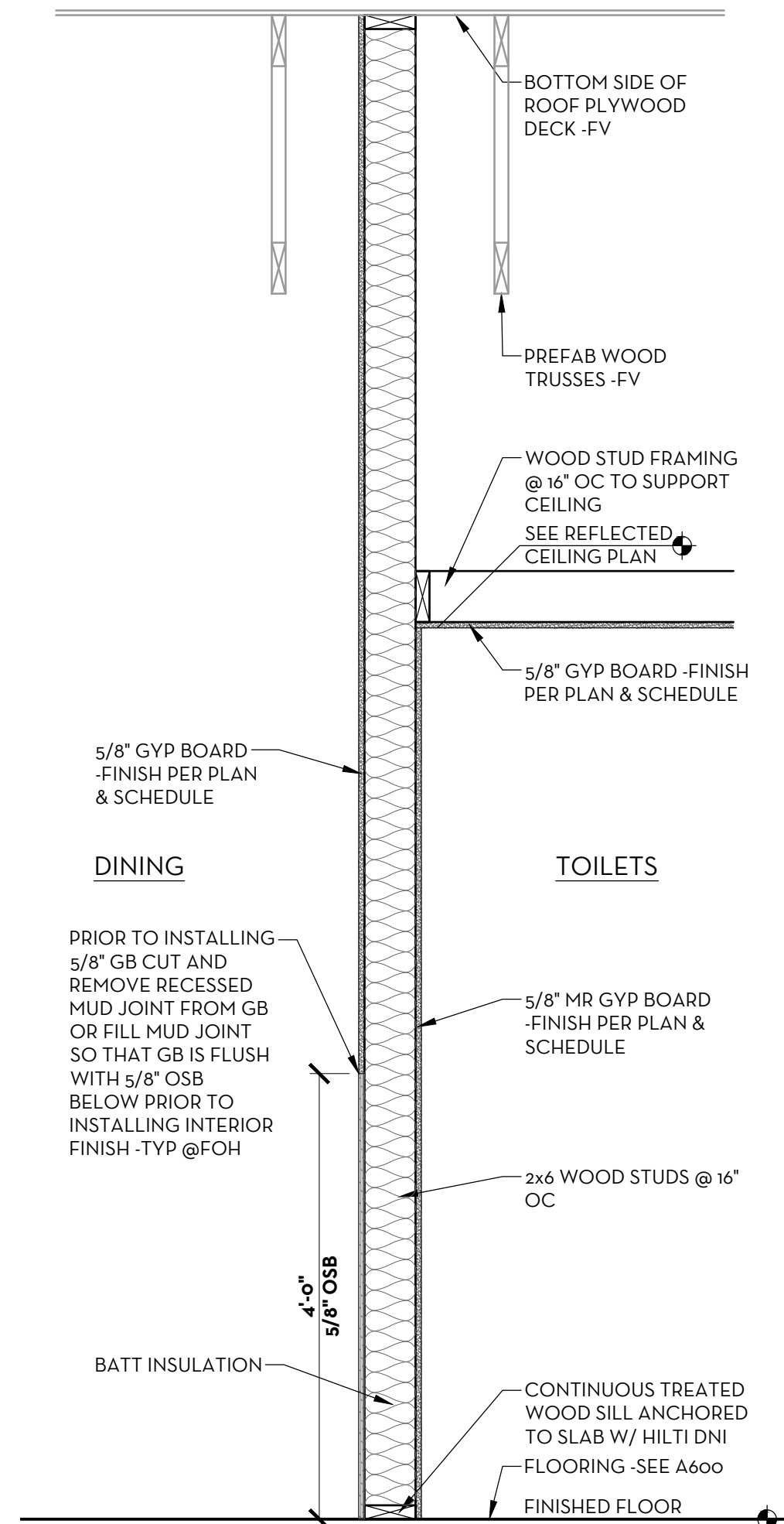
P1 WALL PARTITION
SCALE: 3/4" = 1'-0"



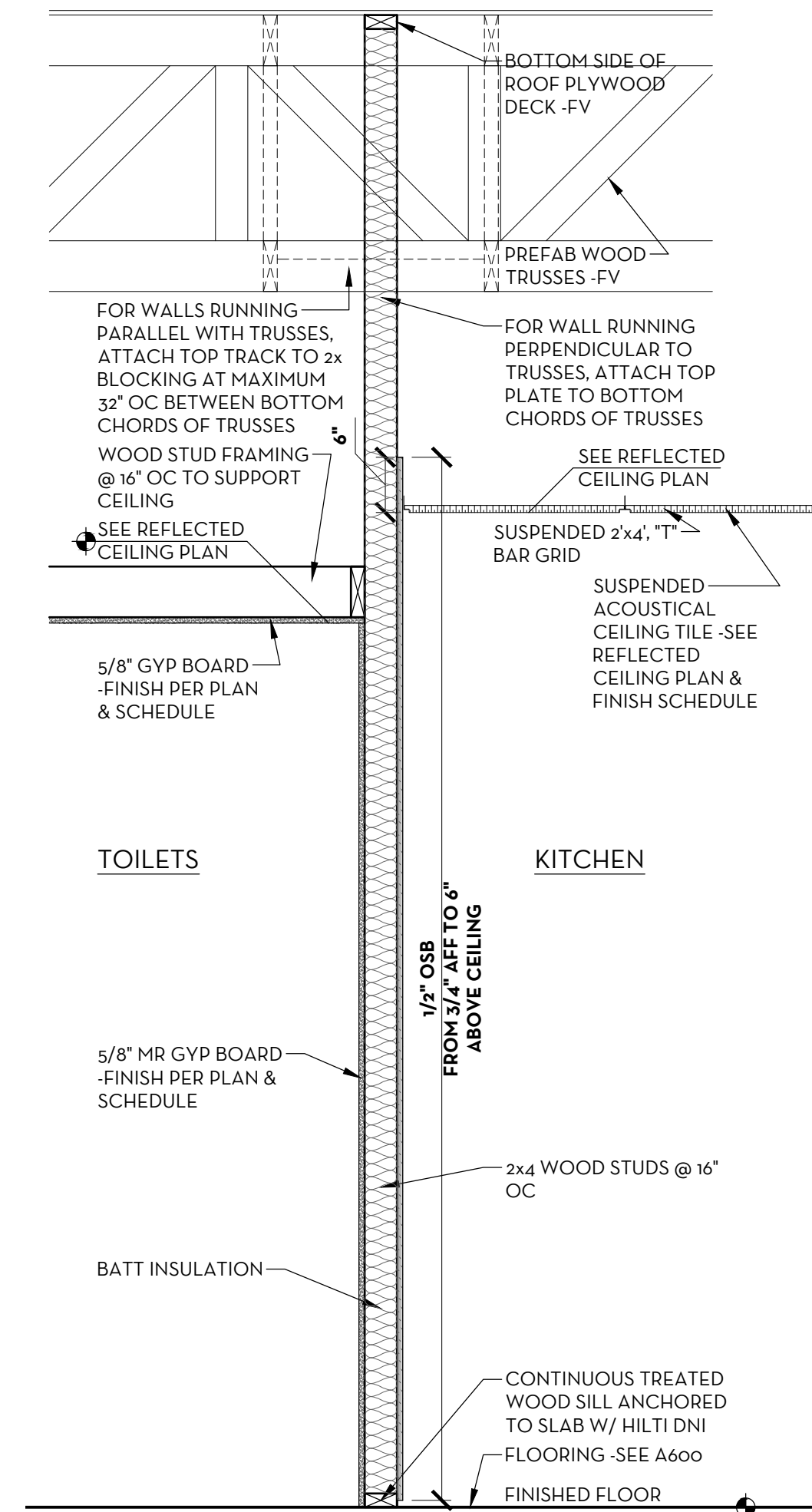
P2 WALL PARTITION
SCALE: 3/4" = 1'-0"



P3 WALL PARTITION
SCALE: 3/4" = 1'-0"



P4 WALL PARTITION
SCALE: 3/4" = 1'-0"



P5 WALL PARTITION
SCALE: 3/4" = 1'-0"

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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
WALL PARTITIONS

DRAWING

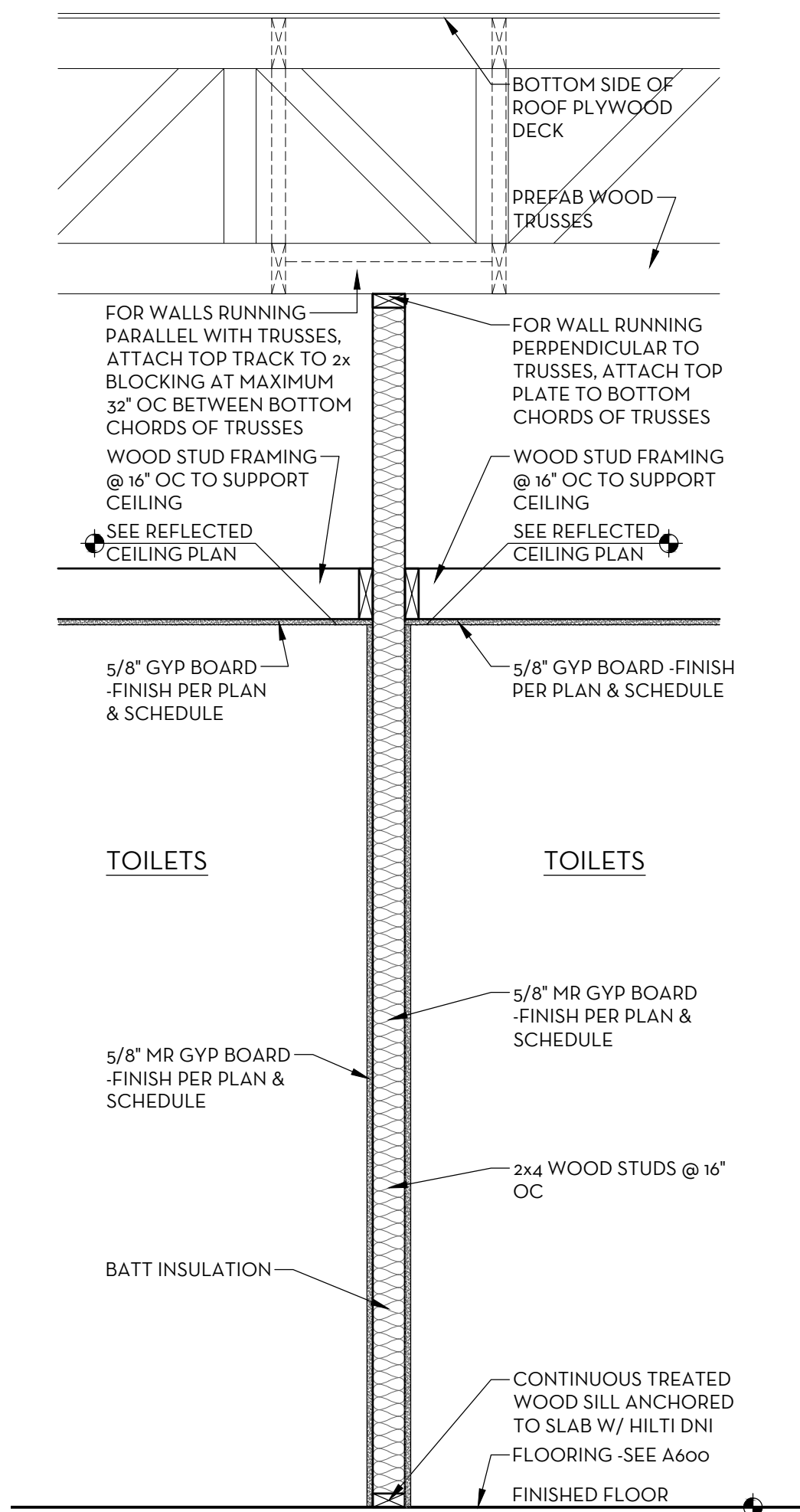
A306

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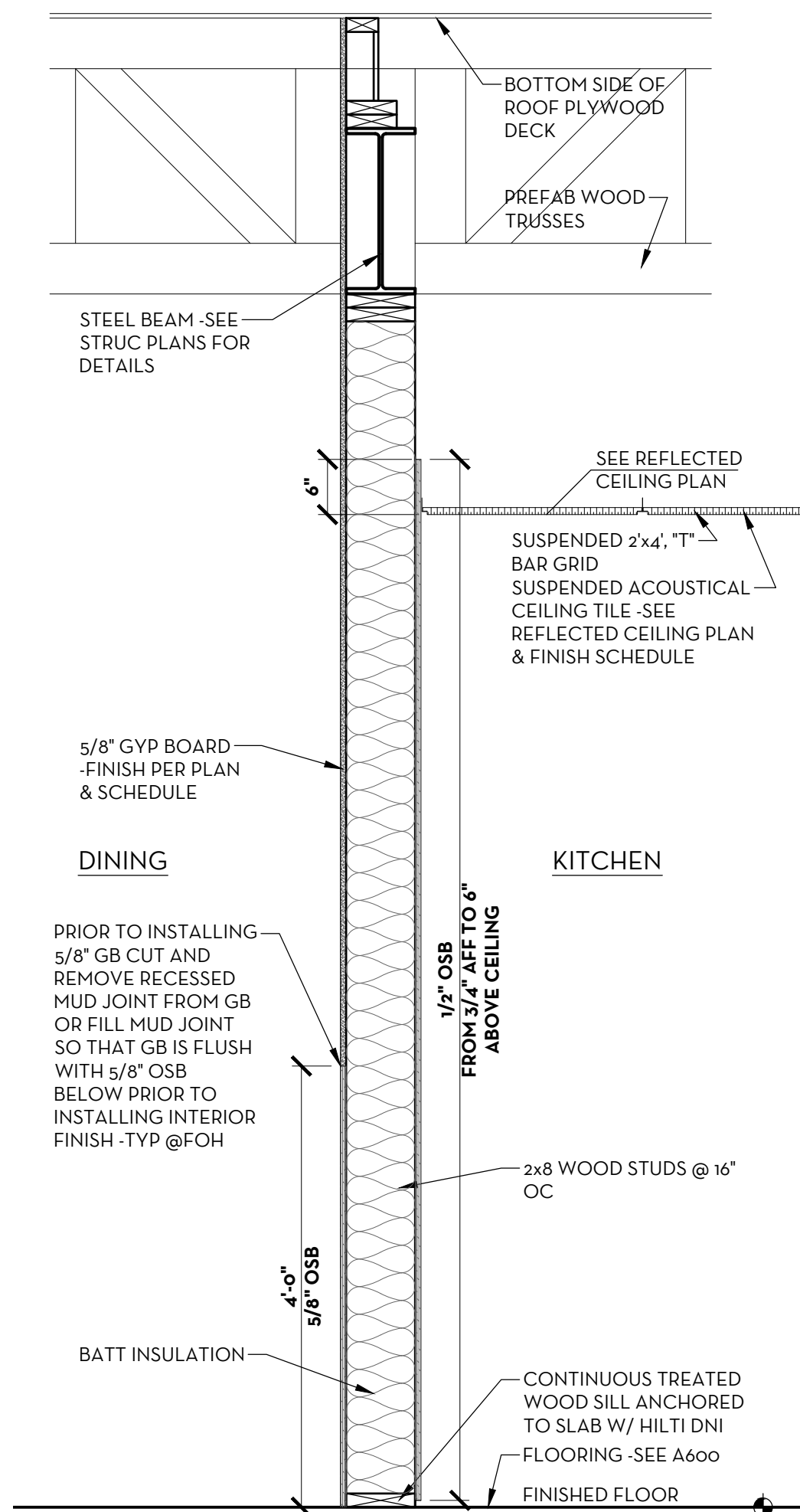


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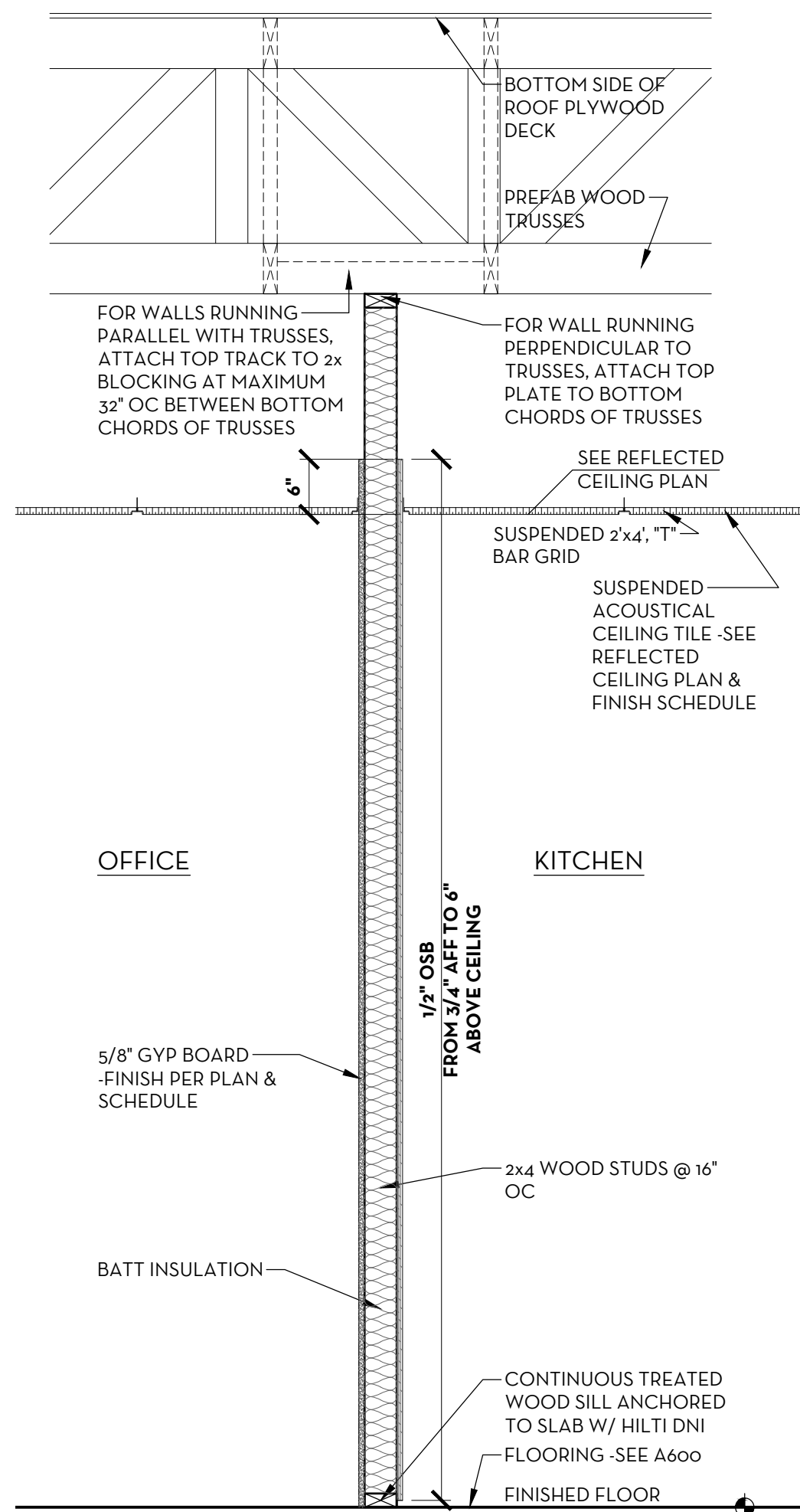
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JOB NO: 17016



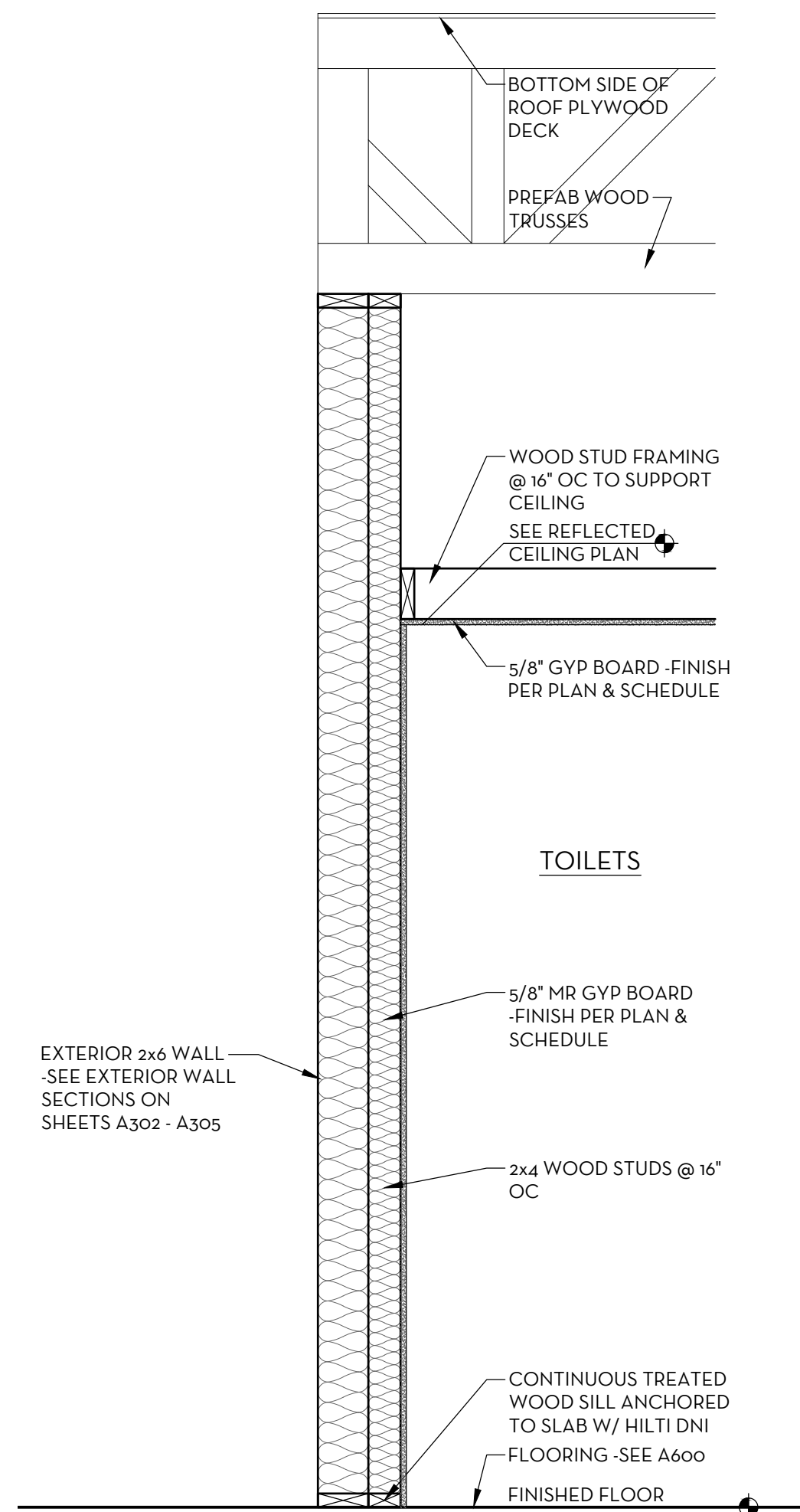
P6 WALL PARTITION
SCALE: 3/4" = 1'-0"



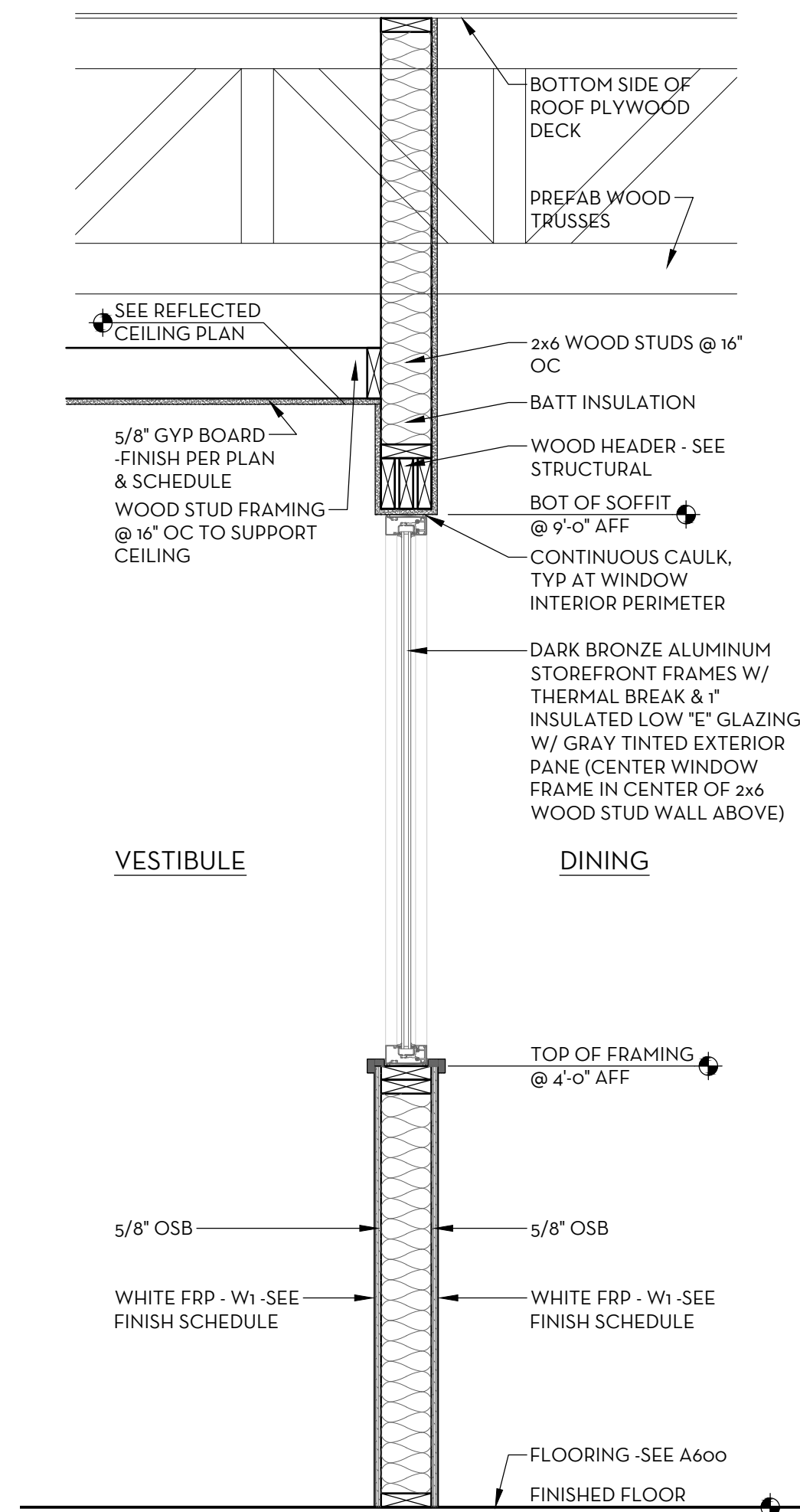
P7 WALL PARTITION
SCALE: 3/4" = 1'-0"



P8 WALL PARTITION
SCALE: 3/4" = 1'-0"



P9 WALL PARTITION
SCALE: 3/4" = 1'-0"

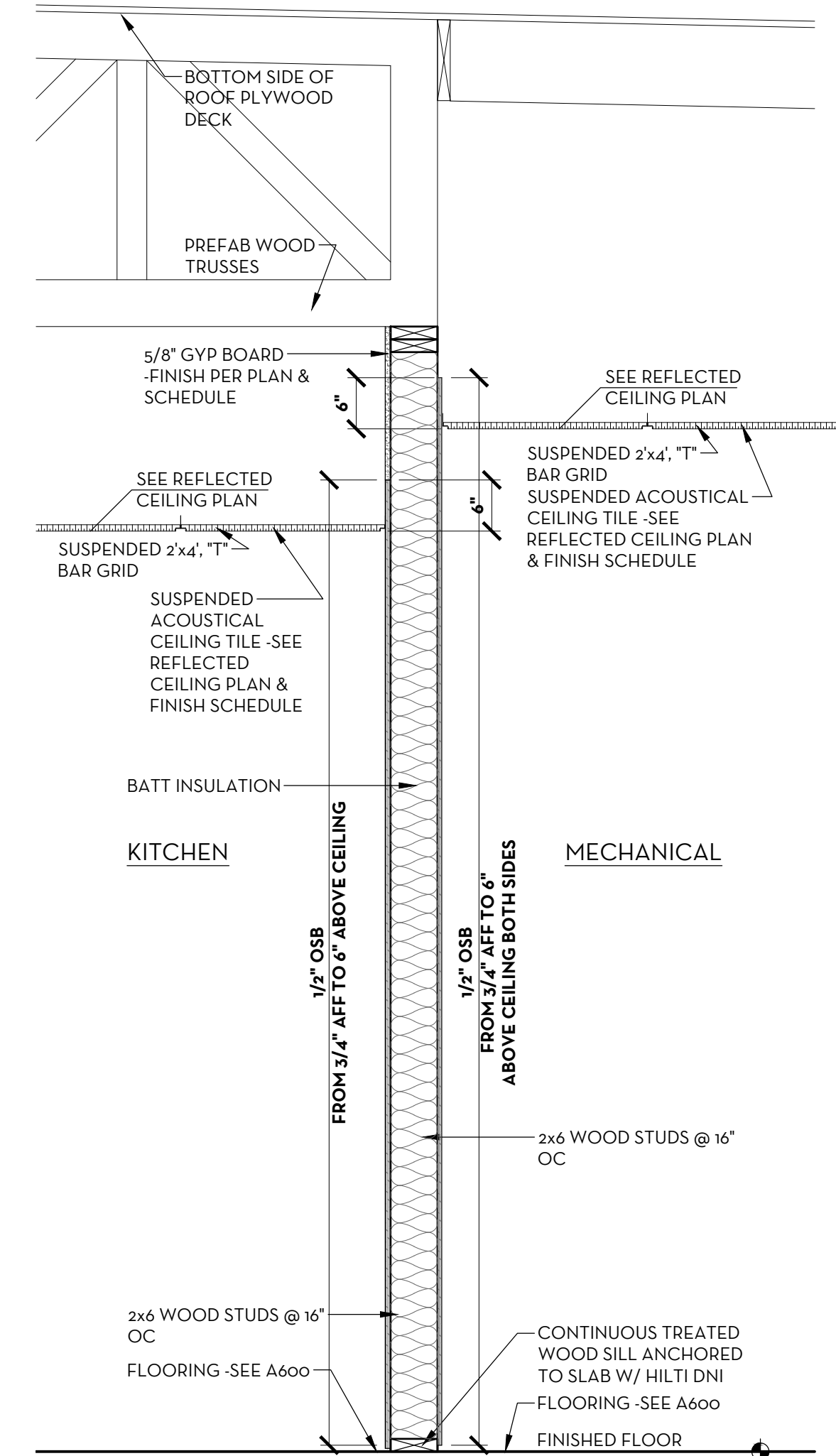
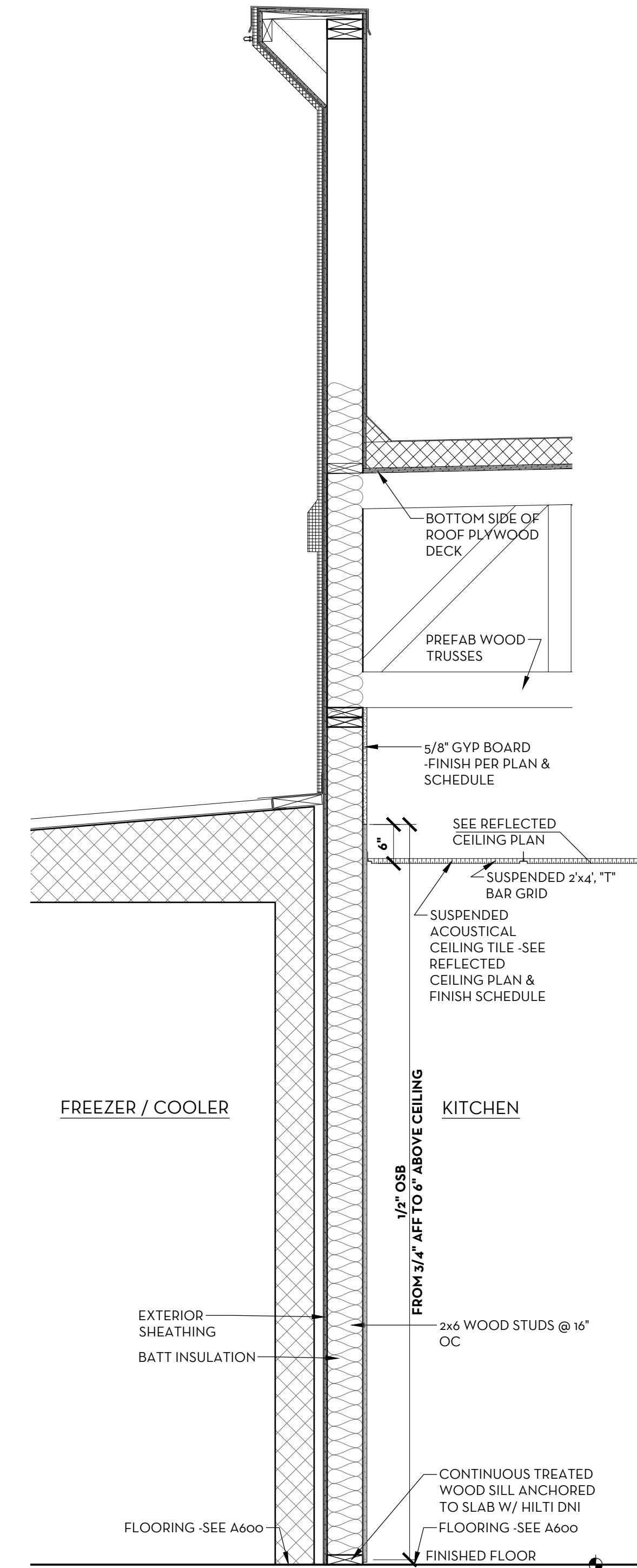
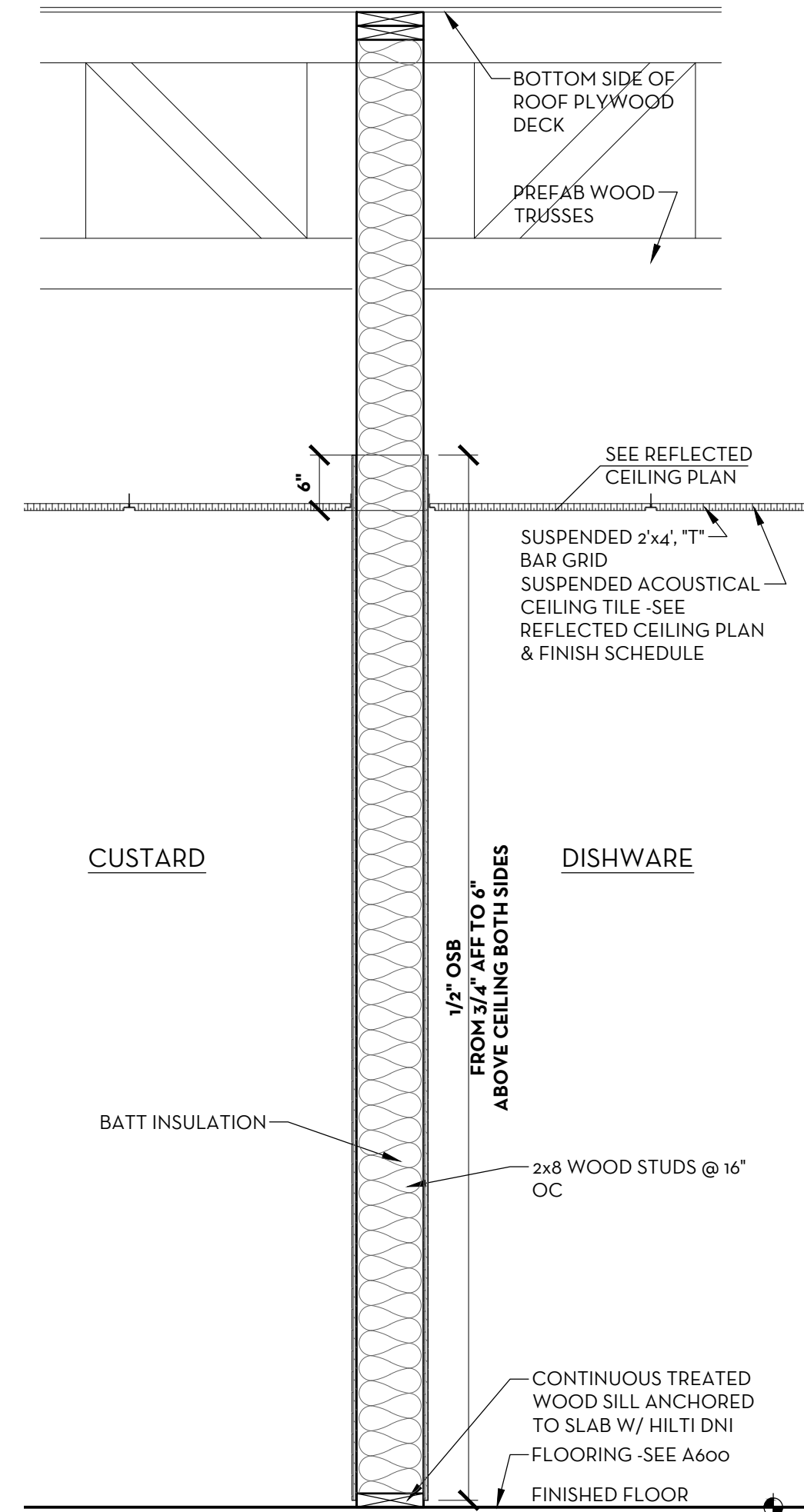
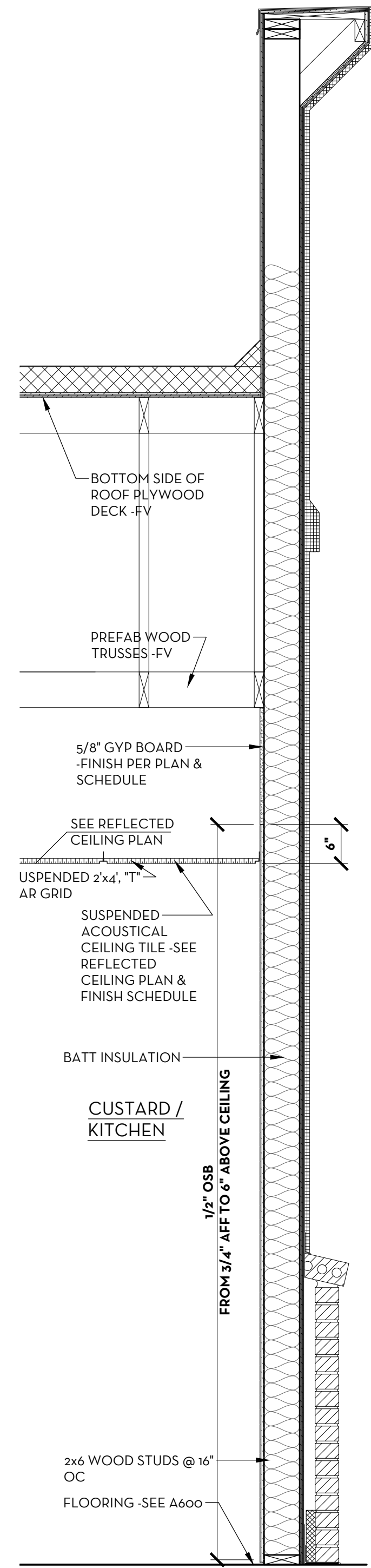
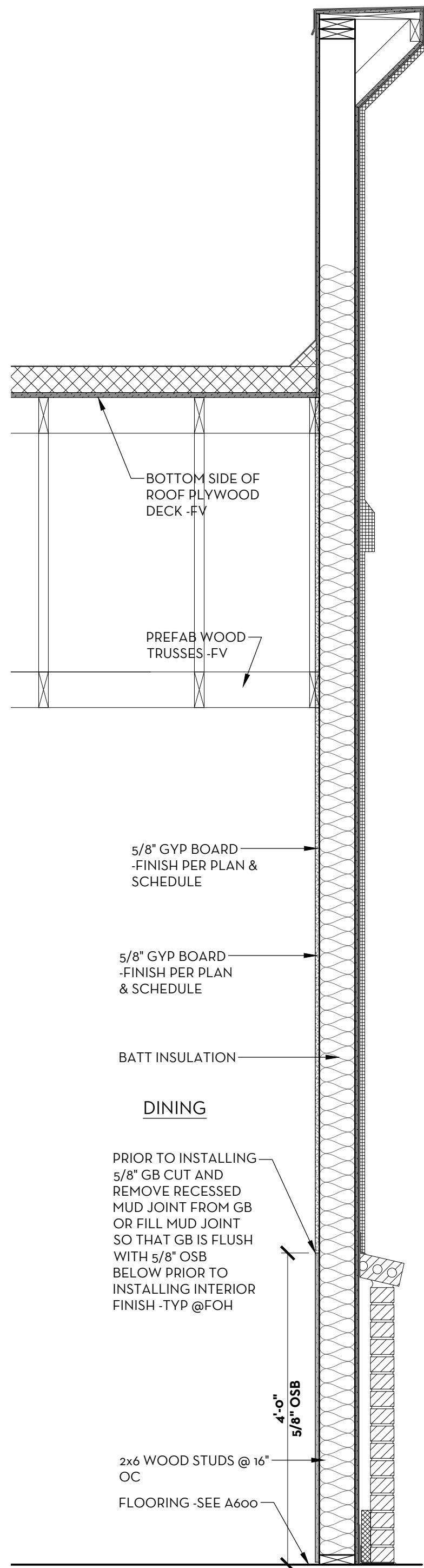


P10 WALL PARTITION
SCALE: 3/4" = 1'-0"

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
WALL PARTITIONS

DRAWING

A307



P11 WALL PARTITION
SCALE: 3/4" = 1'-0"

P12 WALL PARTITION
SCALE: 3/4" = 1'-0"

P13 WALL PARTITION
SCALE: 3/4" = 1'-0"

P14 WALL PARTITION
SCALE: 3/4" = 1'-0"

P15 WALL PARTITION
SCALE: 3/4" = 1'-0"

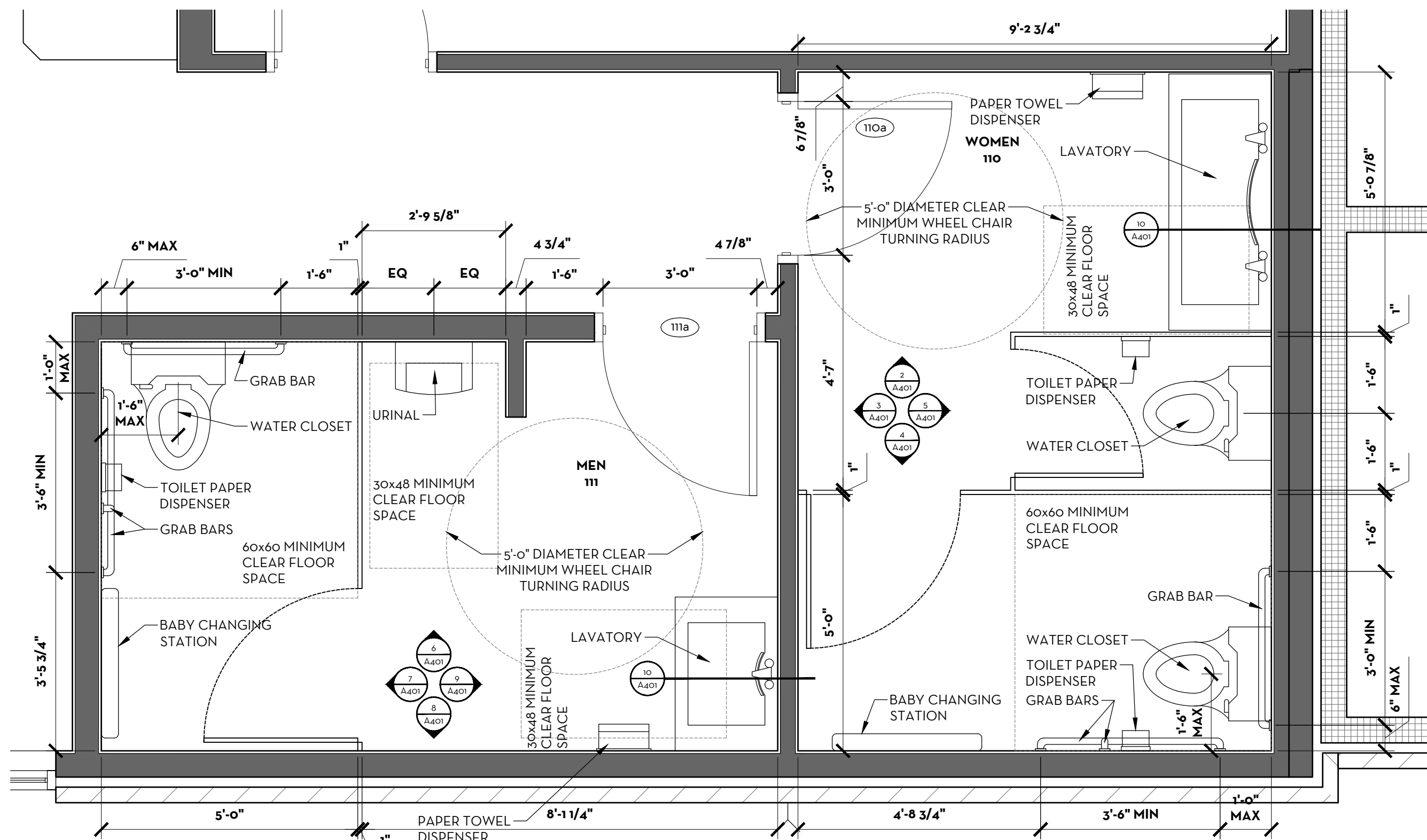
BAR IS ONE INCH ON
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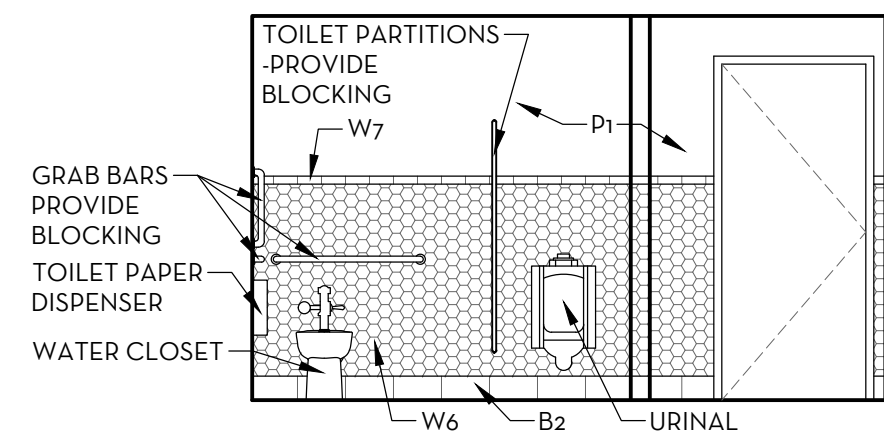
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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
WALL PARTITIONS

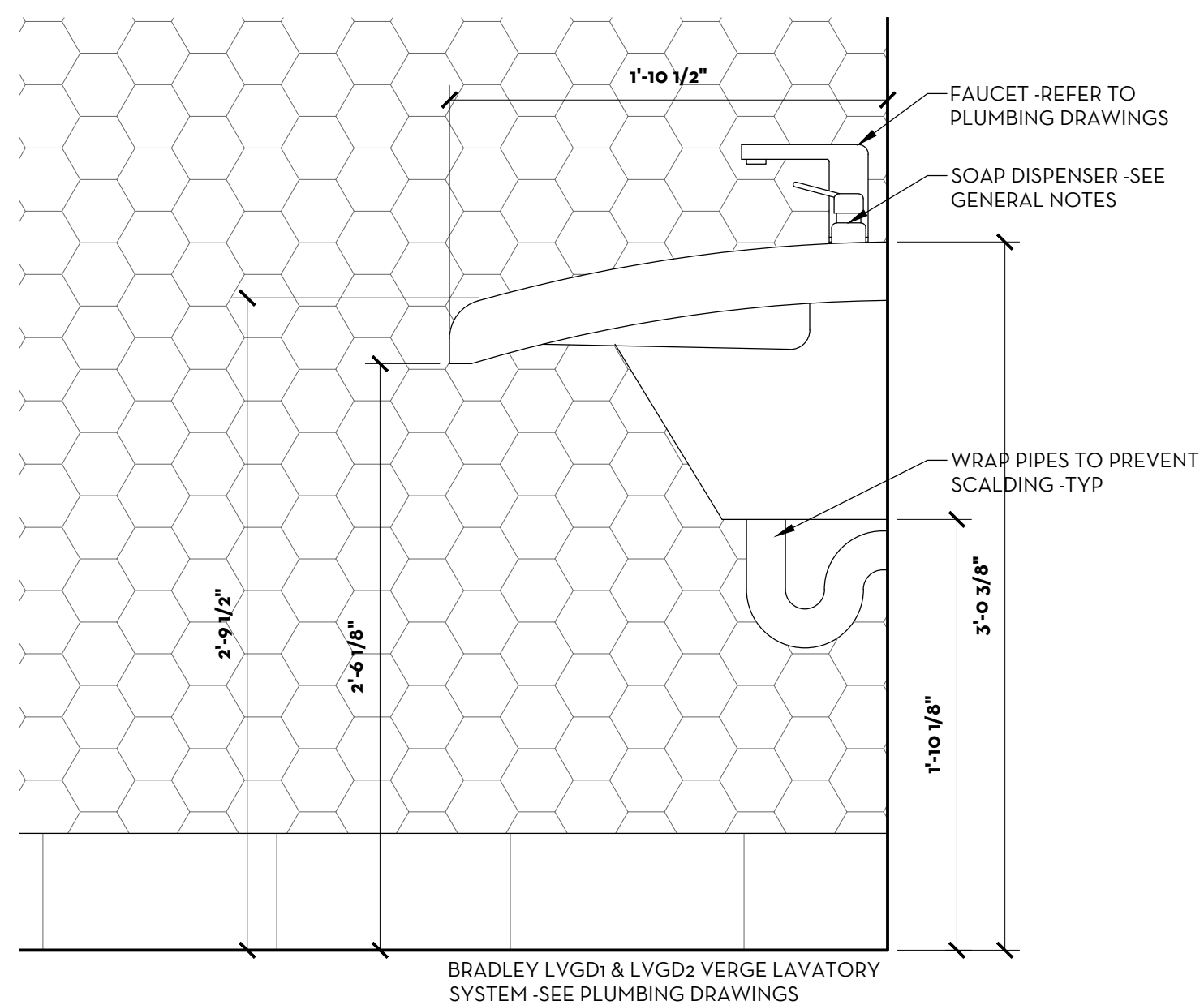
DRAWING
A308



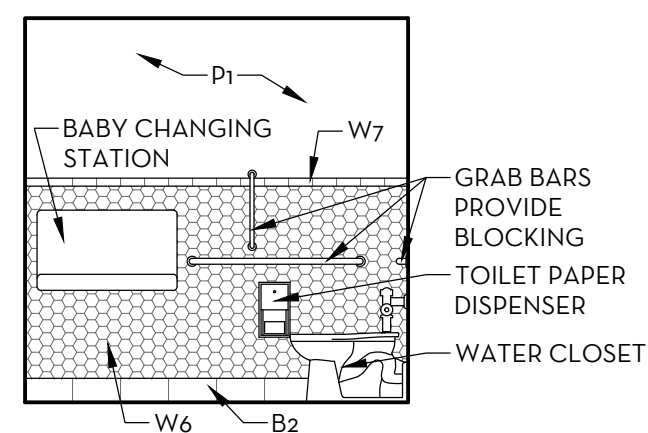
1 ENLARGED RESTROOM PLAN
SCALE: 1/2" = 1'-0"



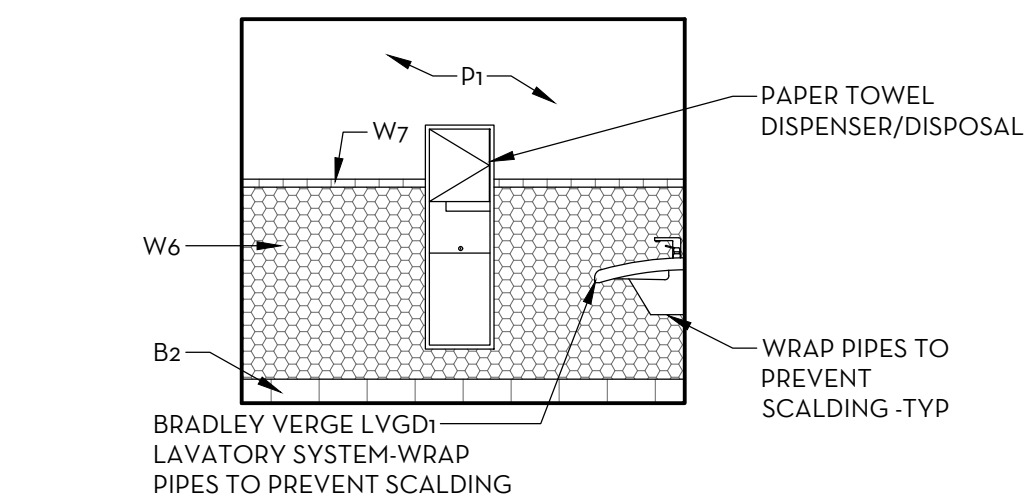
6 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"



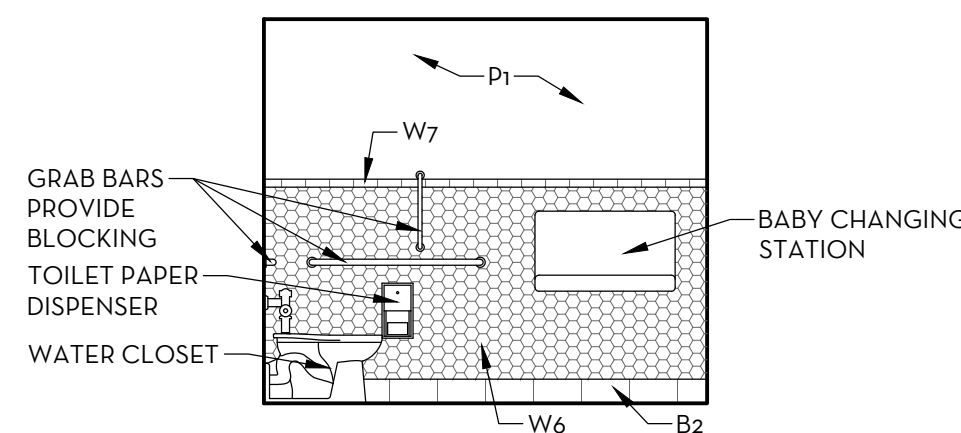
10 VANITY DETAIL
SCALE: 1 1/2" = 1'-0"



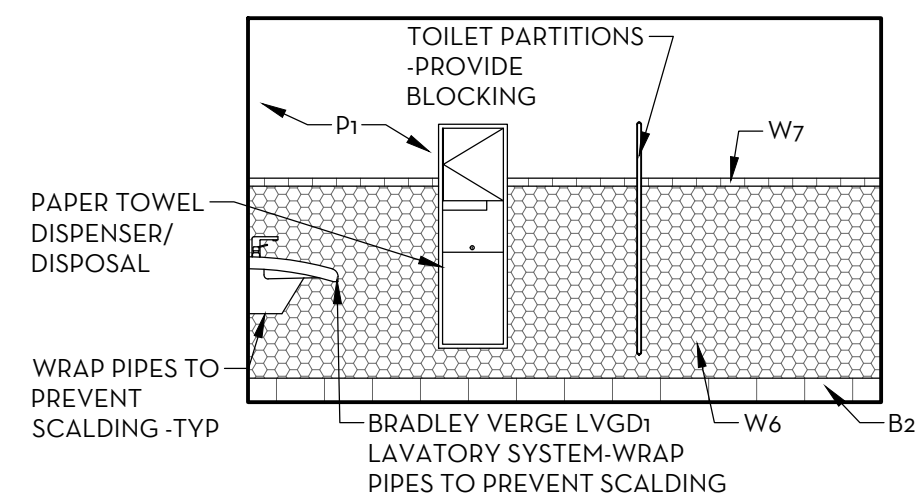
7 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"



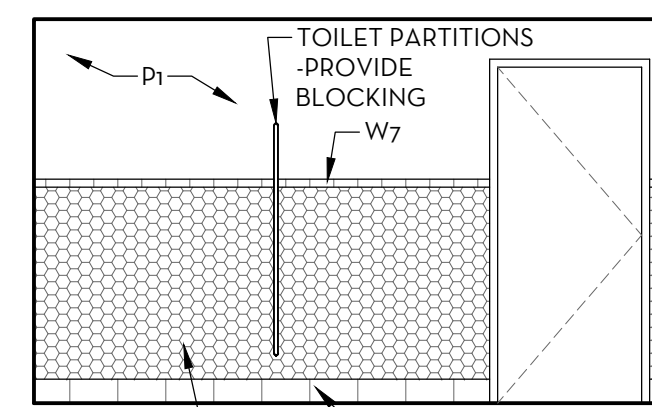
2 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



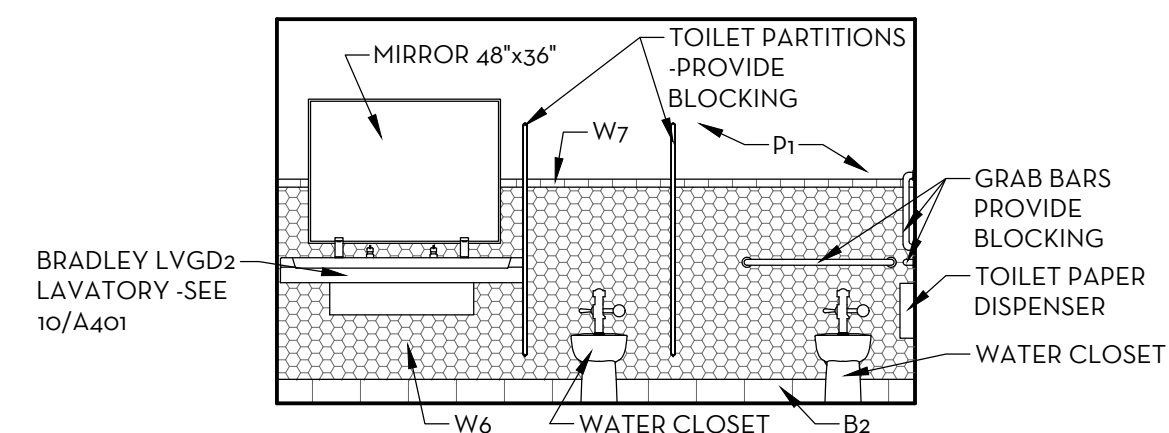
4 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



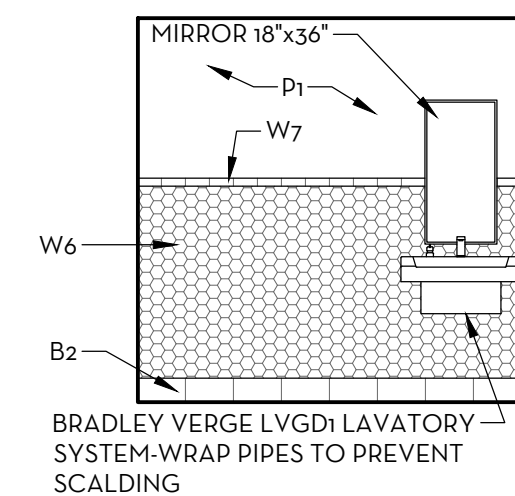
8 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"



3 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



5 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



9 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. TOILET PARTITIONS TO BE 'METPAR TYPE FP-500' BRAND OR EQUAL -OVERHEAD BRACED, BONDERIZED, GALVANIZED TEXTURED STEEL WITH 5SM DIAMOND PATTERN- INCLUDE ALL LATCHES, COAT HOOKS, & DOOR BUMPERS & OTHER NECESSARY HARDWARE FOR A COMPLETE INSTALLATION. HARDWARE FINISH TO BE POLISHED CHROME PLATED
2. ALL TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS ARE FURNISHED BY OWNER & INSTALLED BY GENERAL CONTRACTOR. TRASH RECEPTACLE TO BE FURNISHED BY GENERAL CONTRACTOR & INSTALLED BY GENERAL CONTRACTOR
3. ALL TOILET ROOM MIRRORS TO BE 1/4" POLISHED PLATE MIRROR W/ A STAINLESS STEEL FRAME
4. SEE SHEET G001 FOR RESTROOM ACCESSORIES MOUNTING HEIGHTS & CLEARANCES
5. SEE SHEET A600 FOR FINISH SCHEDULE

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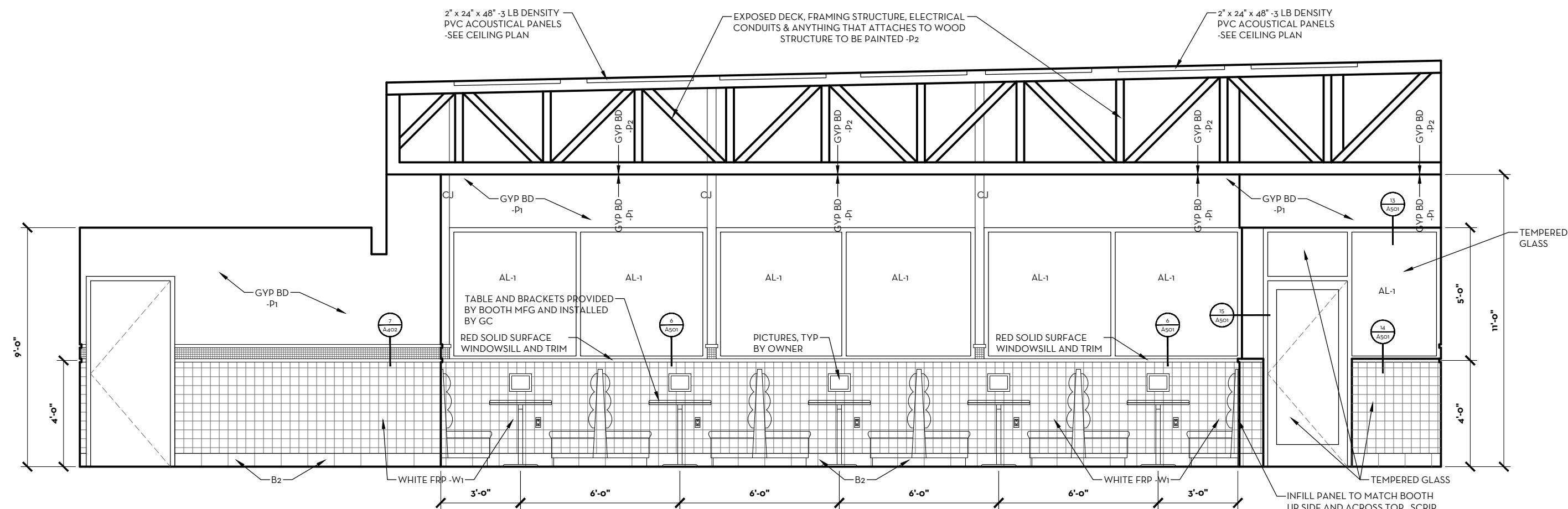
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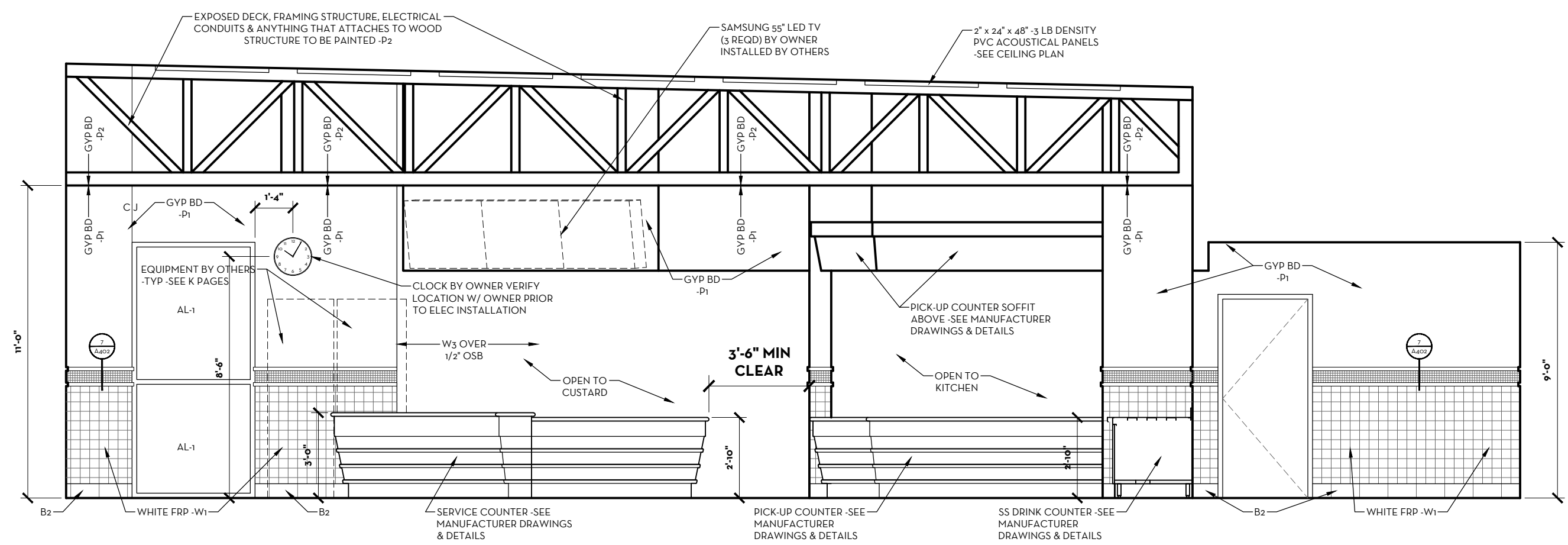
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
ENLARGED RESTROOM PLAN & ELEVATIONS

DRAWING

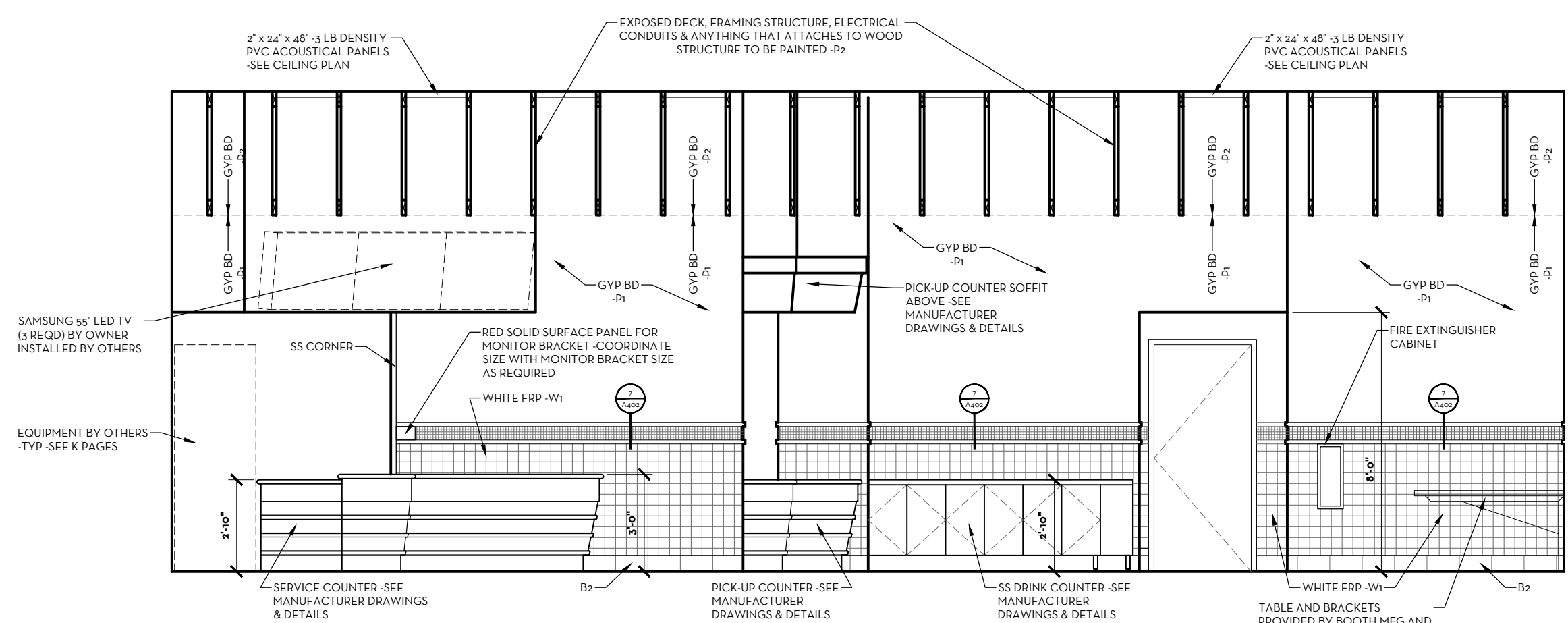
A401



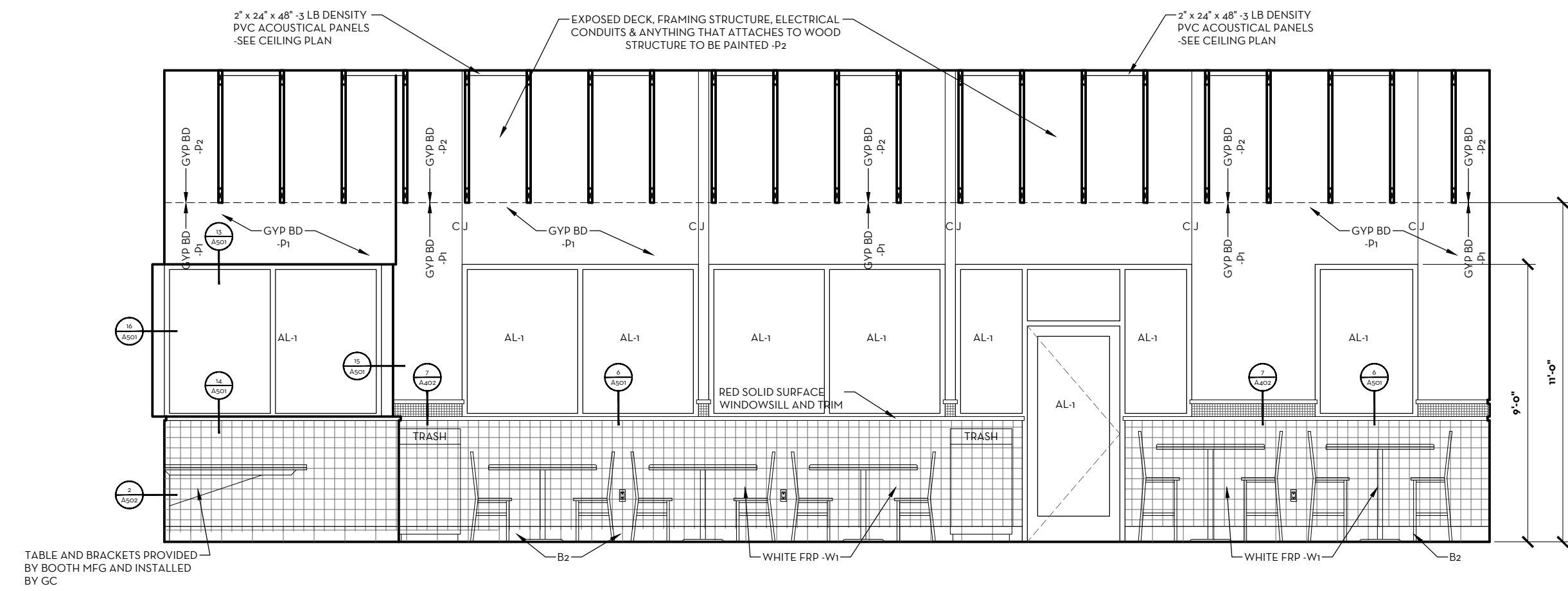
1 INTERIOR ELEVATION - DINING
SCALE: 1/4" = 1'-0"



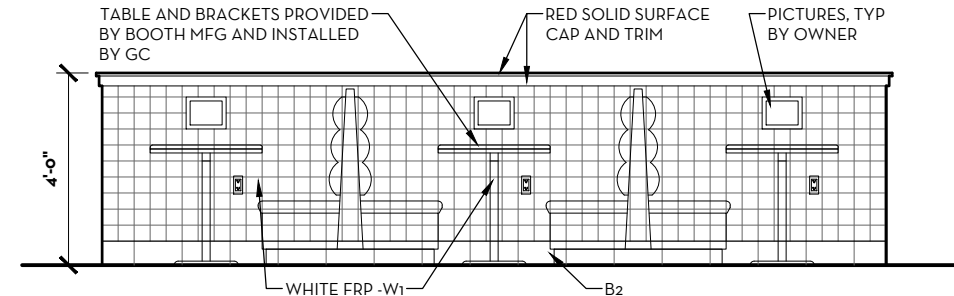
3 INTERIOR ELEVATION - SERVICE/PICK-UP/DRINK COUNTER
SCALE: 1/4" = 1'-0"



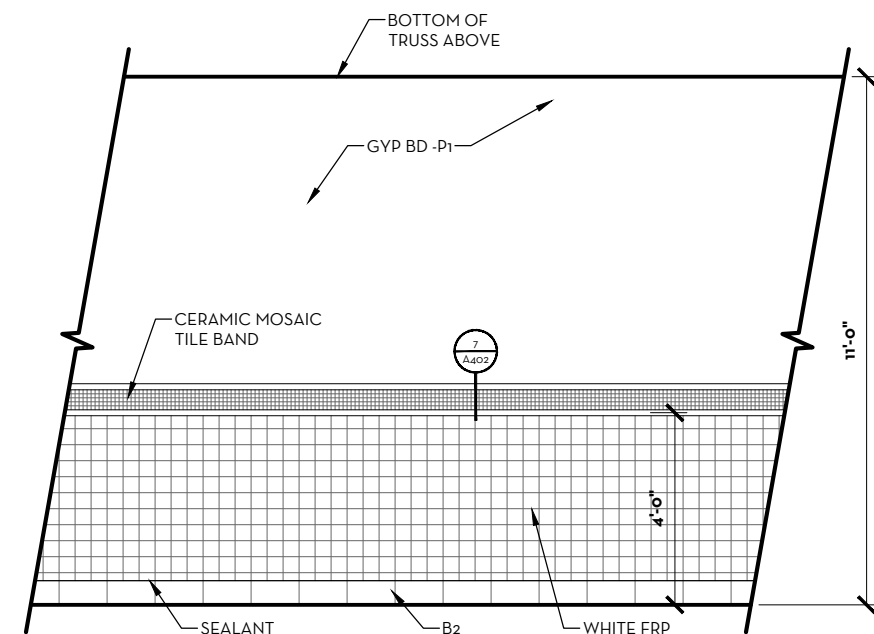
4 INTERIOR ELEVATION - SERVICE/PICK-UP/DRINK COUNTER
SCALE: 1/4" = 1'-0"



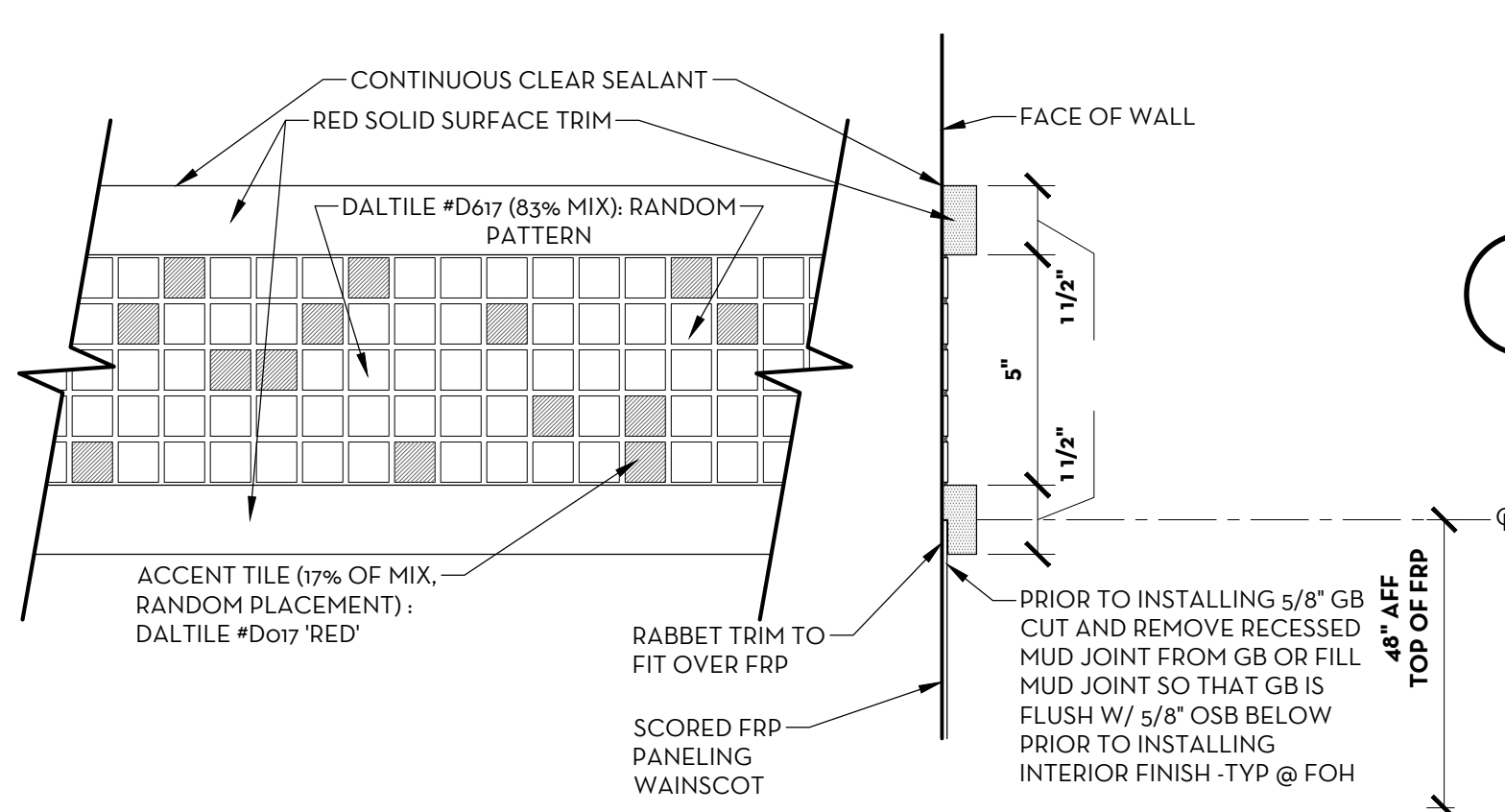
2 INTERIOR ELEVATION - DINING
SCALE: 1/4" = 1'-0"



5 INTERIOR ELEVATION - DINING
SCALE: 1/4" = 1'-0"



6 TYPICAL DINING ROOM WALL
SCALE: 1/4" = 1'-0"

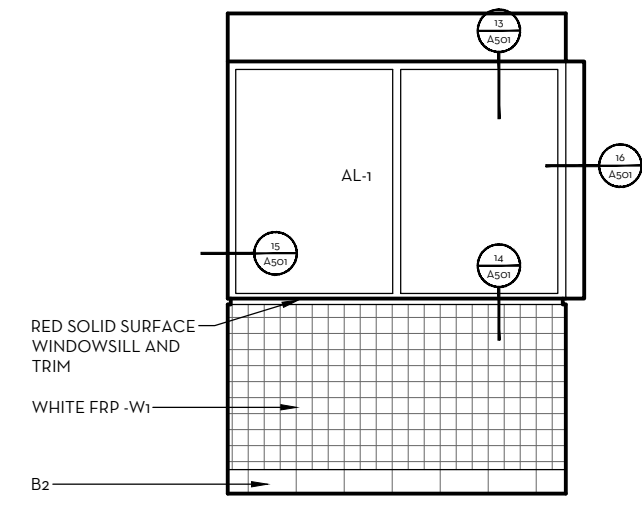


7 TILE BAND DETAIL
SCALE: 3" = 1'-0"

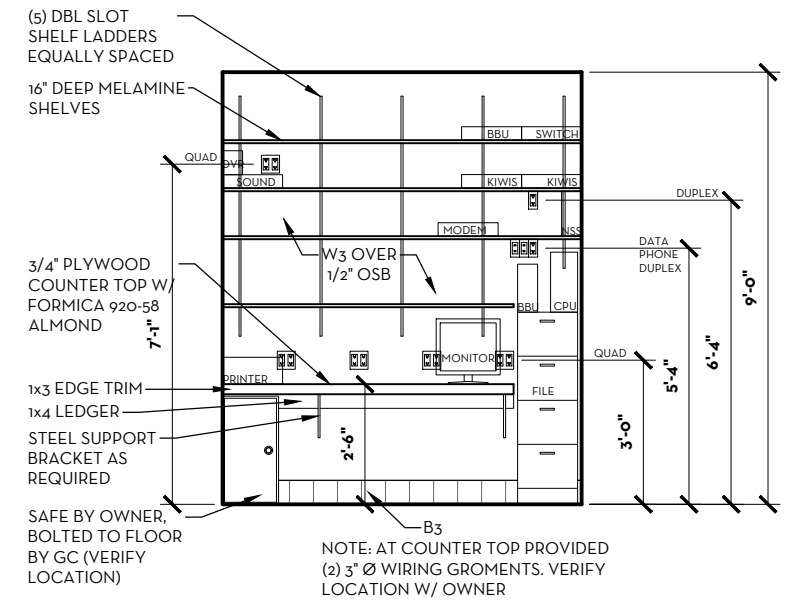
GENERAL NOTES:

1. CONTINUOUS BEAD OF WHITE CAULK AT ALL FRP JOINTS. CONTINUOUS BEAD OF WHITE CAULK ALONG BASE OF ALL FRP
2. INSTALL TOP OF LIGHT SWITCHES & ELECTRICAL RECEPTACLES 1" BELOW BOTTOM OF 1x2 WOOD TRIM
3. SEE SHEETS K1, K2 & E1 FOR ALL EQUIPMENT ELECTRICAL OUTLET LOCATIONS & HEIGHTS ABOVE FINISH FLOOR
4. EXPOSED DECK, FRAMING STRUCTURE, STIFF ELECTRICAL CONDUITS & ANYTHING THAT ATTACHES TO WOOD STRUCTURE TO BE PAINTED
5. SERVE / PICK-UP / DRINK COUNTER SUPPLIED & INSTALLED BY WOOTEN. CABINET SUPPLIER TO COORDINATE DIMENSIONS & SCHEDULE W/ GENERAL CONTRACTOR
6. SEE SHEET A600 FOR FINISH SCHEDULE

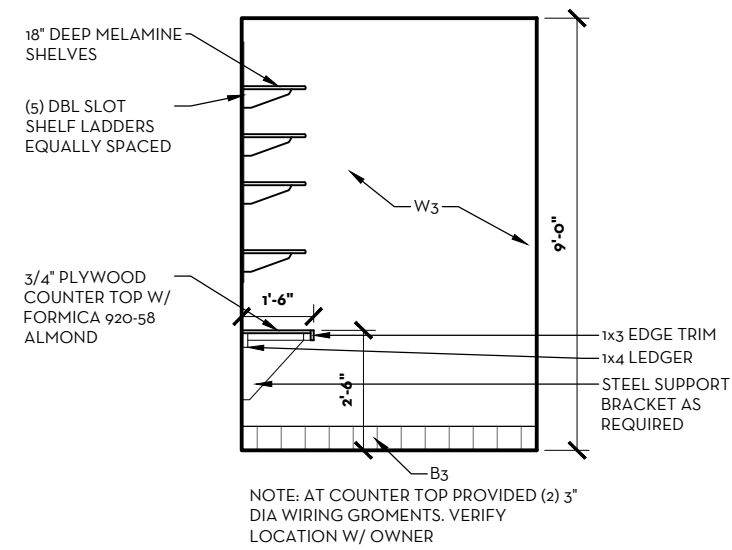
8 INTERIOR ELEVATION - VESTIBULE 100
SCALE: 1/4" = 1'-0"



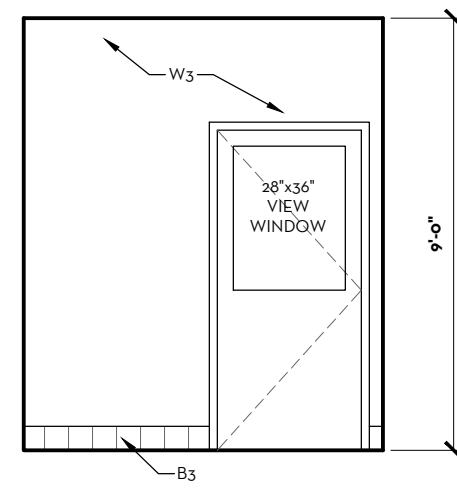
9 INTERIOR ELEVATION - VESTIBULE 100
SCALE: 1/4" = 1'-0"



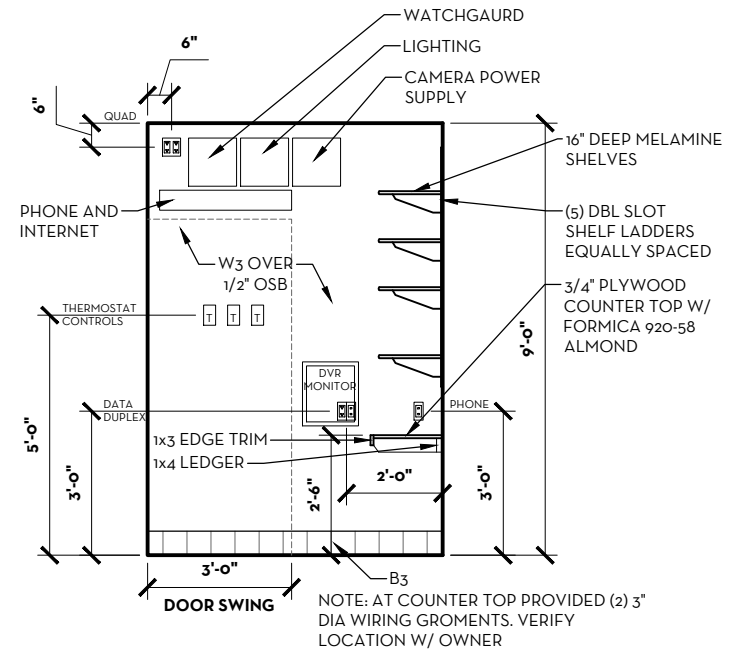
1 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



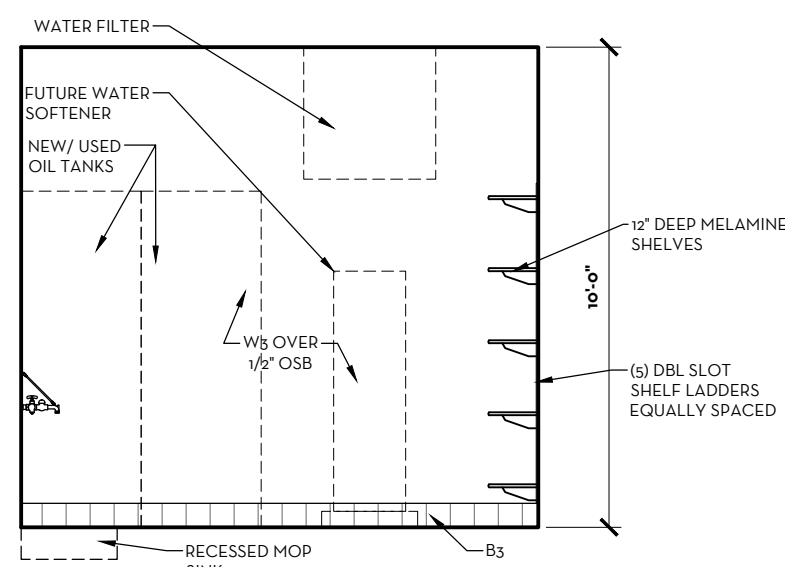
2 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



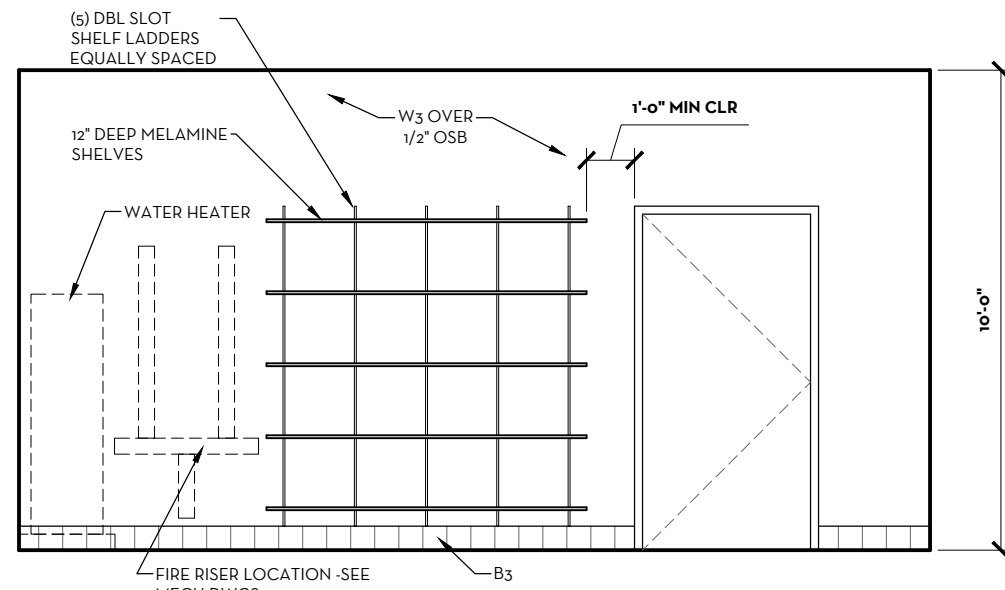
3 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



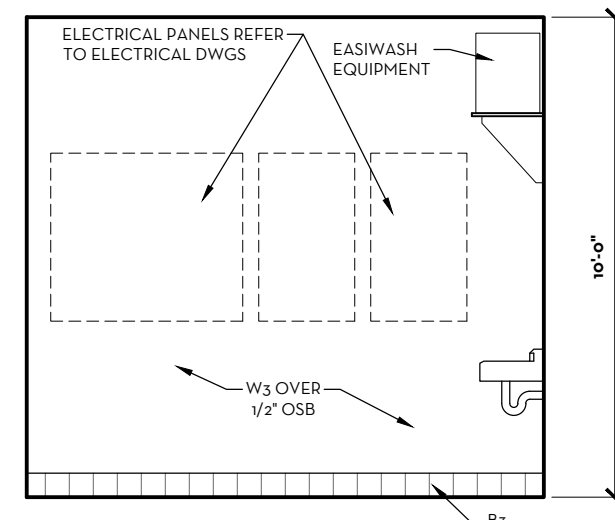
4 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



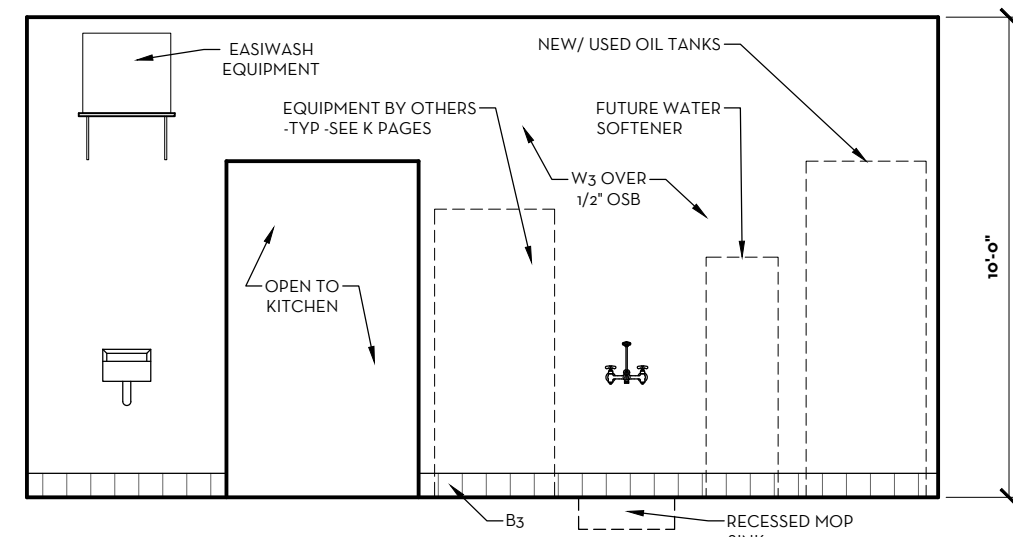
5 INTERIOR ELEVATION -MECHANICAL
SCALE: 1/4" = 1'-0"



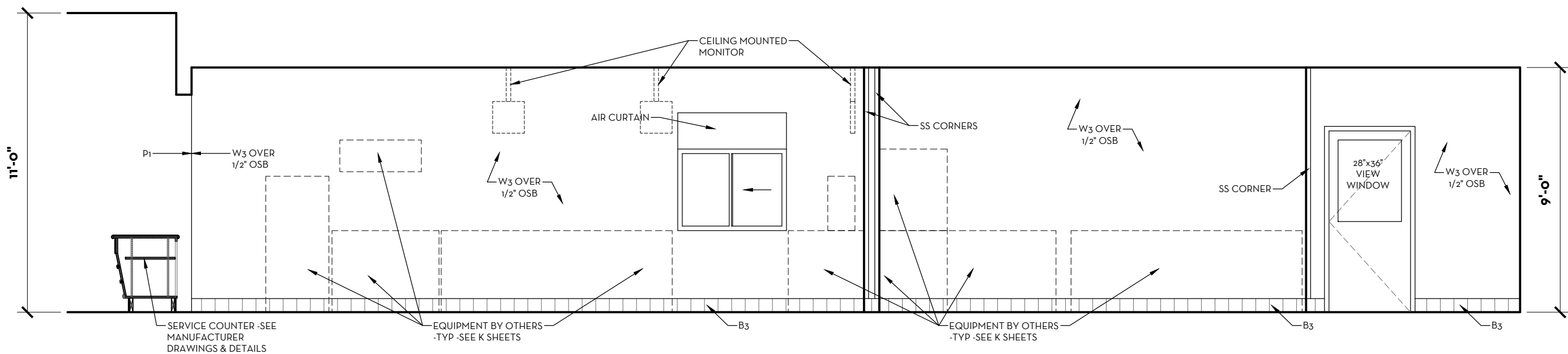
6 INTERIOR ELEVATION -MECHANICAL
SCALE: 1/4" = 1'-0"



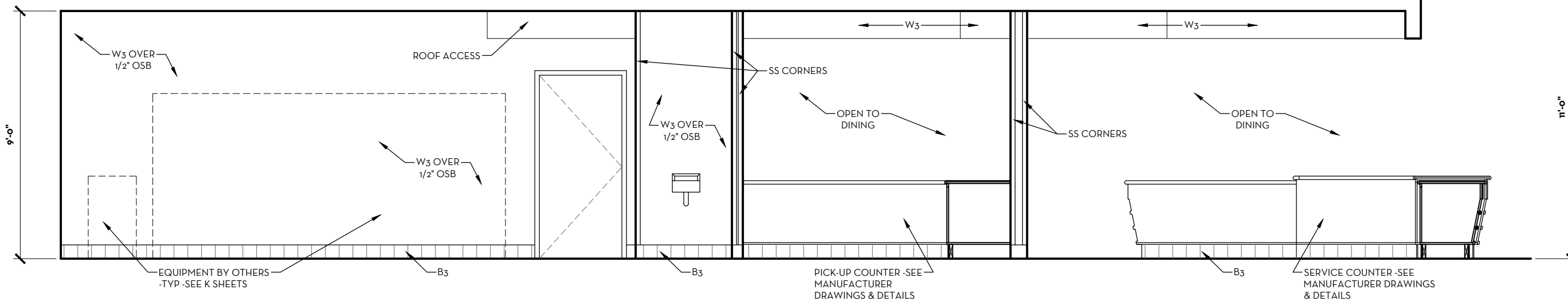
7 INTERIOR ELEVATION -MECHNAICAL
SCALE: 1/4" = 1'-0"



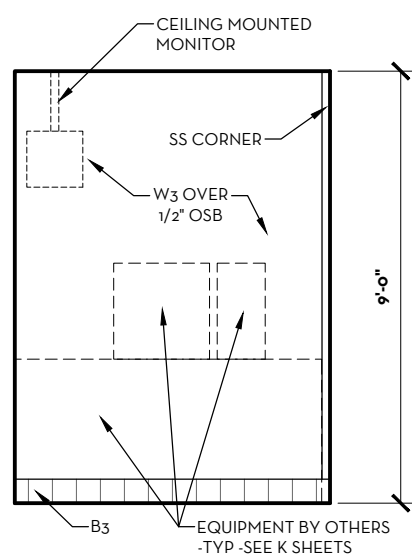
8 INTERIOR ELEVATION -MECHANICAL
SCALE: 1/4" = 1'-0"



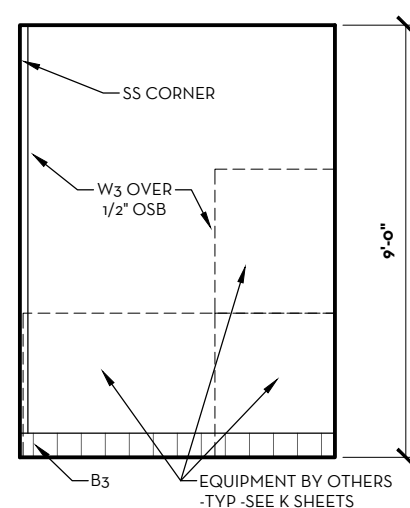
9 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



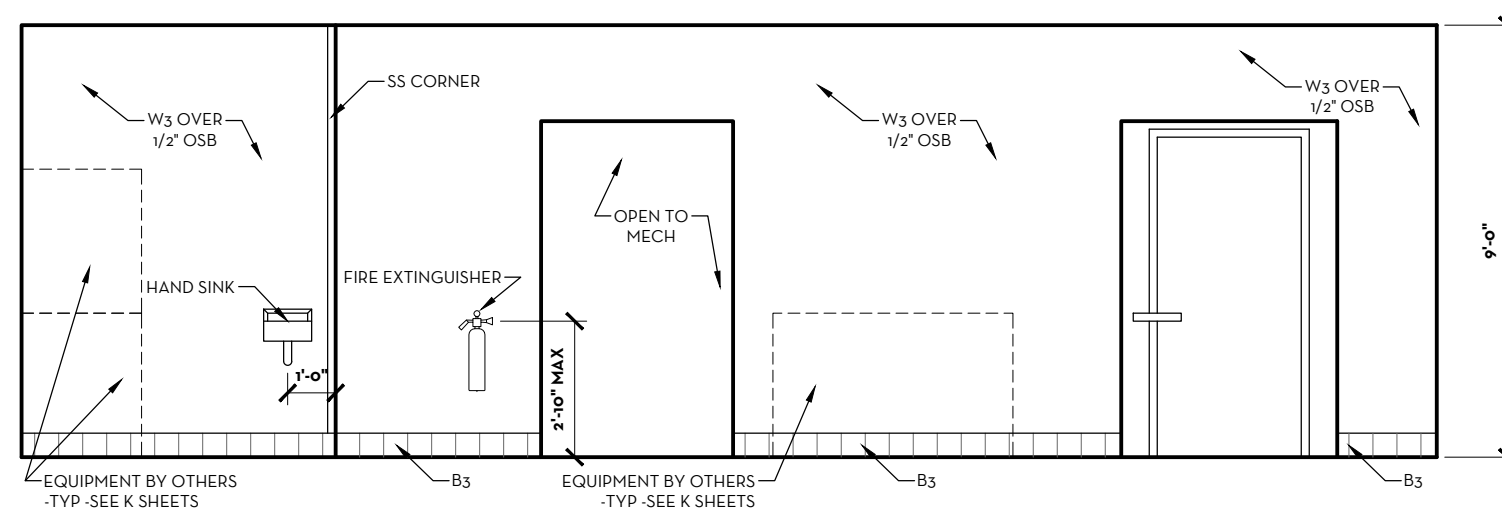
10 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



11 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



12 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



13 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
INTERIOR ELEVATIONS

DRAWING

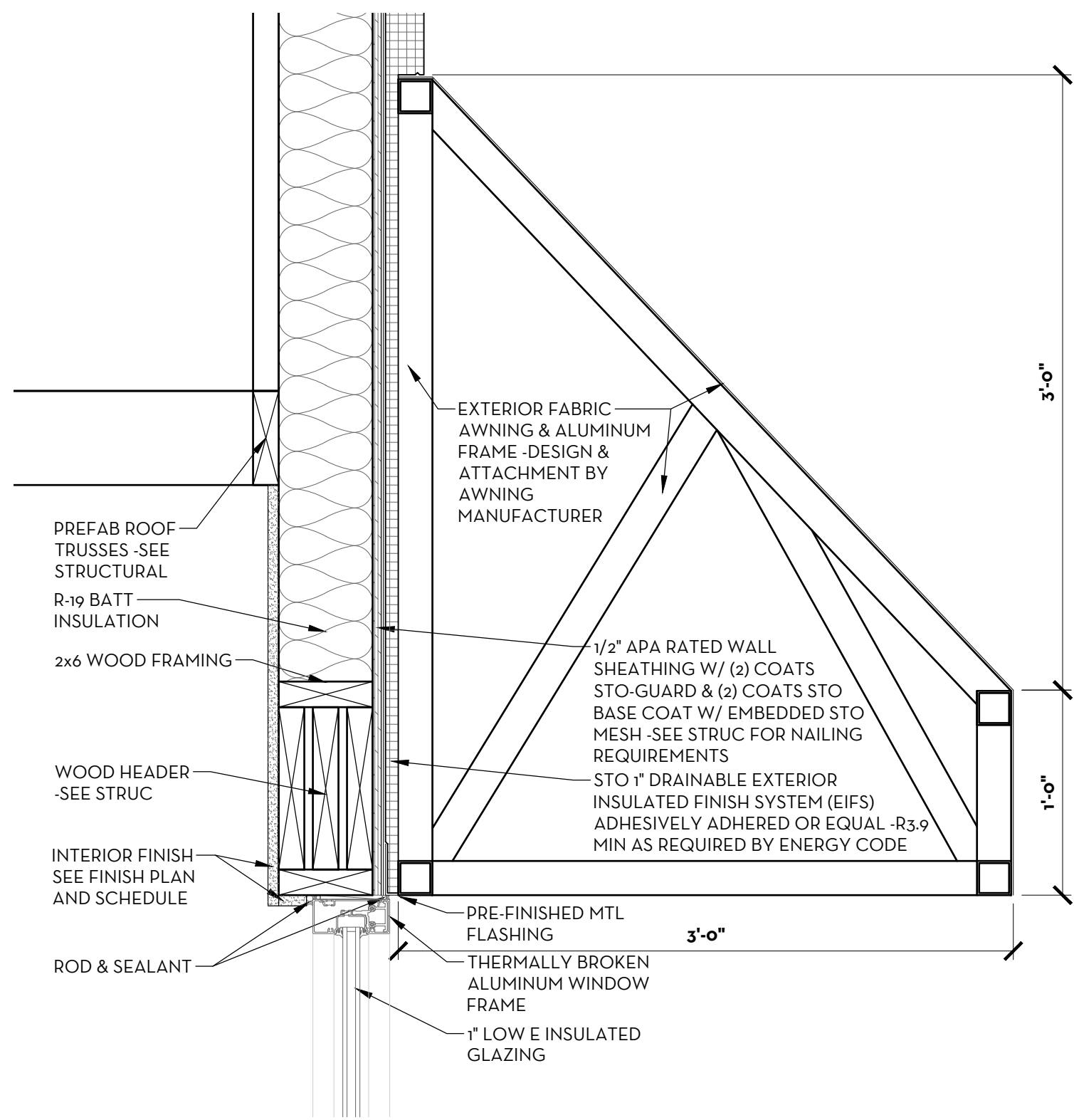
A403



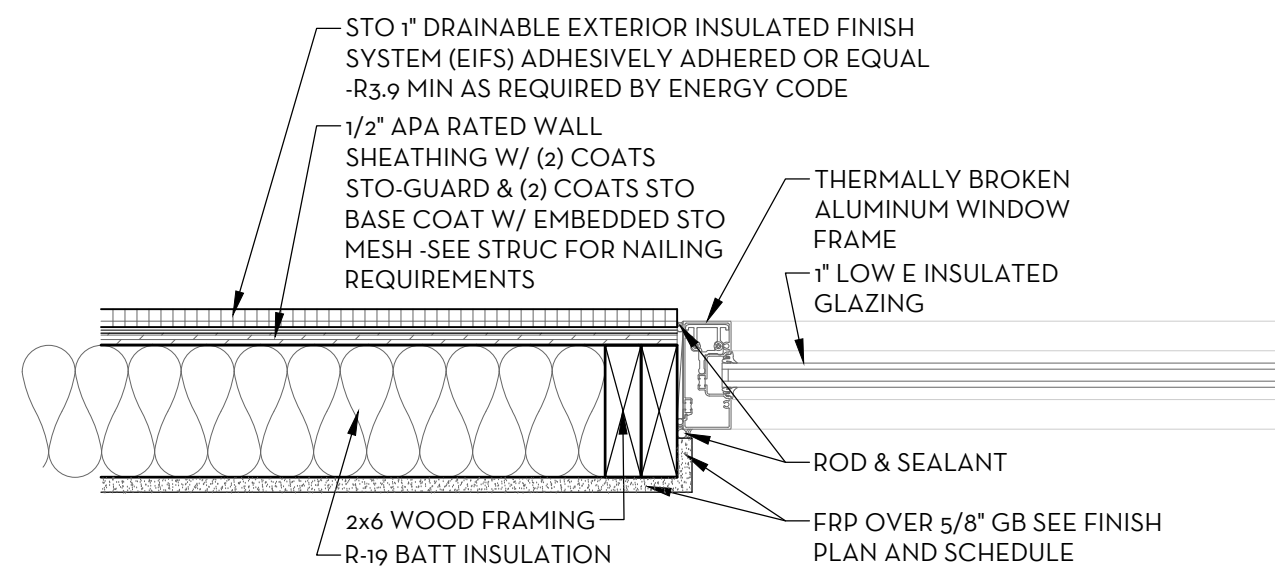
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
INTERIOR ELEVATIONS & ENLARGED PLAN

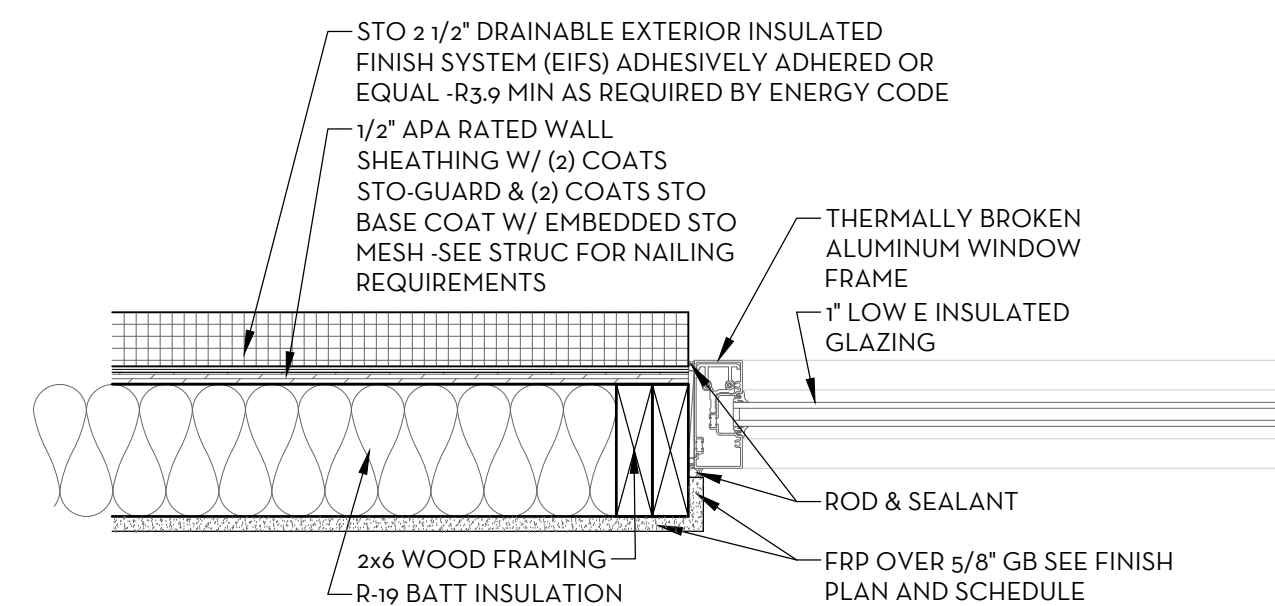
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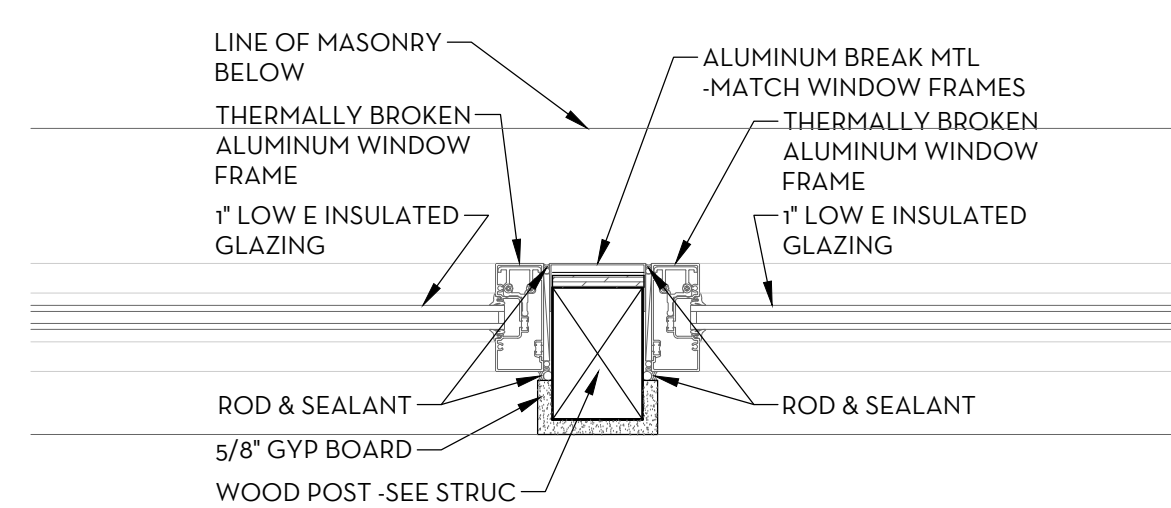
1 ALUMINUM WINDOW HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



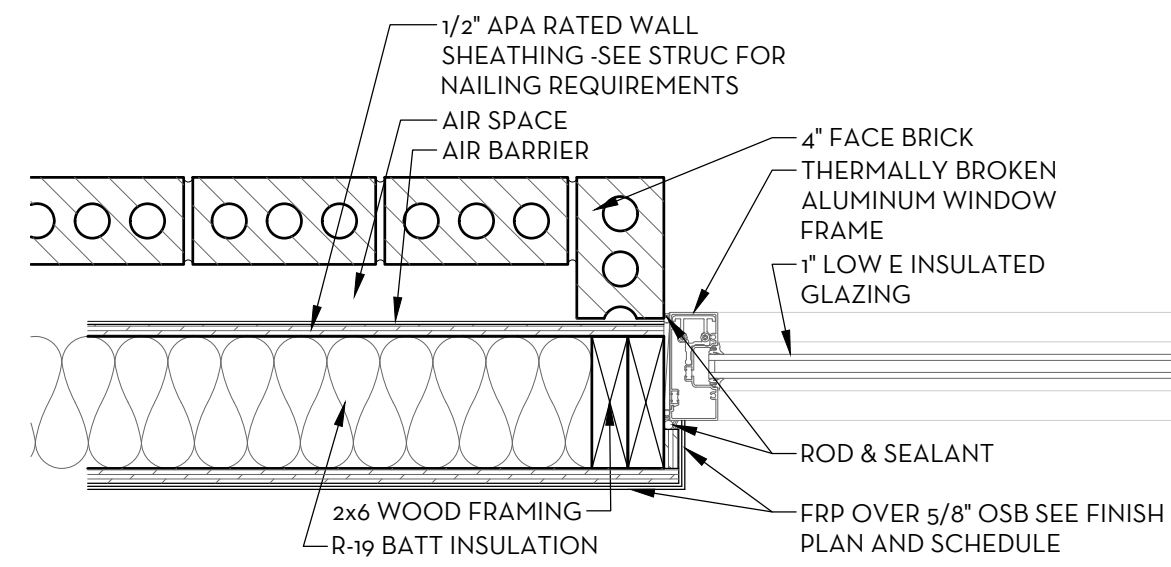
2 ALUMINUM WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



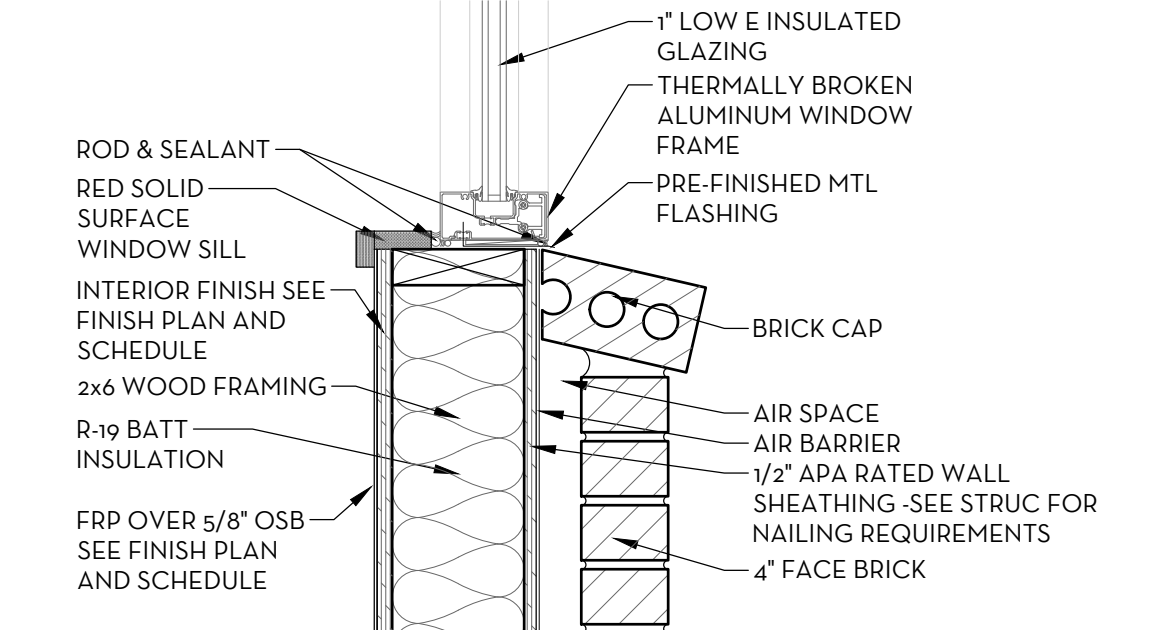
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SCALE: 1 1/2" = 1'-0"



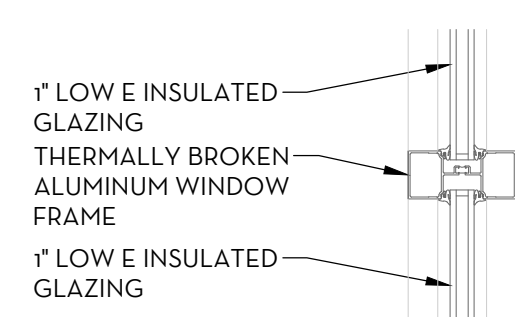
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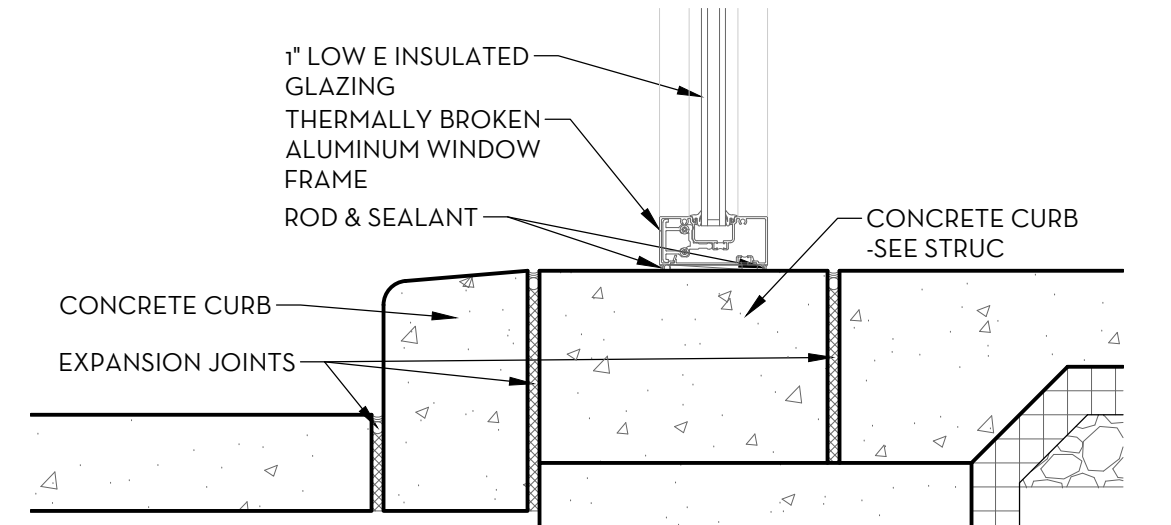
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SCALE: 1 1/2" = 1'-0"



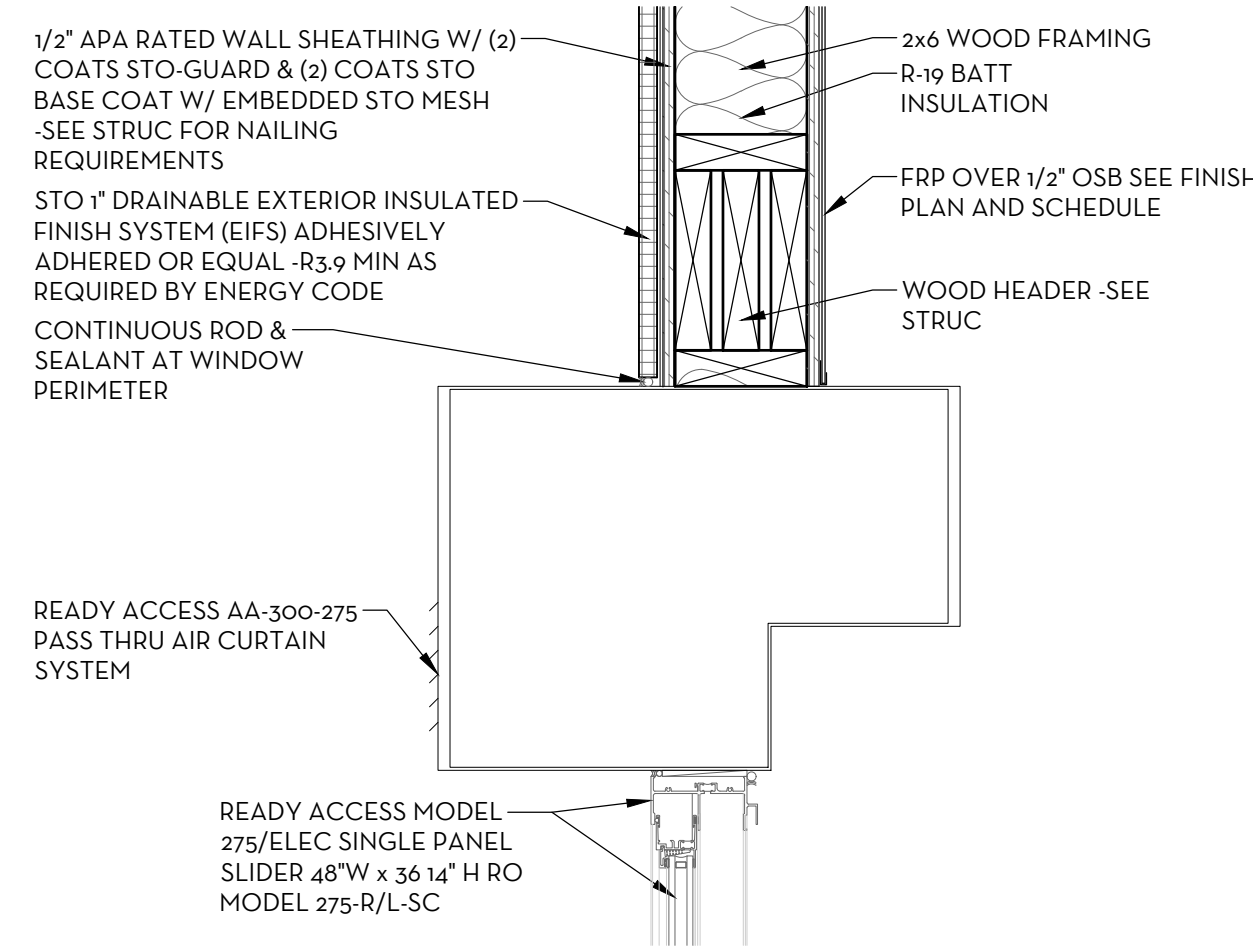
6 ALUMINUM WINDOW SILL DETAIL
SCALE: 1 1/2" = 1'-0"



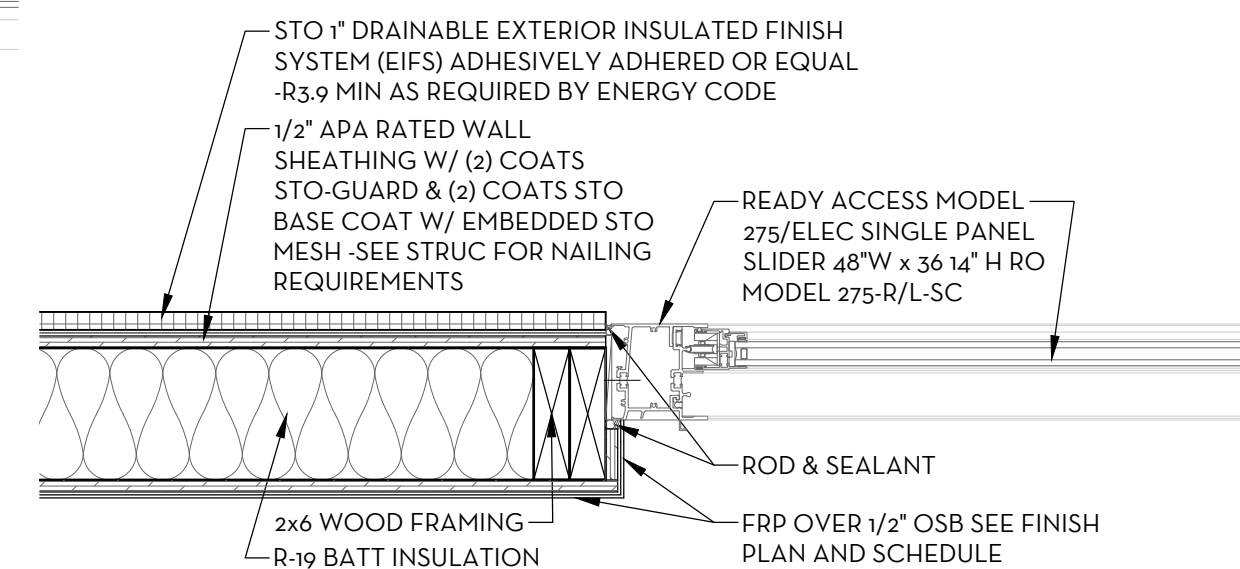
7 ALUMINUM WINDOW MULLION DETAIL
SCALE: 1 1/2" = 1'-0"



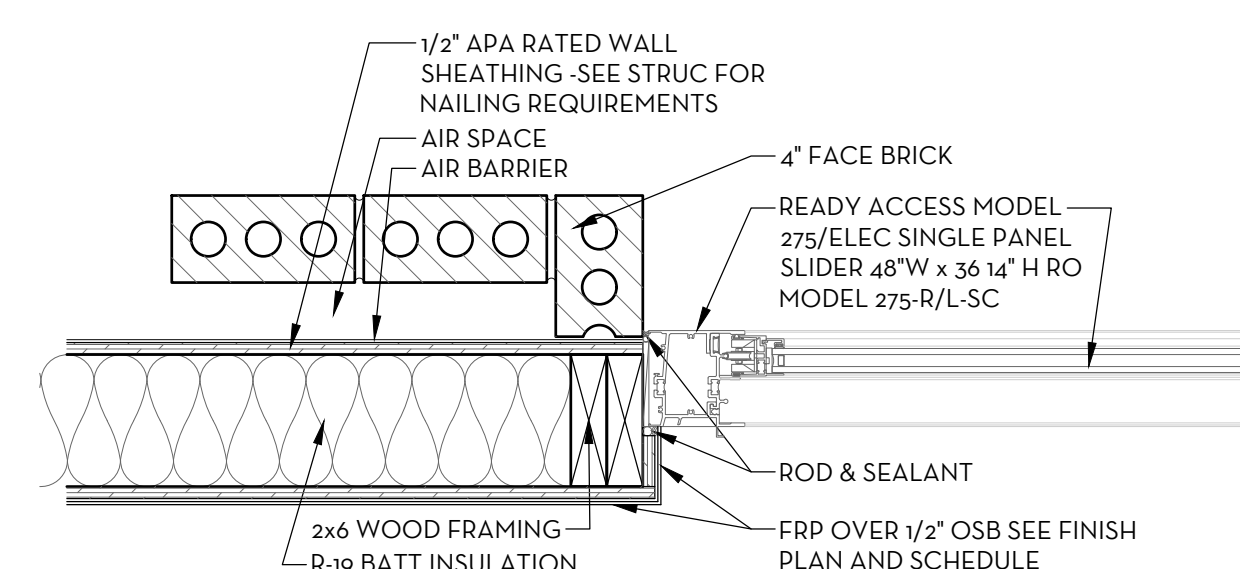
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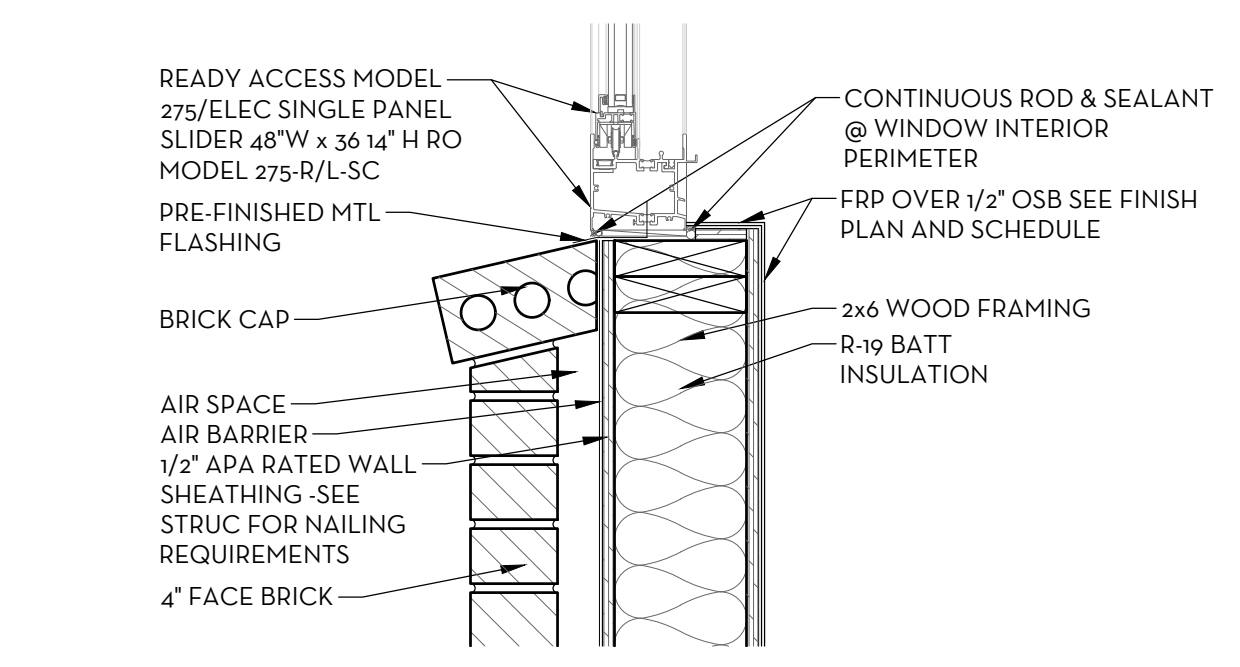
9 DRIVE-THRU WINDOW HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



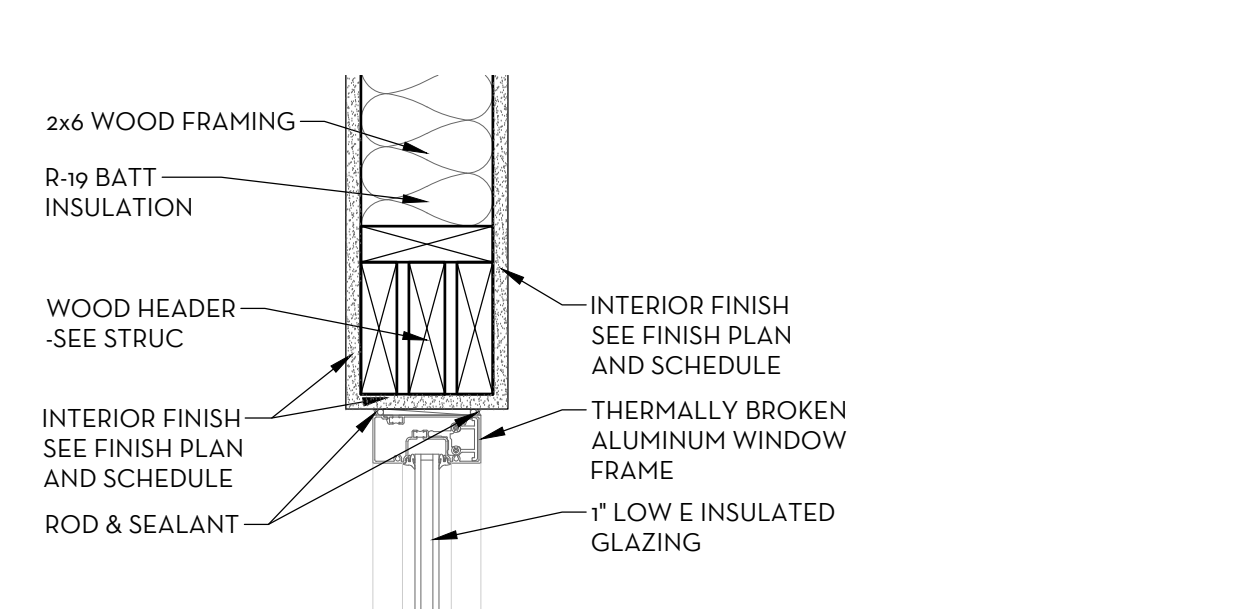
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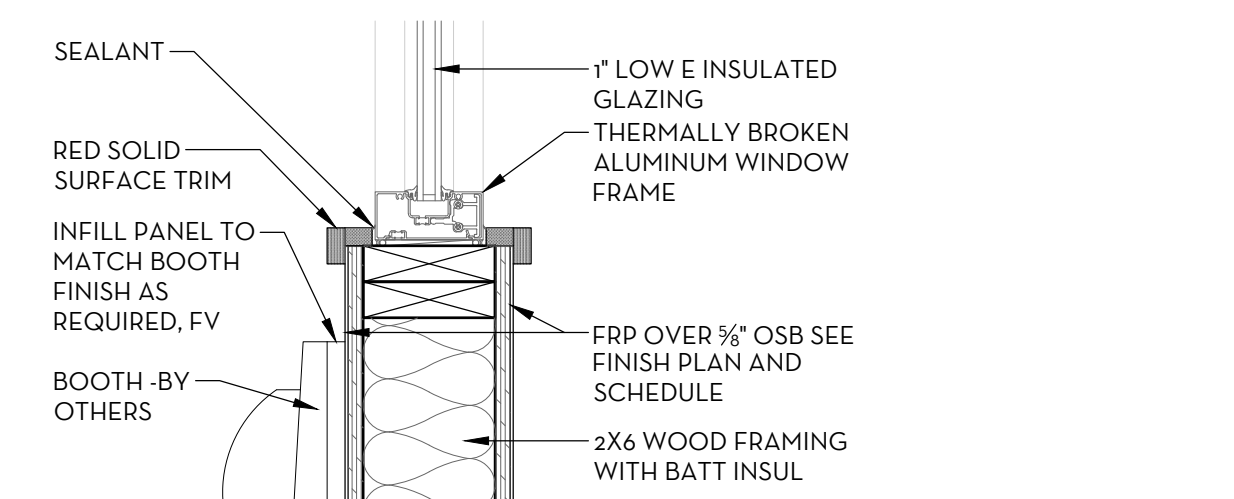
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SCALE: 1 1/2" = 1'-0"



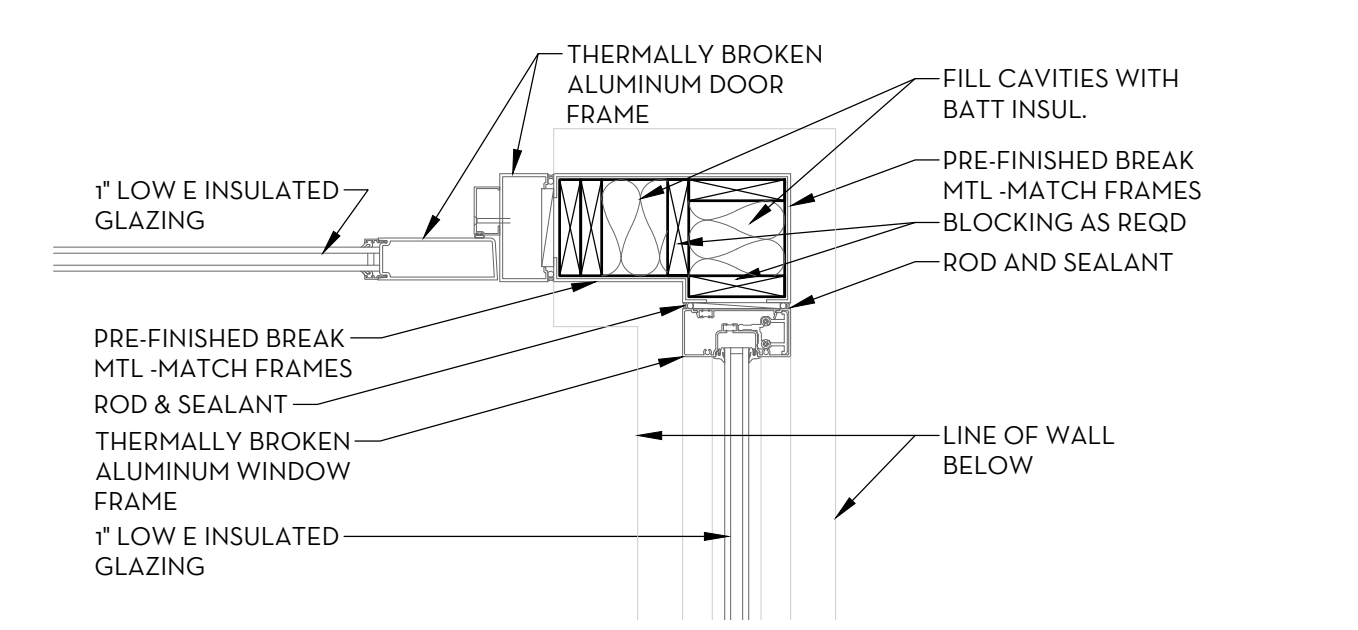
12 DRIVE-THRU WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



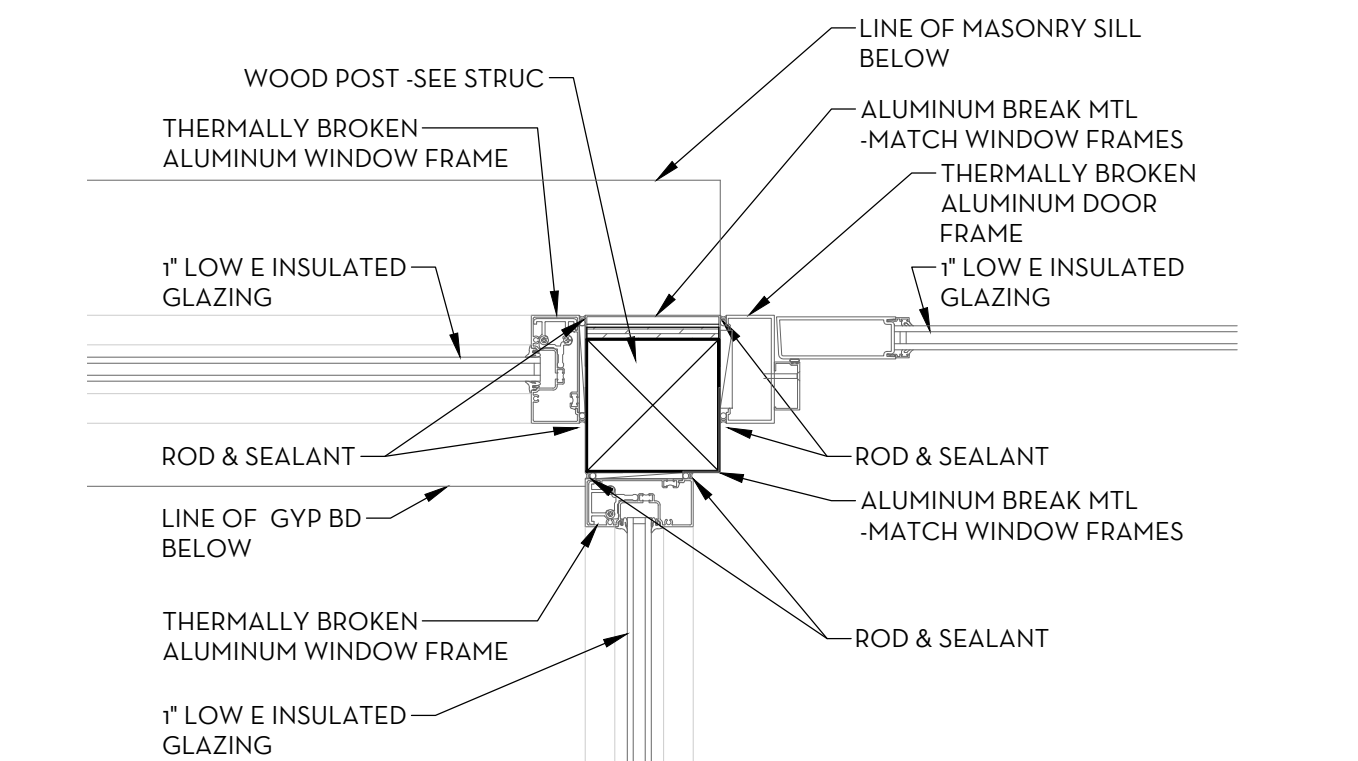
13 VESTIBULE WINDOW HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



14 VESTIBULE WINDOW MULLION DETAIL
SCALE: 1 1/2" = 1'-0"



15 VESTIBULE WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



16 ALUMINUM WINDOW AND DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"

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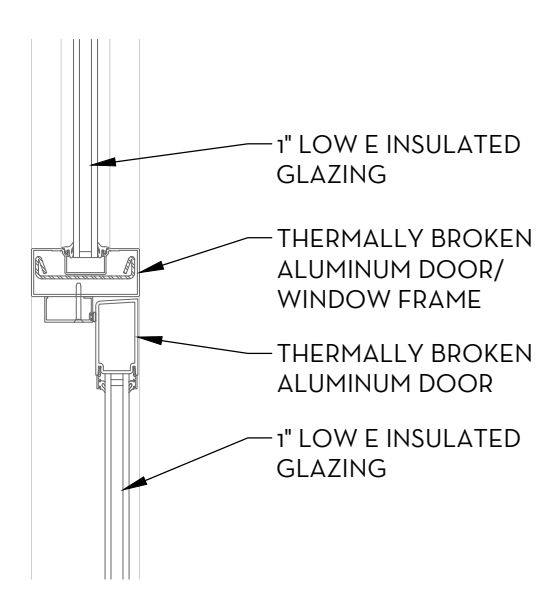
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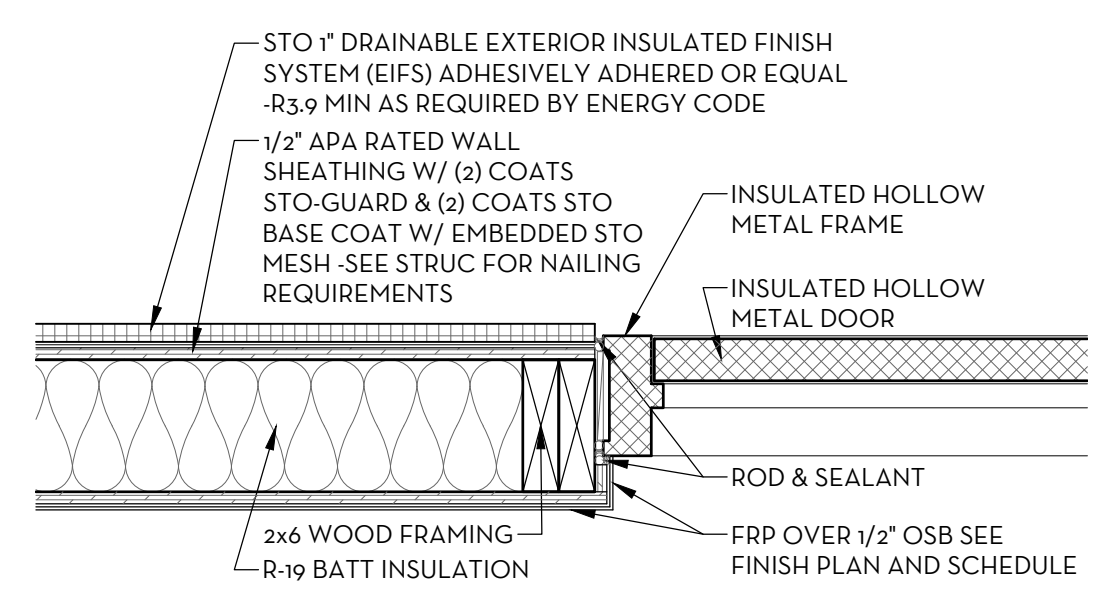
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APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
WINDOW DETAILS

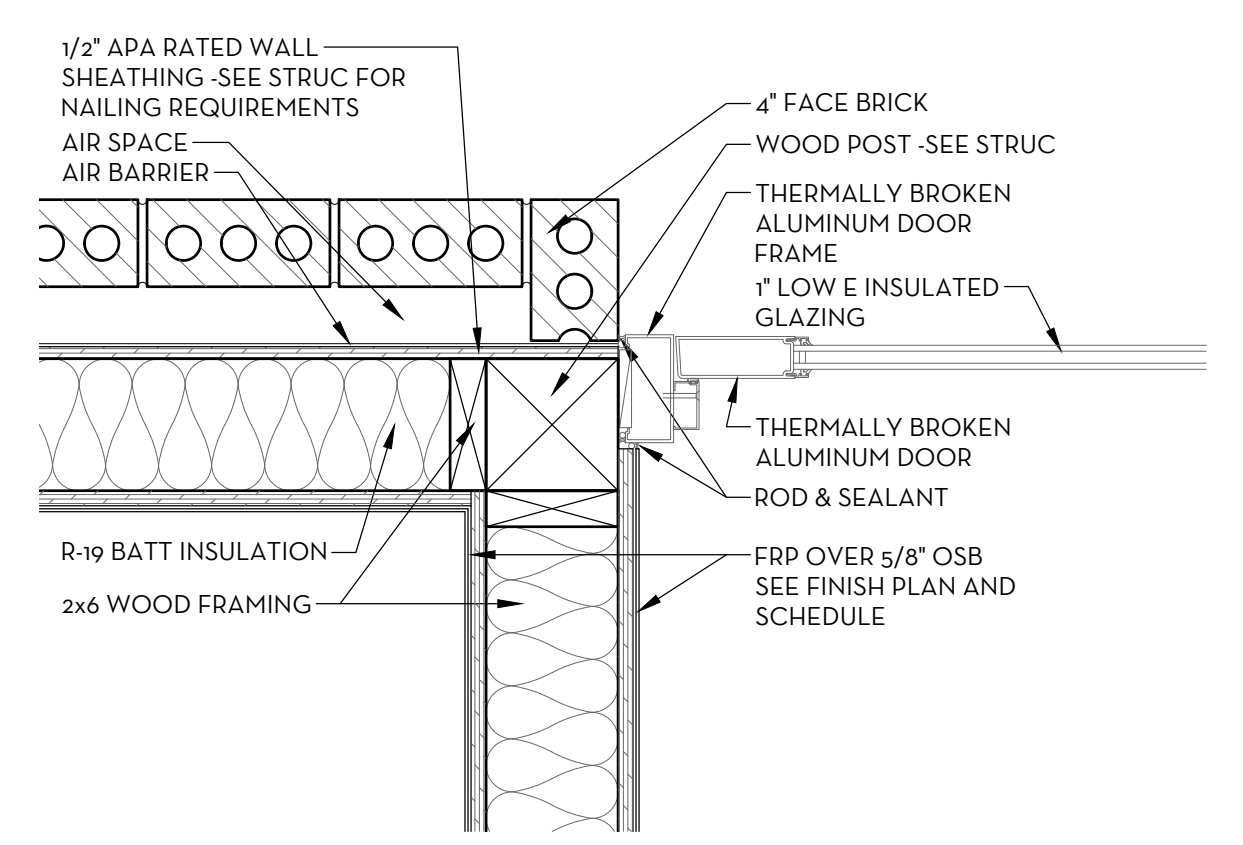
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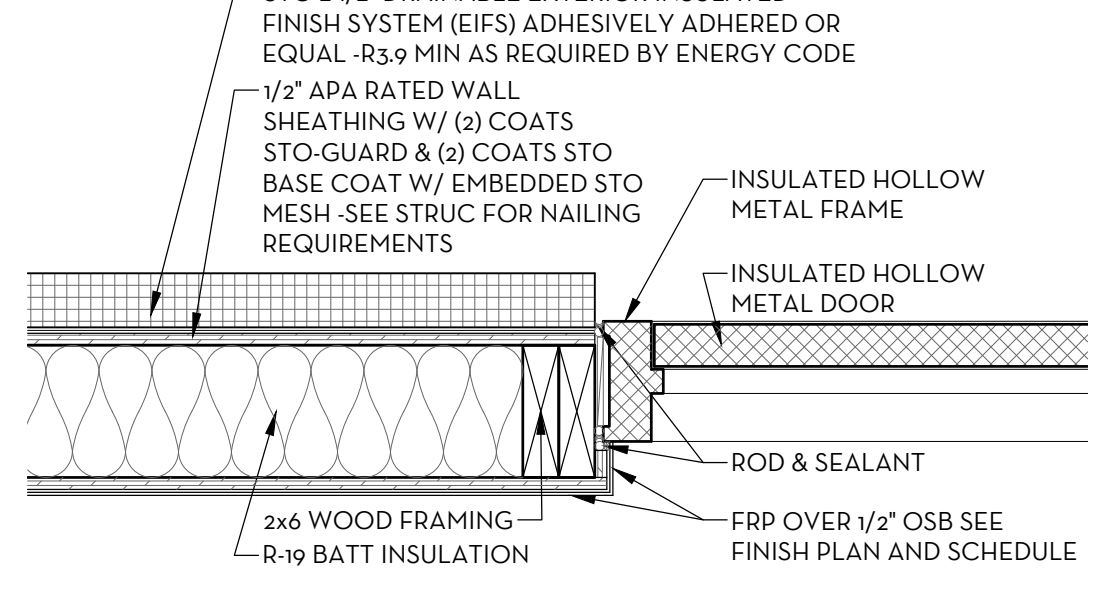
1 ALUMINUM DOOR/WINDOW MULLION DETAIL
SCALE: 1 1/2" = 1'-0"



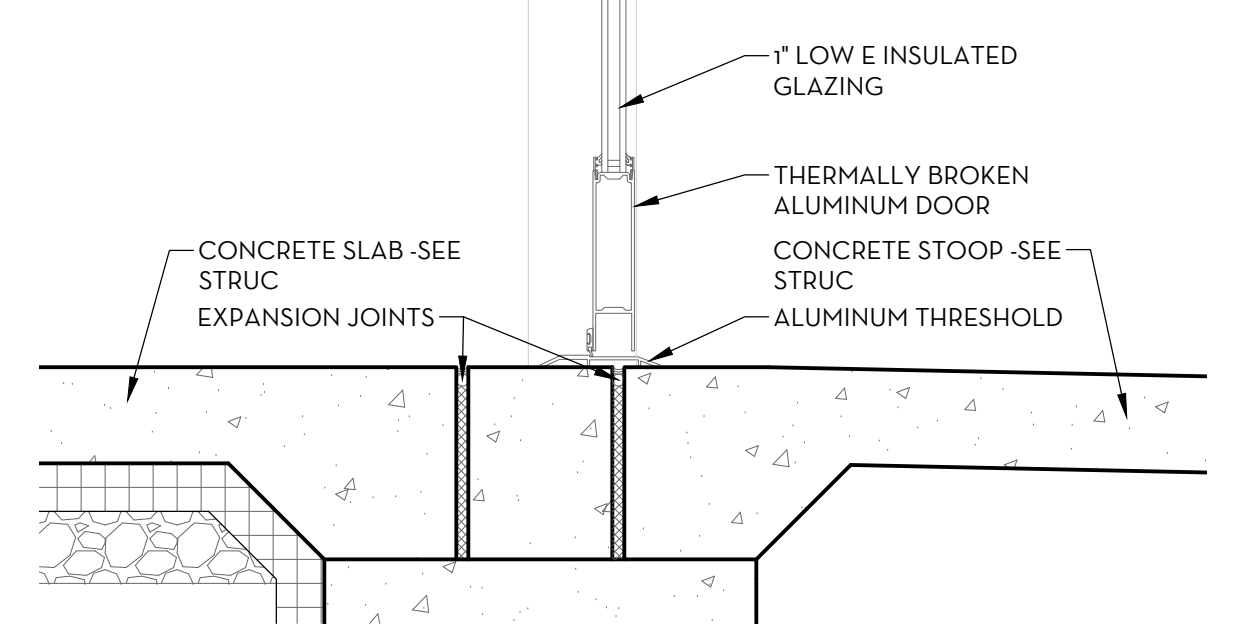
5 HOLLOW METAL DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



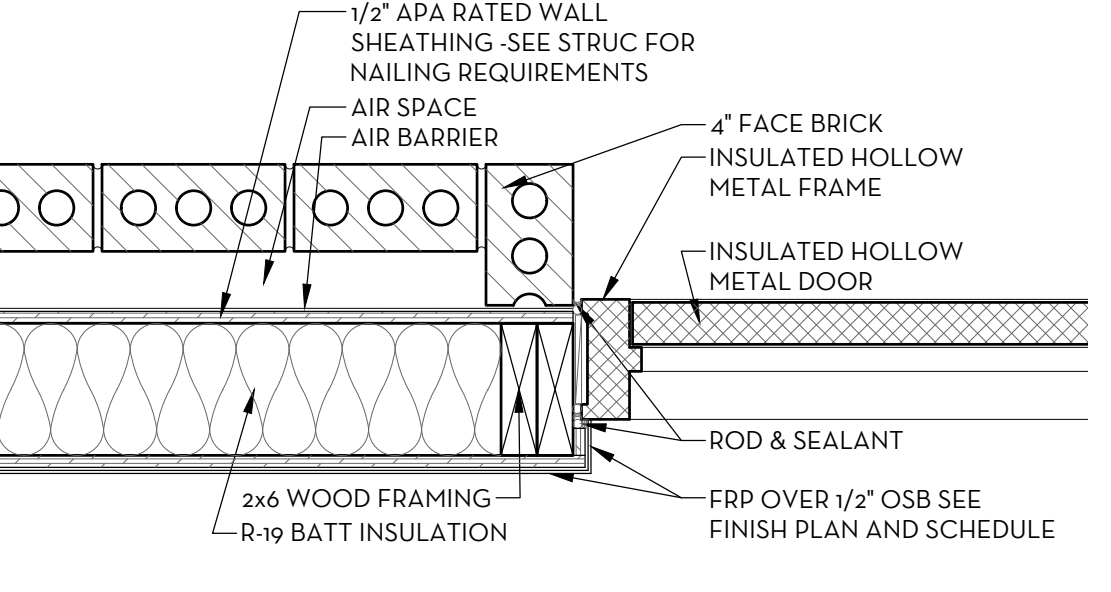
2 ALUMINUM DOOR AND WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



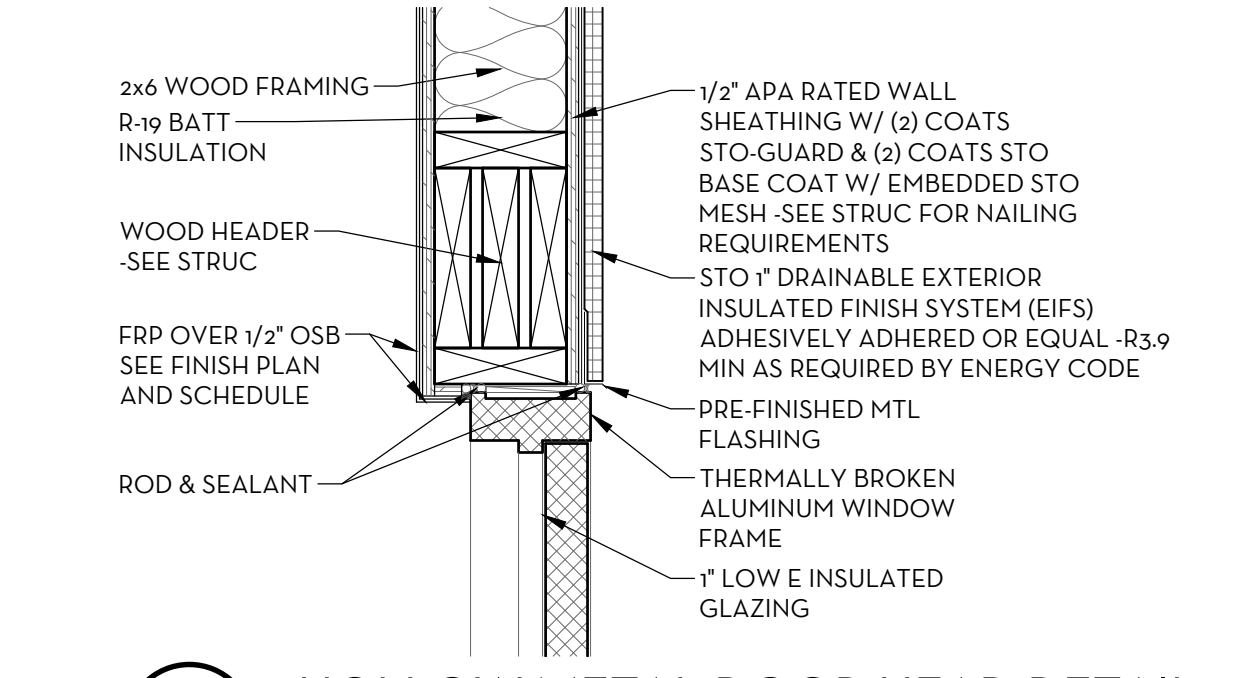
6 HOLLOW METAL DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



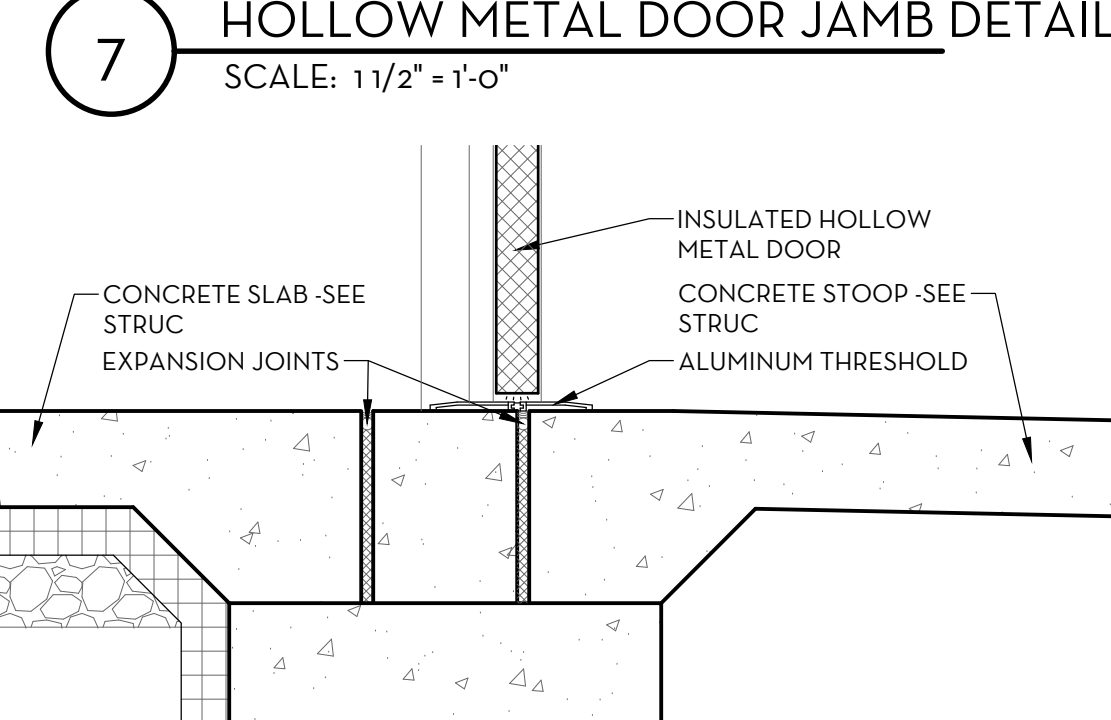
3 ALUMINUM DOOR SILL DETAIL
SCALE: 1 1/2" = 1'-0"



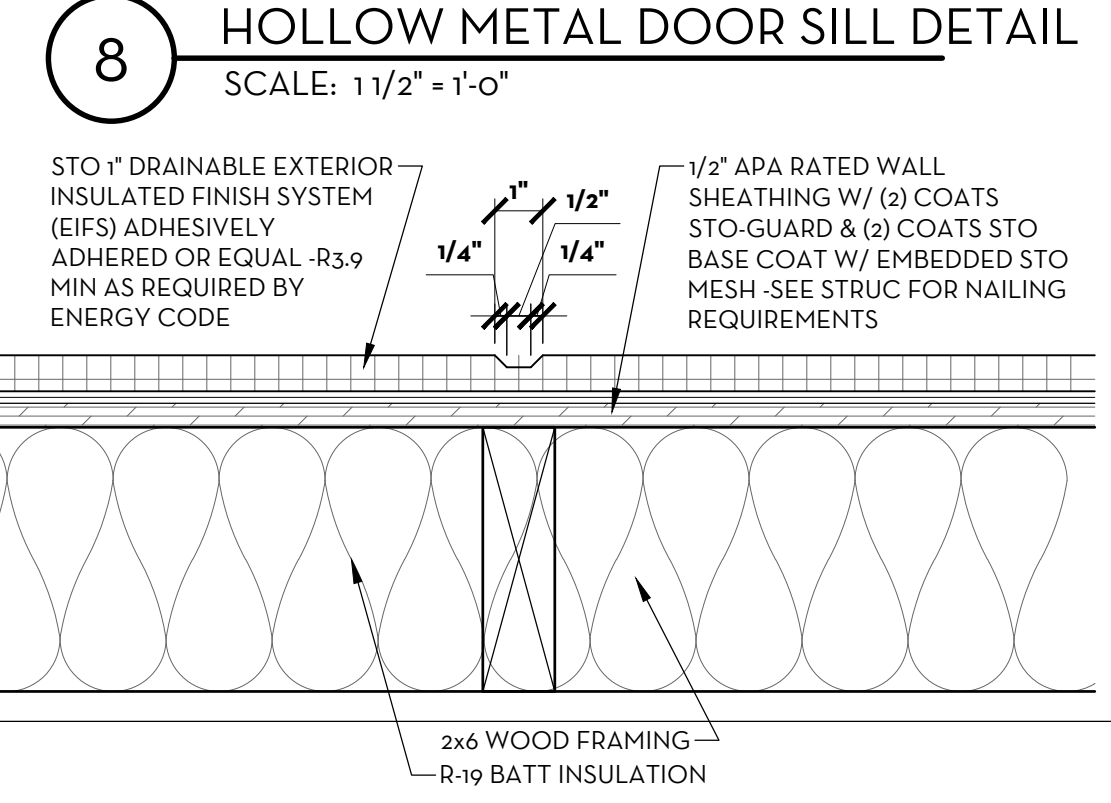
7 HOLLOW METAL DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



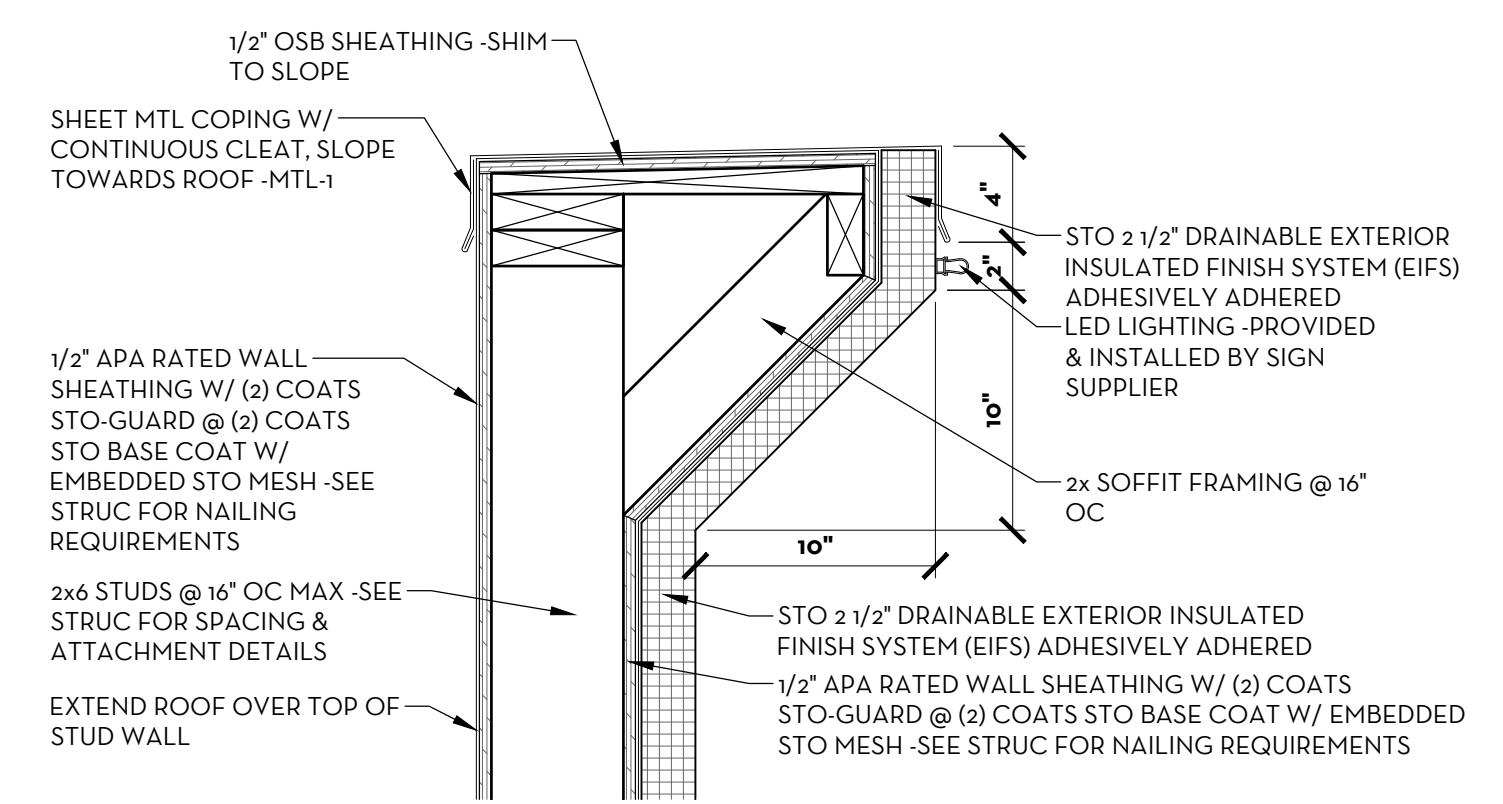
4 HOLLOW METAL DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



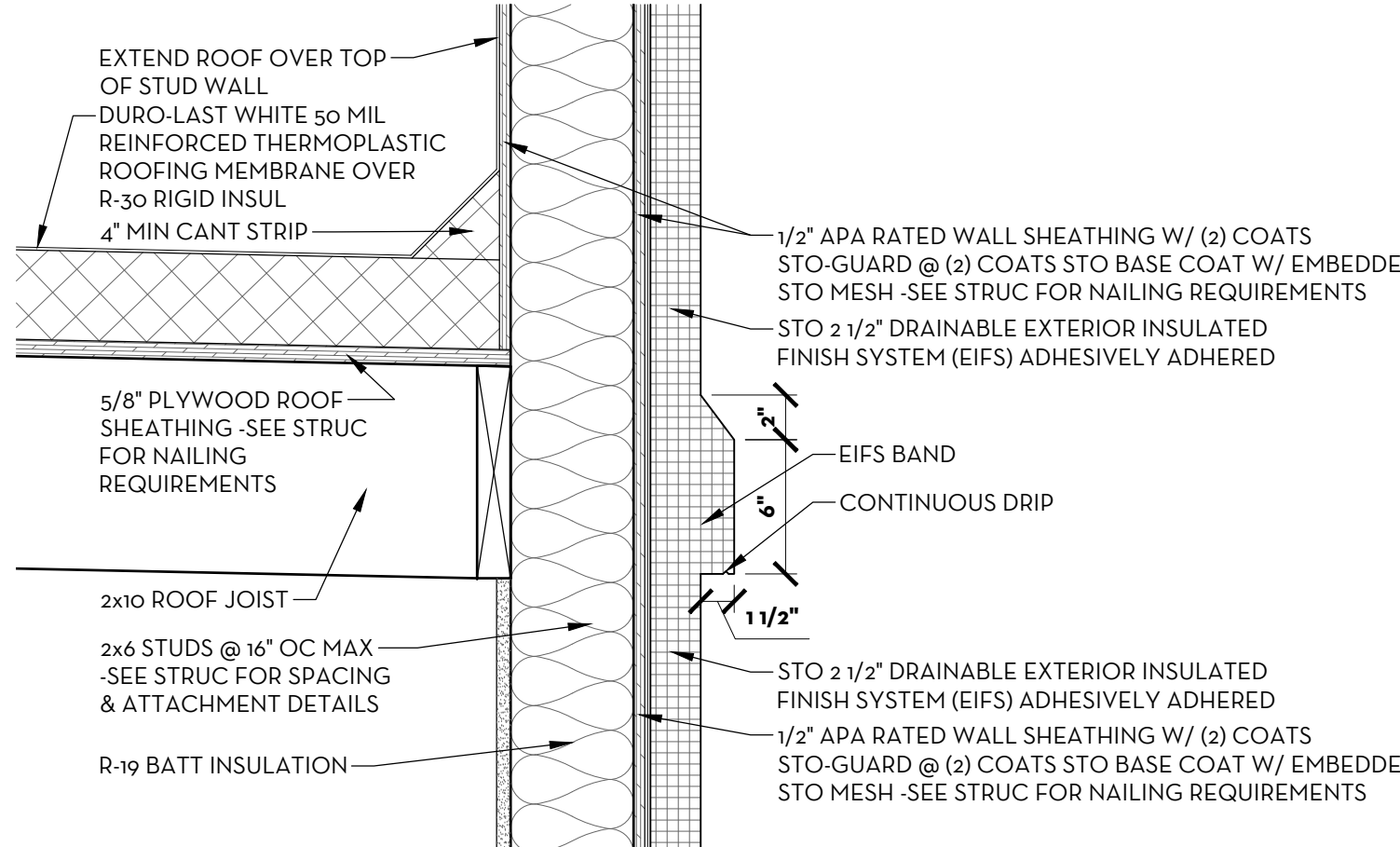
8 HOLLOW METAL DOOR SILL DETAIL
SCALE: 1 1/2" = 1'-0"



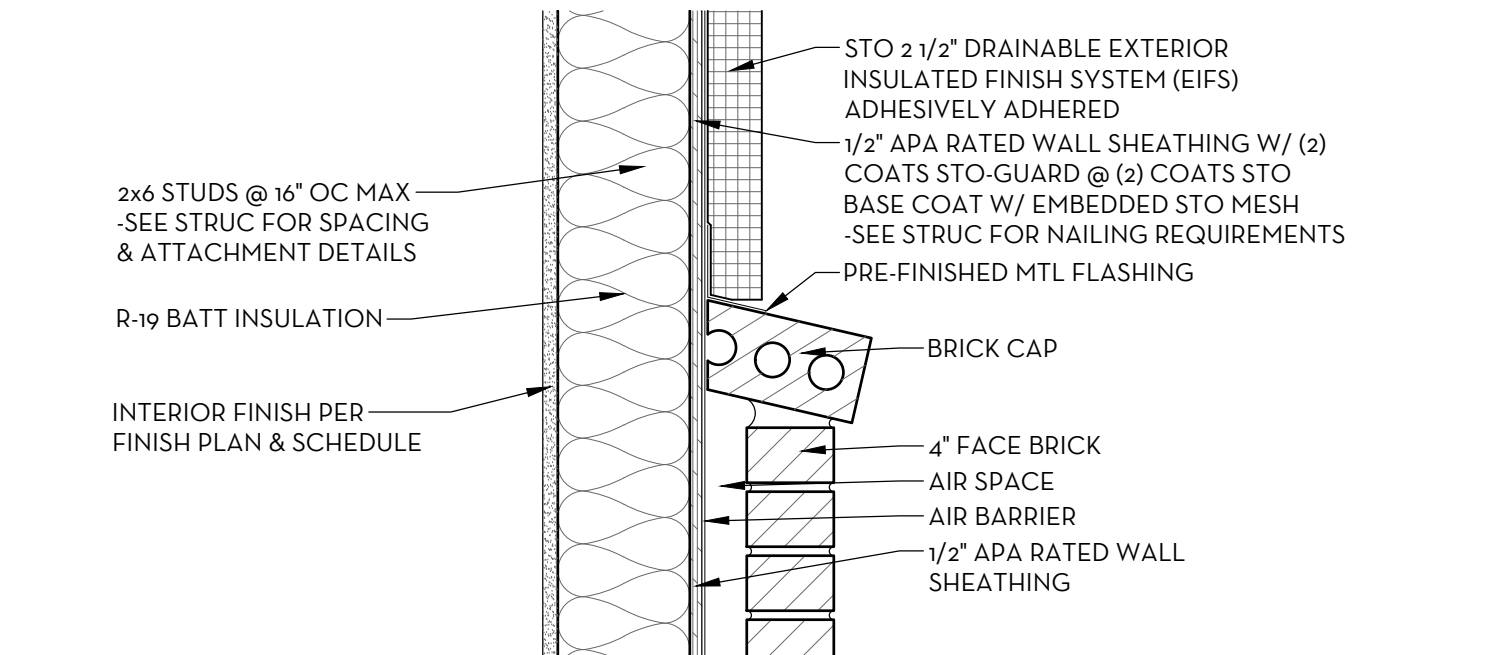
9 EIFS CONTROL JOINT
SCALE: 3" = 1'-0"



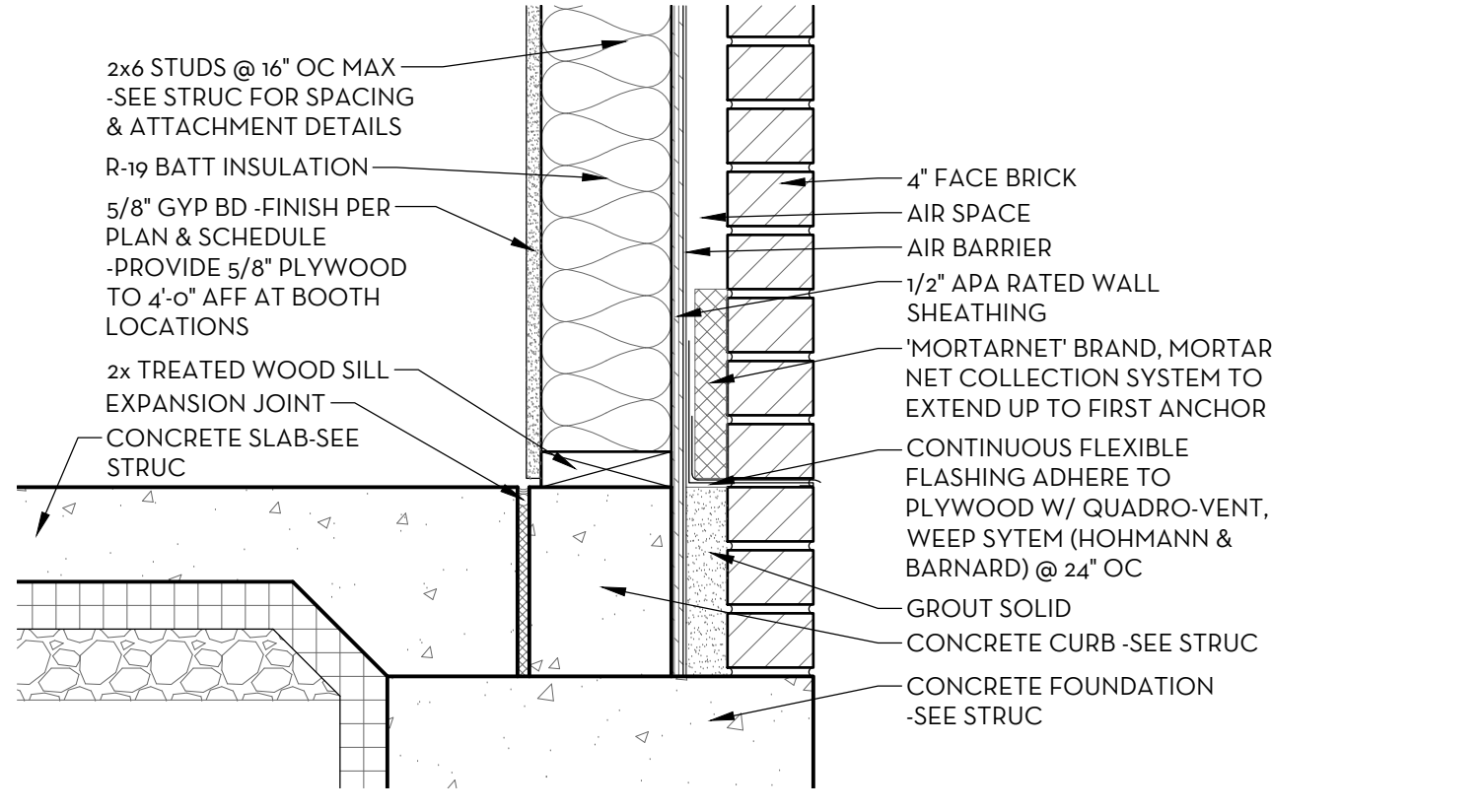
10 PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"



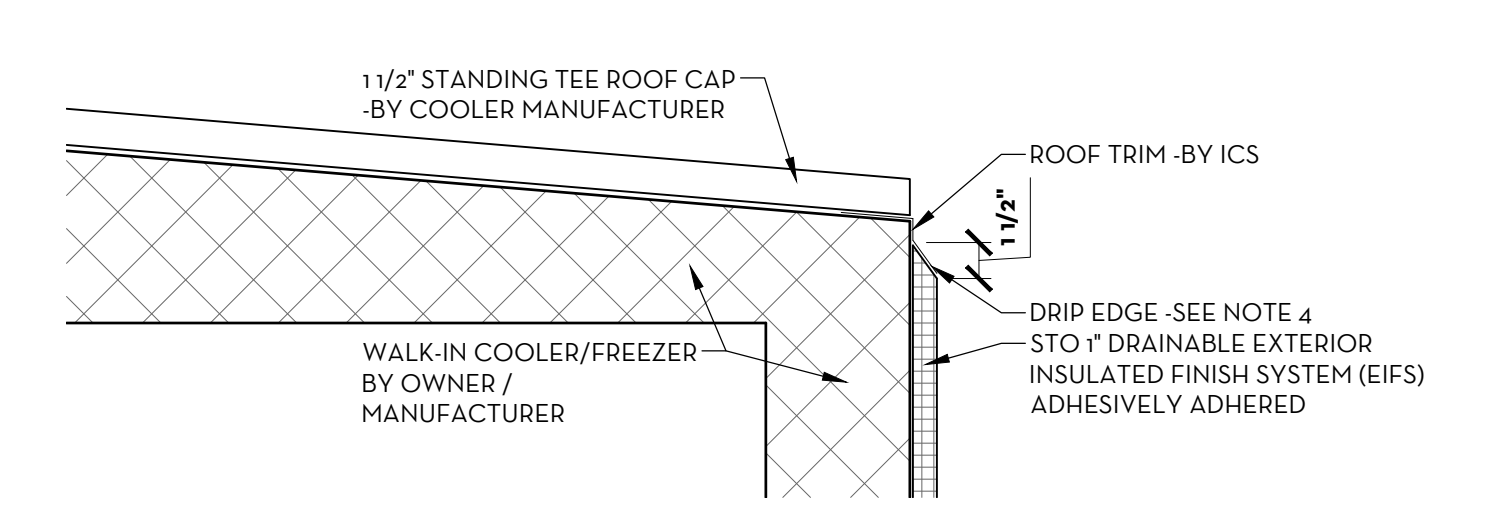
11 EIFS BAND DETAIL
SCALE: 1 1/2" = 1'-0"



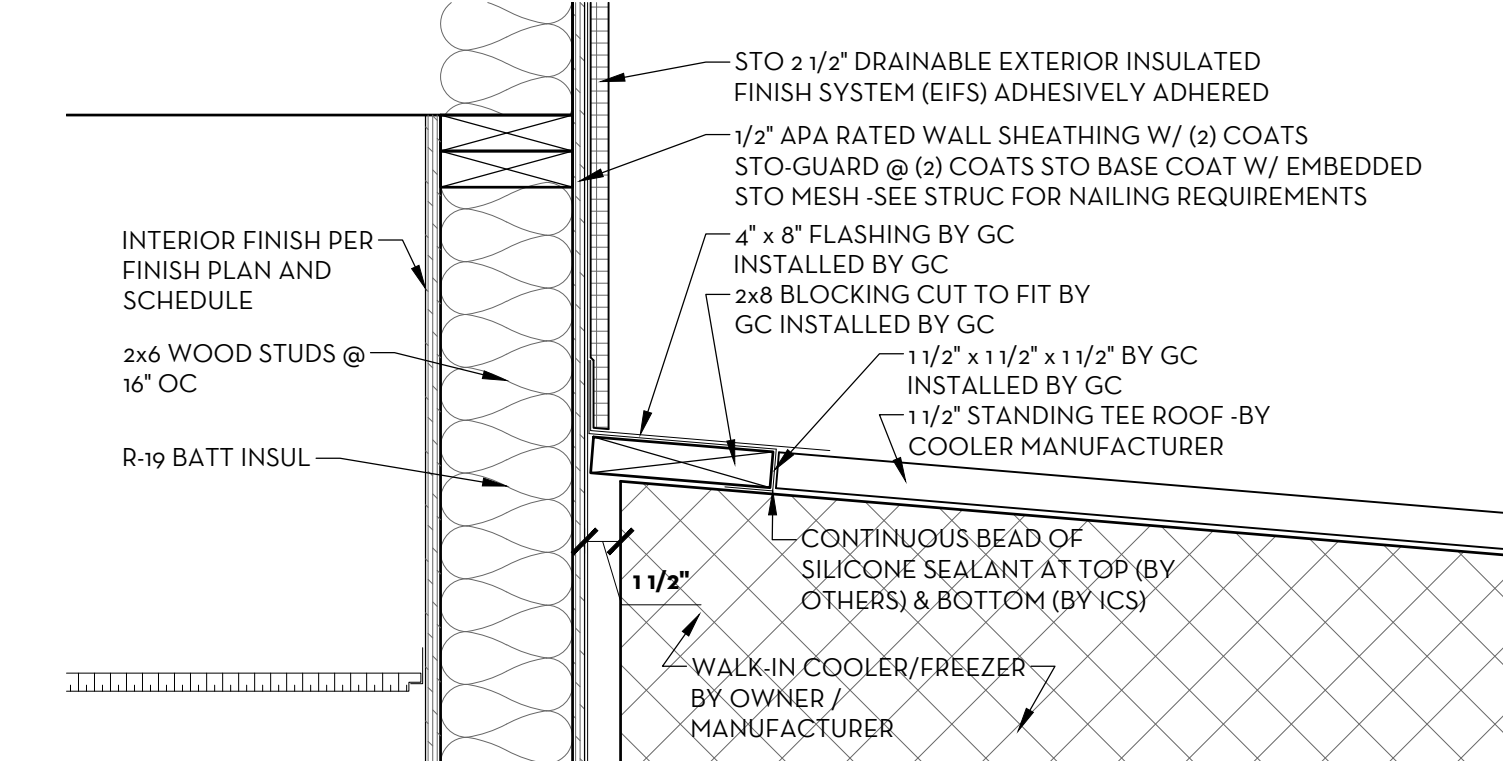
12 BRICK CAP DETAIL
SCALE: 1 1/2" = 1'-0"



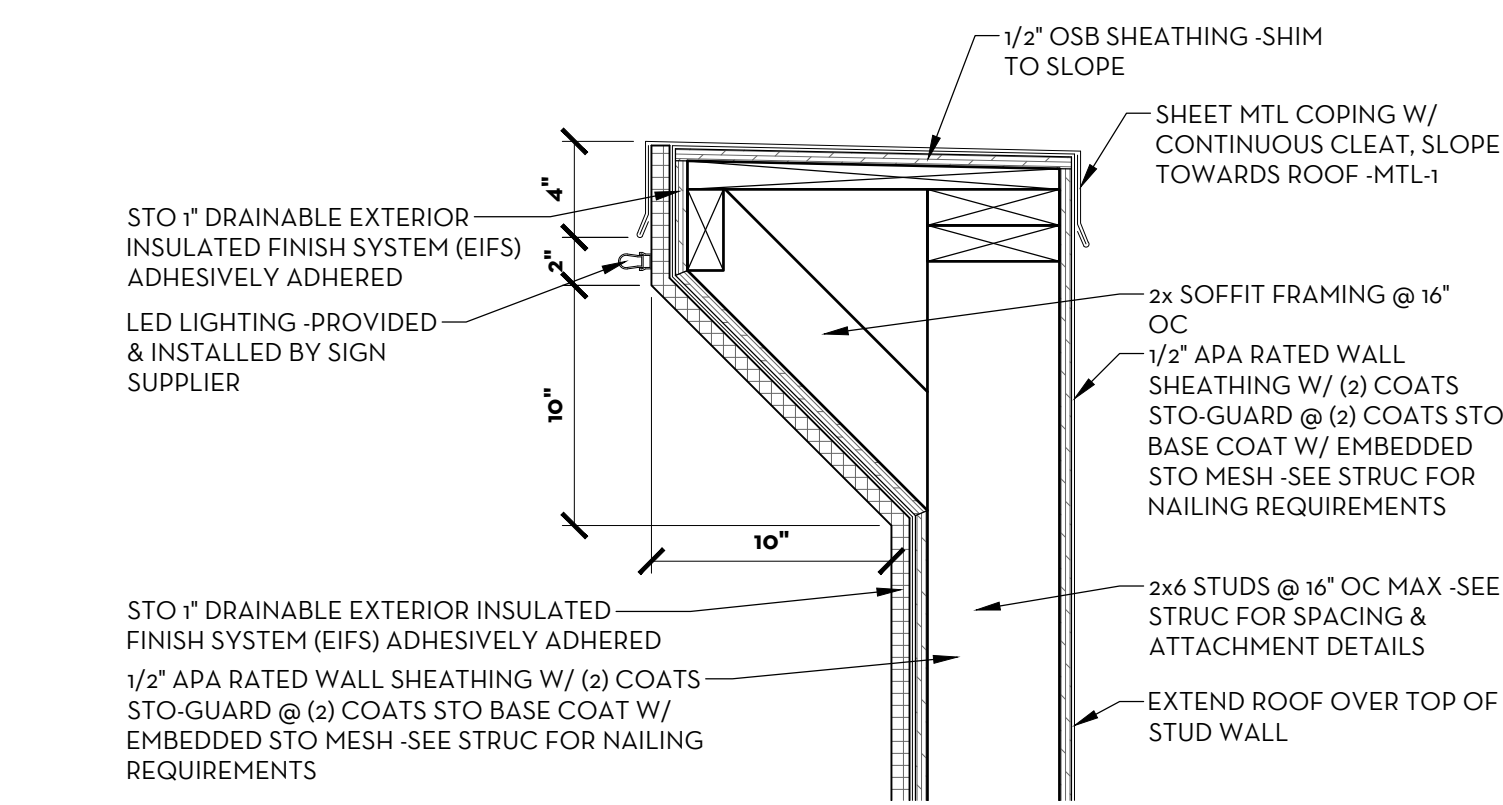
13 BRICK DETAIL
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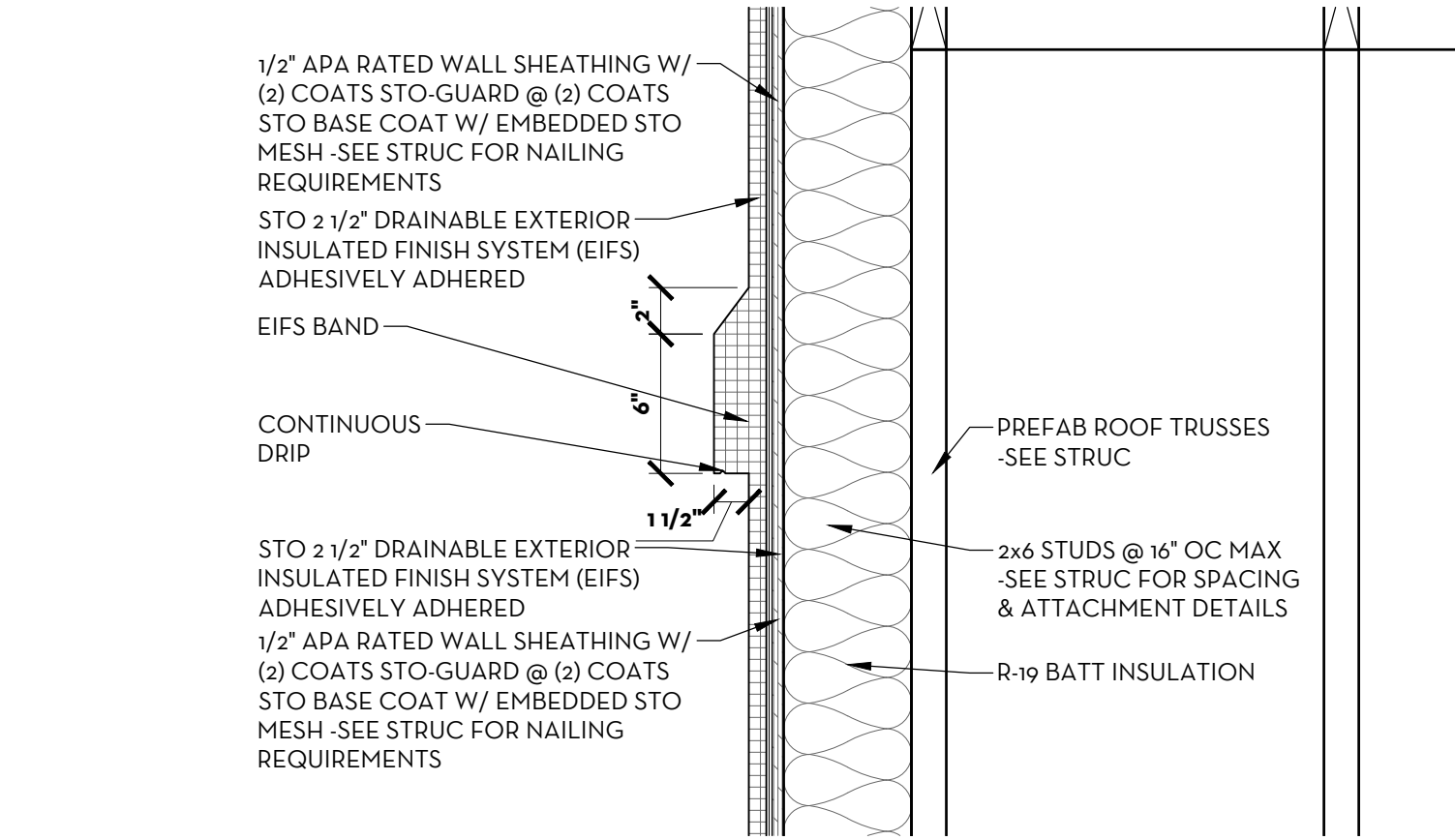
14 COOLER DETAIL
SCALE: 1 1/2" = 1'-0"



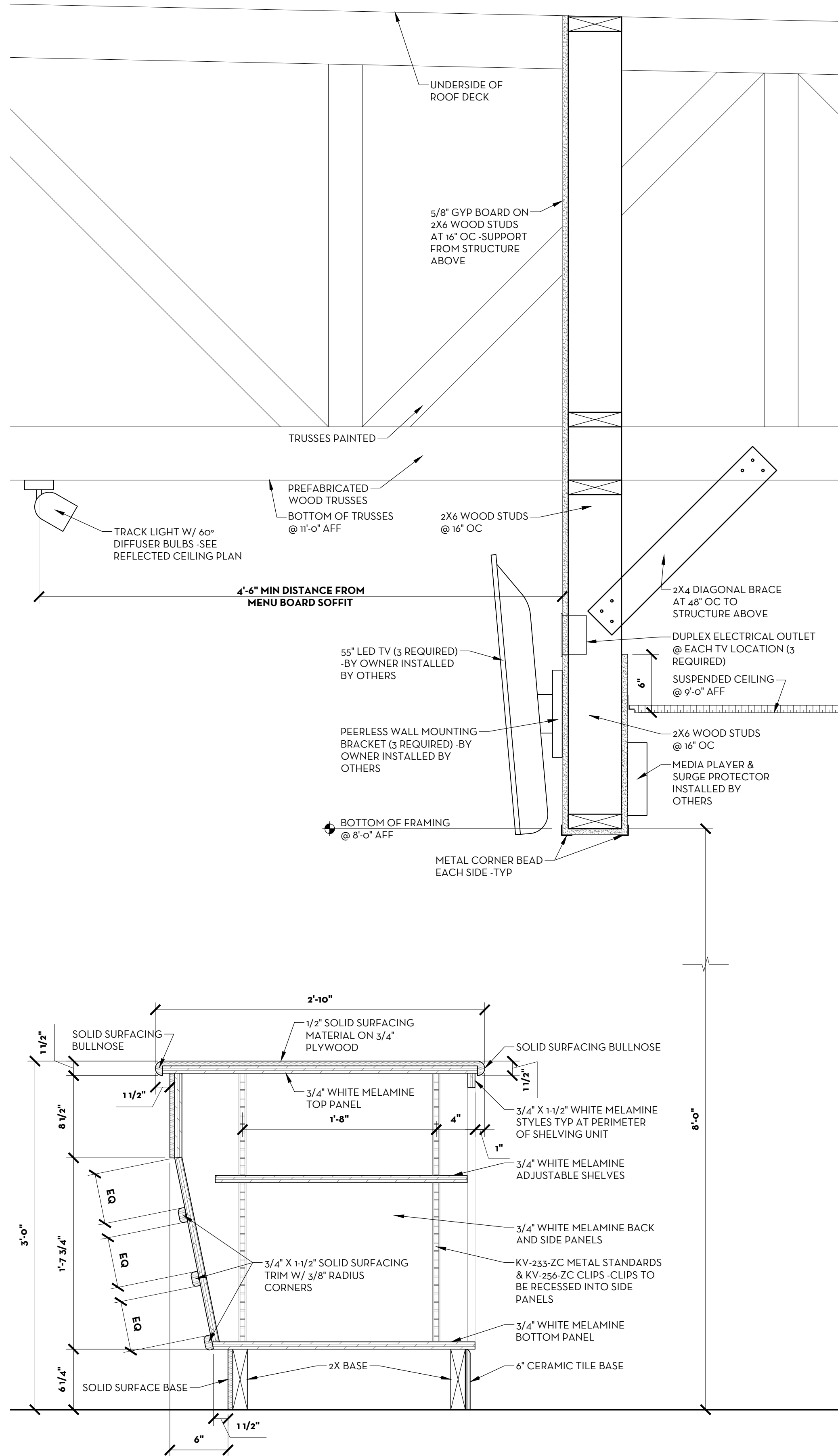
15 COOLER DETAIL
SCALE: 1 1/2" = 1'-0"



16 PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"

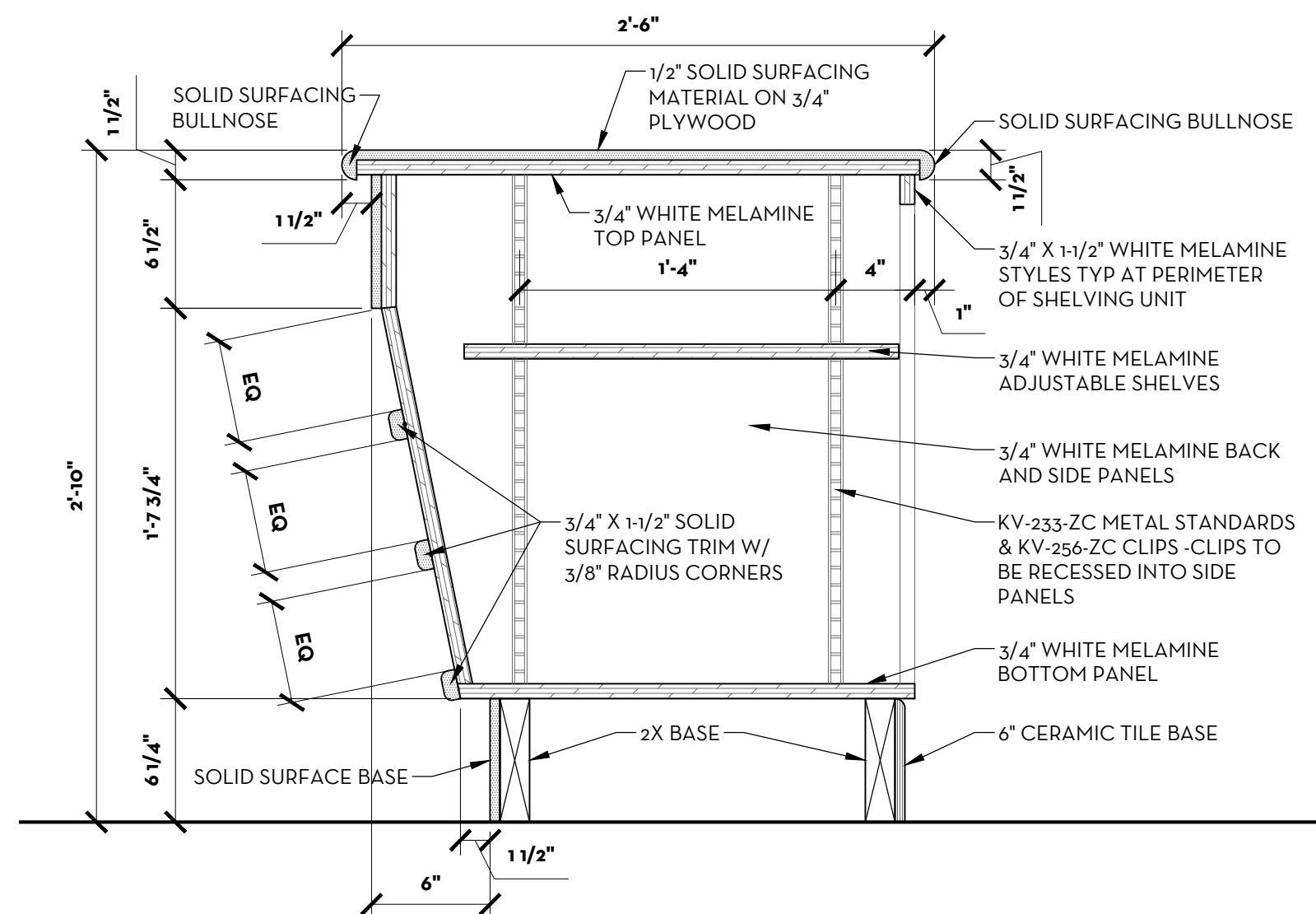


17 EIFS BAND DETAIL
SCALE: 1 1/2" = 1'-0"



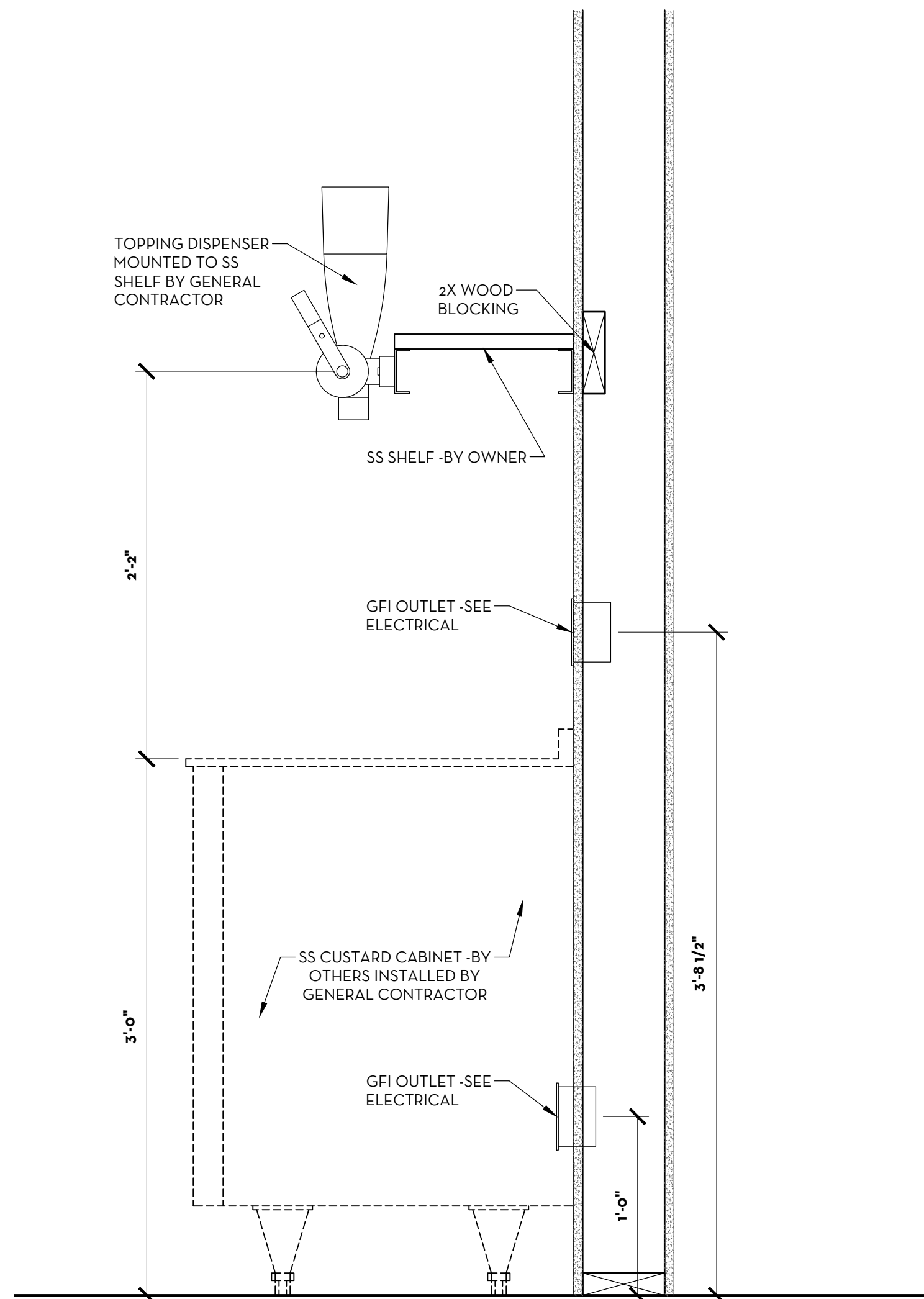
1 FRONT COUNTER DETAIL

SCALE: 1 1/2" = 1'-0"



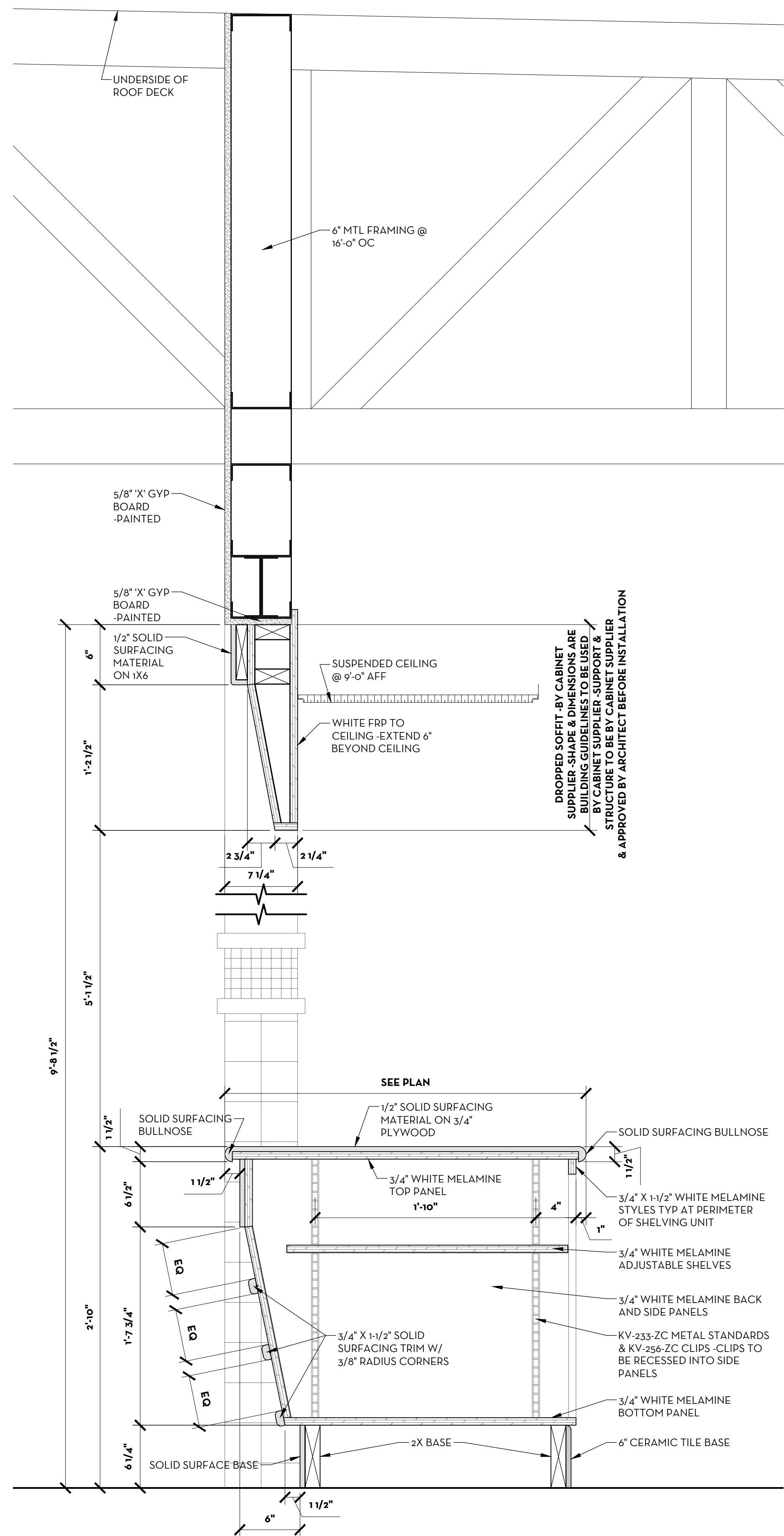
2 FRONT COUNTER DETAIL

SCALE: 1 1/2" = 1'-0"



3 CUSTARD COUNTER DETAIL

SCALE: 1 1/2" = 1'-0"



4 PICK-UP COUNTER DETAIL

SCALE: 1 1/2" = 1'-0"

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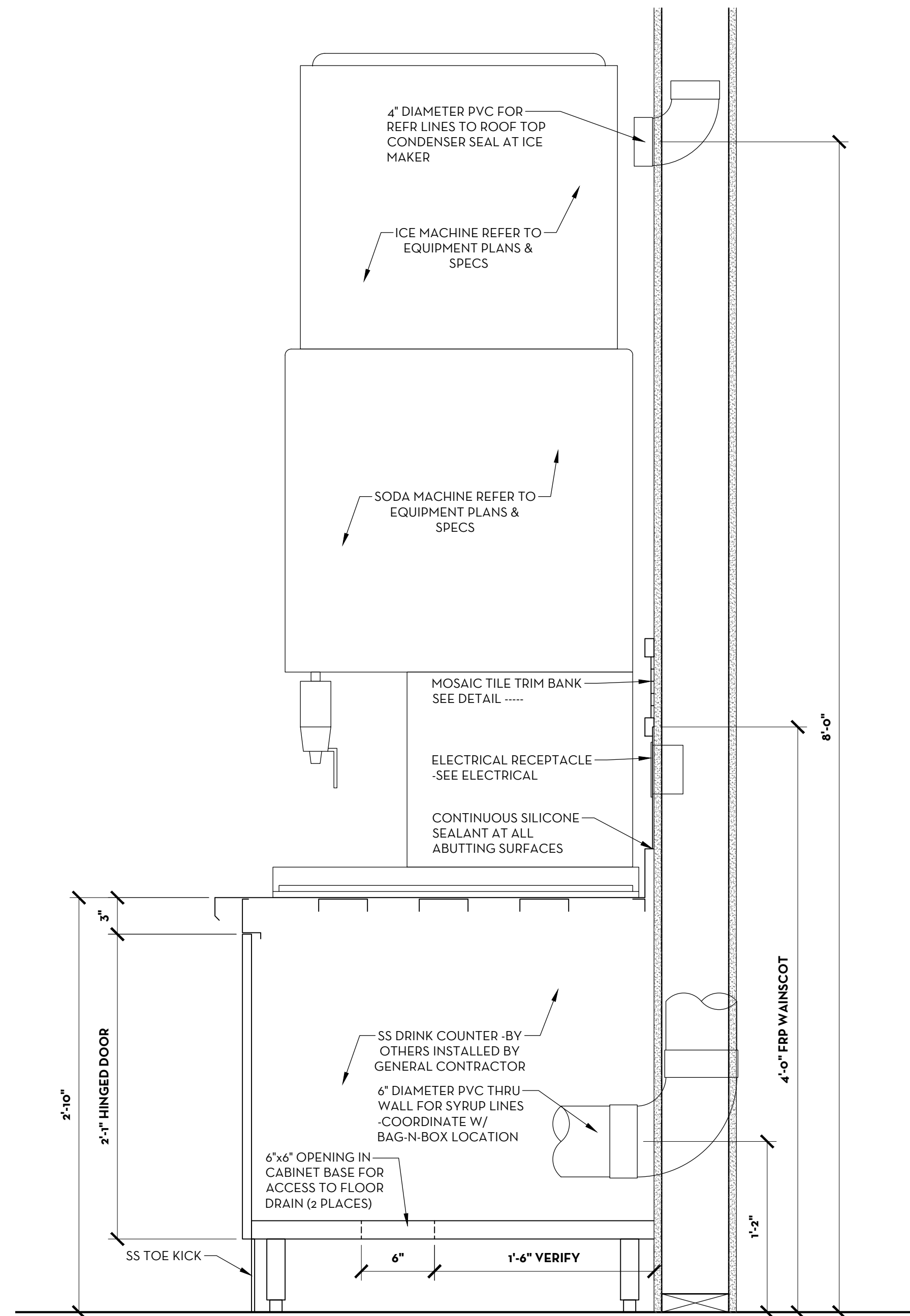
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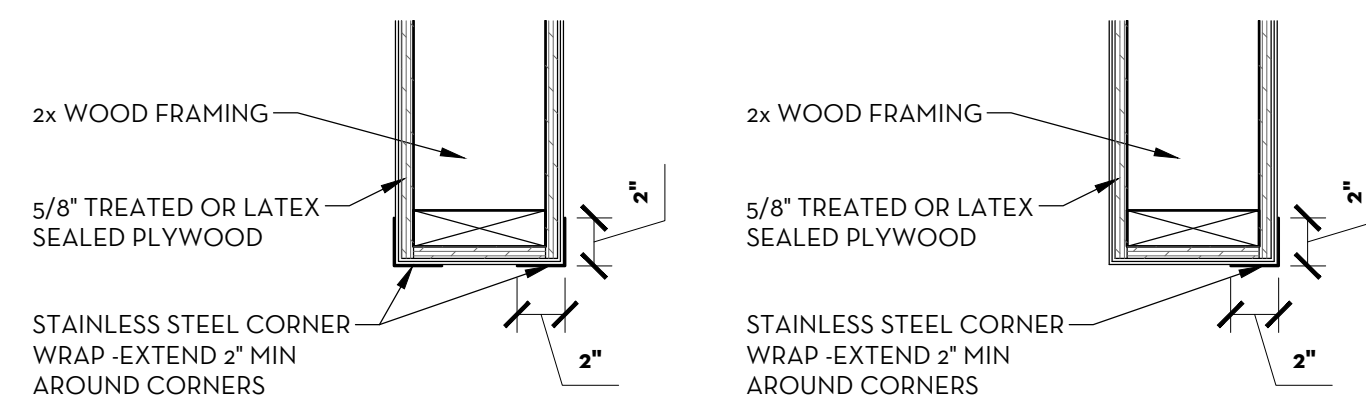
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
COUNTER DETAILS

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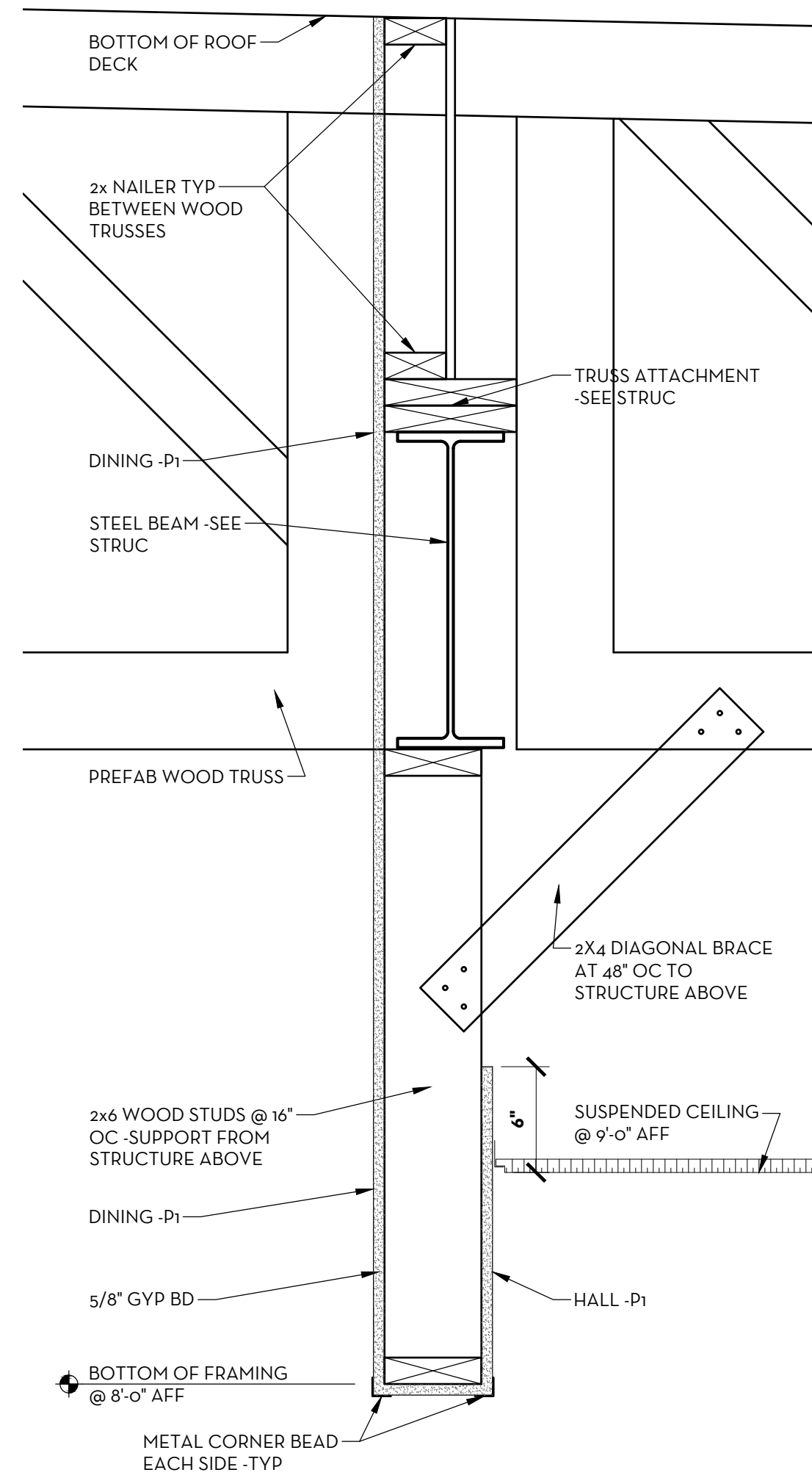
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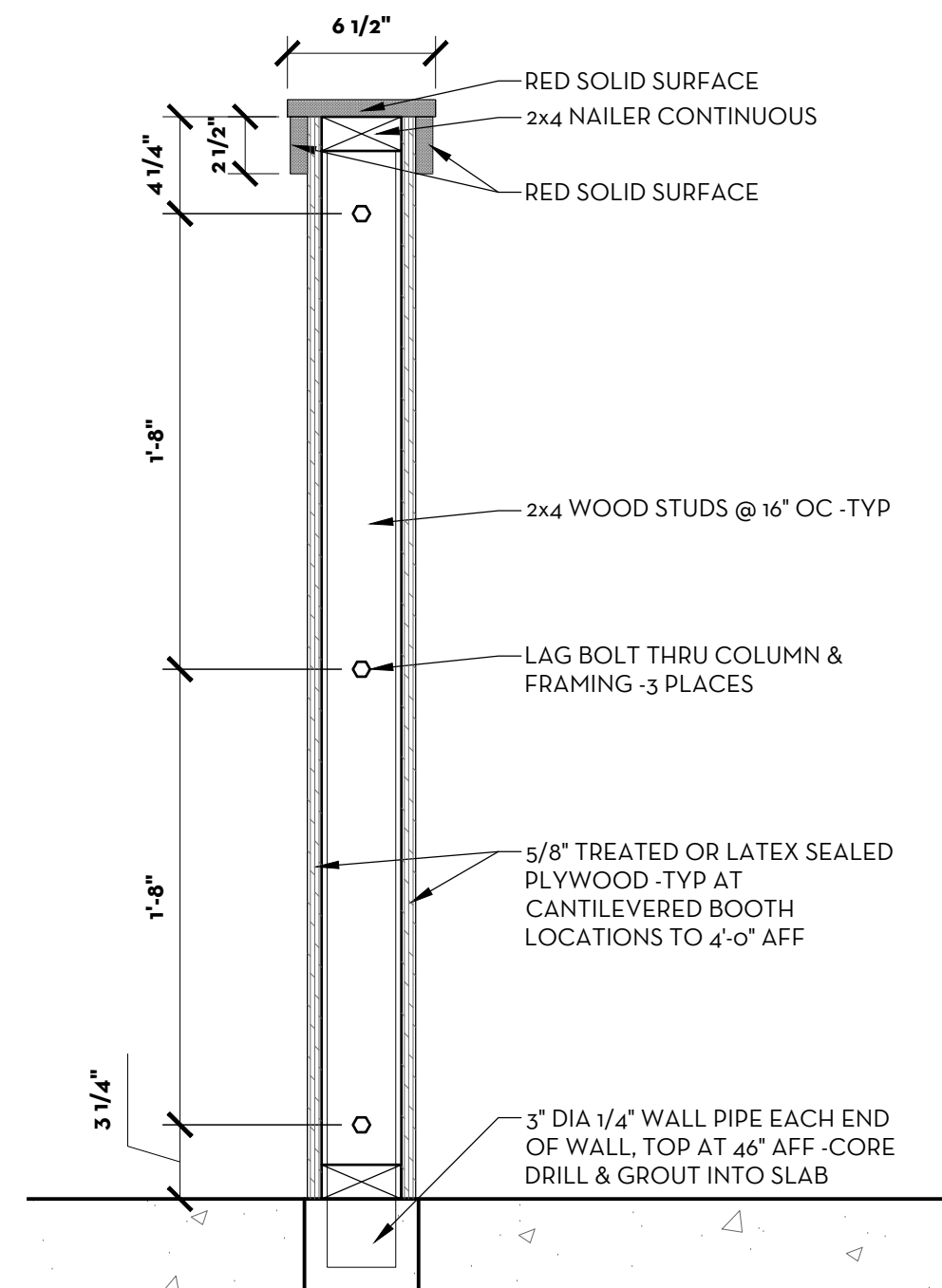
1 DRINK COUNTER DETAIL
SCALE: 1 1/2" = 1'-0"



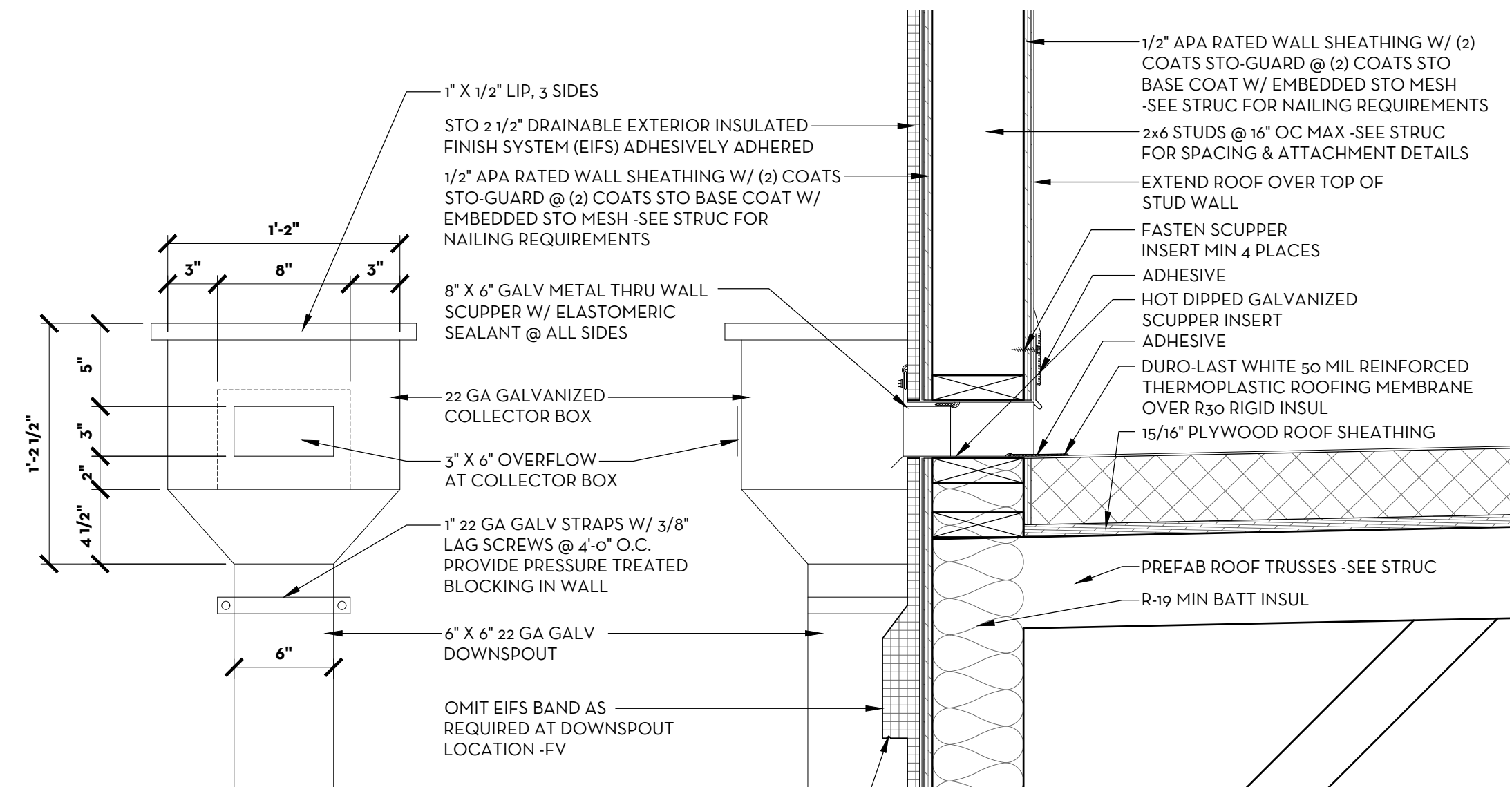
2 CORNER EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



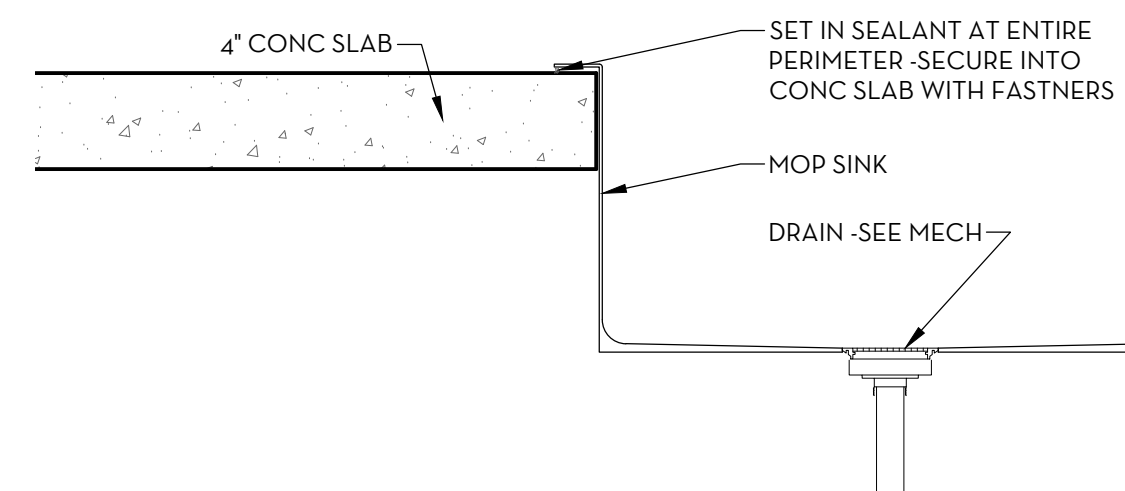
3 CORNER EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



4 HALF HEIGHT WALL DETAIL
SCALE: 1 1/2" = 1'-0"



5 HALF HEIGHT WALL DETAIL
SCALE: 1 1/2" = 1'-0"



6 RECESSED MOP SINK DETAIL
SCALE: 1 1/2" = 1'-0"

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FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
DETAILS

DRAWING

A504

DOOR SCHEDULE

DOOR NUMBER	DOOR SIZE	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	DOOR ELEVATION	FRAME MATERIAL	FRAME FINISH	FRAME ELEVATION	HARDWARE SET	NOTES
100a	3'-0" x 7'-0"	1-3/4"	ALUMINUM/INSUL GLASS	ANODIZED	---	ALUMINUM	ANODIZED	---	H-1	1" INSULATED, TEMPERED SOLARBAN 60 GLAZING
100b	3'-0" x 7'-0"	1-3/4"	ALUMINUM/INSUL GLASS	ANODIZED	---	ALUMINUM	ANODIZED	---	H-2	1" INSULATED, TEMPERED SOLARBAN 60 GLAZING
102a	3'-0" x 7'-0"	1-3/4"	ALUMINUM/INSUL GLASS	ANODIZED	---	ALUMINUM	ANODIZED	---	H-2	1" INSULATED, TEMPERED SOLARBAN 60 GLAZING
104a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-4	----
106a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-6	28"x36" HORIZONTAL WINDOW CENTERED IN DOOR WIDTH 60" AFF
107a	3'-6" x 7'-0"	1-3/4"	INSUL HOLLOW METAL	PAINT	---	INSUL HOLLOW METAL	PAINT	---	H-3	PEEP HOLE @ 60" AFF DOOR BUZZER W/ SPEAKER IN STORAGE W/ MANUAL SHUTOFF
110a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-7	----
111a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-7	----

DOOR/FRAME FINISH SCHEDULE

DOOR NUMBER	FINISH	FRAME
110a & 111a	PAINT BOTH SIDES W/ (2) COATS WILKO 944:17 FREDDY'S RED	PAINT FRAME -WILKO 946:17 FREDDY'S JET BLACK

HARDWARE SCHEDULE

QUANTITY	DESCRIPTION	MANUFACTURER	NUMBER	REMARKS
HARDWARE SET H-1 (ENTRY DOORS)				
1 EACH	CYLINDER	YALE	AS REQUIRED	NO THUMB LATCHES PERMITTED AT THIS DOOR
ALL HARDWARE BY DOOR MANUFACTURER				
HARDWARE SET H-2 (ENTRY DOORS)				
ALL HARDWARE BY DOOR MANUFACTURER INCLUDING PANIC HARDWARE PER IBC 1008:1.9				
HARDWARE SET H-3 (REAR DOOR)				
3 EACH	BUTTS	STANLEY	FBBI91-32D-NRP -4 1/2" x 4 1/2"	
1 EACH	EXIT DEVICE	FALCON	25-R	
1 EACH	PUSHBUTTON LOCK	KABA	LP1000	SATIN CHROME 26D
1 EACH	CLOSER	NORTON	CLP8501-689	
1 EACH	KICKPLATE	ROCKWOOD	10 x 40-32D	
1 EACH	DOOR VIEWER	DORSCOPE	DS2000 MG (GRAY)	INSTALL AT 60" AFF
1 EACH	THRESHOLD	PEMKO	171A	
1 EACH	SWEEP	PEMKO	315CN	
1 SET	WEATHERSTRIP	PEMKO	228.00	
HARDWARE SET H-4 (KITCHEN DOOR)				
1 SET	BUTTS	STANLEY	FBBI79-26D -4 1/2" x 4 1/2"	
2 EACH	PUSH PLATE	ROCKWOOD	4 x 16-32D	
1 EACH	KICKPLATE	ROCKWOOD	36 x 34-32D	INSTALL ON KITCHEN SIDE OF DOOR
HARDWARE SET H-6 (OFFICE DOOR)				
3 EACH	BUTTS	STANLEY	FBBI79-26D -4 1/2" x 4 1/2"	
1 EACH	PUSHBUTTON LOCK	SCHLAGE	FE595 x 16207 10-025 26D CAMELOT x ACCENT -VERIFY W/ OWNER	SATIN CHROME
1 EACH	CLOSER	NORTON	CLP8501-689	
1 EACH	DOOR STOP	ROCKWOOD	409-32D	
3 EACH	SILENCERS	ROCKWOOD	608	
1 EACH	KICKPLATE	ROCKWOOD	10 x 34-32D	
HARDWARE SET H-7 (TOILET DOORS)				
3 EACH	BUTTS	STANLEY	FBBI79-26D -4 1/2" x 4 1/2"	
1 EACH	PUSH PULL	ROCKWOOD	70C x 107 x 70C-32D	
1 EACH	CLOSER	NORTON	CLP8501-689	
1 EACH	KICKPLATE	ROCKWOOD	10 x 34-32D	
1 EACH	DOOR STOP	ROCKWOOD	409-32D	
3 EACH	SILENCERS	ROCKWOOD	608	

NOTES:

- ALL DOOR HARDWARE TO CONFORM TO FEDERAL ADA ACCESSIBILITY GUIDELINES, INCLUDING BUT NOT LIMITED TO MOUNTING HEIGHTS, OPERATING FORCE AND GRIP REQUIREMENTS.
- VERIFY HARDWARE FINISH (SATIN CHROMIUM US26D) WITH OWNER
- RESTROOM DOOR SIGNS -ALL DOOR SIGNS ARE PROVIDED BY AND INSTALLED BY THE GENERAL CONTRACTOR. DOOR SIGNAGE SHALL COMPLY WITH SECTION 4.30 OF THE ADA INCLUDING CHARACTER HEIGHT AND PROPORTION, BRAILED CHARACTERS, FINISH AND CONTRAST, INTERNATIONAL SYMBOL OF ACCESSIBILITY AND MOUNTING HEIGHT. LOCATIONS -WALL ADJACENT TO THE LATCH SIDE OF THE DOOR OR SIGNS SHALL BE INSTALLED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" AFF TO THE CENTER OF THE SIGN.
- THUMB LATCHES ARE NOT PERMITTED AT EXIT DOORS.

FINISH SCHEDULE

INTERIOR PAINT	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	TYPE	REMARKS
INTERIOR WALLS	PRIMER	P1	WILKO	#907.37	---	---	PRIME WALLS WITH ONE COAT WILKO HIGH HIDE TONE ACRYLIC LATEX PRIMER, PAINT WITH TWO COATS OF WILKO HIGH HIDE LATEX INTERIOR EGGSHELL
	PAINT			#937.17	FREDDY'S GOLD		
DINING CEILING	PRIMER	P2	WILKO	#902.47	---	---	PRIME CEILING WITH ONE COAT WILKO HIGH HIDE TONE ACRYLIC LATEX PRIMER, PAINT WITH TWO COATS WILKO HIGH HIDE LATEX FLAT WILKO TONE FREDDY'S GRAY
	PAINT			#932.47	FREDDY'S GRAY		
EXPOSED DUCTWORK & DIFFUSERS DINING ROOM	PAINT	P3	WILKO	#944.17	FREDDY'S RED	---	PAINT WITH TWO COATS WILKO HIGH HIDE TONE HIGH GLOSS WOOD & METAL LATEX
RESTROOM DOORS	PAINT	P3	WILKO	#944.17	FREDDY'S RED	---	PAINT WITH TWO COATS WILKO HIGH HIDE TONE HIGH GLOSS WOOD & METAL LATEX
INTERIOR HM DOOR FRAMES	PAINT	P4	WILKO	#946.17	FREDDY'S JET BLACK	---	PAINT WITH TOW COATS WILKO HIGH HIDE TONE HIGH GLOSS WOOD & METAL LATEX
GYP BD CEILINGS RESTROOM	PAINT	P5	WILKO	#931.02	FREDDY'S WHITE	---	PAINT WITH WILKO HIGH HIDE INTERIOR ACRYLIC LATEX WHITE
EXTERIOR PAINT	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	TYPE	REMARKS
BUILDING WALLS	PAINT	A	WILKO	#937.97	FREDDY'S BEIGE	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAINT
BUILDING TRIM	PAINT	B	WILKO	#933.37	FREDDY'S PEARL	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CONE	PAINT	C	WILKO	#937.37	BISKET BEIGE	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CUSTARD	PAINT	D	WILKO	#931.17	ICE WHITE	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
TILE	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	GROUT COLOR	REMARKS
MOSAIC TILE BAND	KEYSTONES	---	DALTILE	N20911BLDMS1P	---	WHITE	RANDOM PATTERN (1" x 1"), 12x24 SHEETS (CUT TO 6x12 ON SITE), COMES PRE-MADE WITH 17% RED.
RR WALL TILE	---	W6	DALTILE	65012OC101MS1P2	---	WHITE	DB OCTAGON/DOT MATTE WHITE WITH MATTE WHITE DOT
RR WALL TRIM TILE	PERMABRITES	W7	DALTILE	6421S886MS1P2	BLACK	WHITE	DB PERMABRITES S86 MS BULLNOSE 6421 GLS BLK/SABLE STD
DINING, HALL & RR FLOOR	CMC -BRAZIL NATAL	CT1	CREATIVE MATERIALS CORPORATION	---	---	BLACK	12" x 12" BLACK SPECKLE
	CMC -BRAZIL VITORIA	CT2		---	---		12' x 12' ARTIC WHITE SPECKLE
BOH FLOOR TILE	COVE BASE: CMC -BRAZIL NATAL	B2	---	---	---	---	6" x 12" BLACK SPECKLE
	CMC -METRO TREAD	CT3	CREATIVE MATERIALS CORPORATION	---	---	---	---
	COVE BASE: DALTILE	B3	DALTILE	OQ76	GRAY	GRAY	6" QUARRY SMOOTH SURFACE P-3665
WALL FINISH	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	TYPE	REMARKS
DINING WAINSCOT	4" x 4" SCORED MARLITE	W1	MARLITE	C 100-G44	WHITE	---	
BOH WALLS	FRP	W3	VARIOUS	---	WHITE	---	
KITCHEN	18 GAUGE SS	W4	VARIOUS	---	---	---	REFERENCE FINISH PLAN AND INTERIOR ELEVATIONS FOR LOCATION(S)
KITCHEN	18 GAUGE QUILTED	W4Q	VARIOUS	---	---	---	4" x 4" QUILTED (NOT SCORED) REFERENCE FINISH PLAN AND INTERIOR ELEVATIONS FOR LOCATION(S)

EXTERIOR FINISH SCHEDULE

EXTERIOR PAINT	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	REMARKS
BUILDING WALLS	PAINT	A	WILKO	#937.97	FREDDY'S BEIGE	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAINT
BUILDING TRIM	PAINT	B	WILKO	#933.37	FREDDY'S PEARL	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CONE	PAINT	C	WILKO	#937.37	BISKET BEIGE	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CUSTARD	PAINT	D	WILKO	#931.17	ICE WHITE	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
EXTERIOR BRICK	DESCRIPTION	FINISH NO.			COLOR	REMARKS
BUILDING BRICK	BRICK	BRICK-1	ACME		RED COLORADO "M" W/ NO BLACK	
METAL COPING	DESCRIPTION	FINISH NO.			COLOR	REMARKS
BUILDING COPING	COPING	MTL-1	PAC-CLAD		CARDINAL RED	
ALUMINUM WINDOWS	DESCRIPTION	FINISH NO.			COLOR	REMARKS
BUILDING WINDOWS	STOREFRONT WINDOWS	AL-1			DARK BRONZE -VERIFY W/OWNER	ANODIZED ALUMINUM STOREFRONT FRAMES W/ THERMAL BREAK & 1" INSULATED, SOLARBAN 60 CLEAR INSULATED LOW E TEMPERED GLAZING

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
0"=1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY



© COPYRIGHT 2017 ASPECT INC.

DRAWN BY: JAS
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA
ARCHITECTURAL
DOOR & FINISH SCHEDULES

DRAWING

A600

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:

Case No. REZ17-06: Request of David A. Parochetti dba David A. Parochetti Revocable Trust to remove conditions of City Ordinance 1999-569 on 0.70 acre located at the northwest corner of West Kimberly Road and Sturdevant Street (1616 West Kimberly Road and 3910 Sturdevant Street). The previous development was to be a Schnucks grocery store. Removal of the conditions would allow development of a quick service restaurant.

ATTACHMENTS:

Type	Description
 Resolution Letter	REZ17-06 Preview

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:56 PM



City of Davenport
Community Planning & Economic Development Department
PREVIEW STAFF REPORT

Meeting Date: July 18, 2016
Request: Remove conditions City Ordinance 1999-569
Address: 1616 W Kimberly Rd & 3910 Sturdevant St
Case No.: REZ17-06
Applicant: David A Parochetti dba David A Parochetti Revocable Trust

Recommendation:

There is no recommendation at this time.

Introduction:

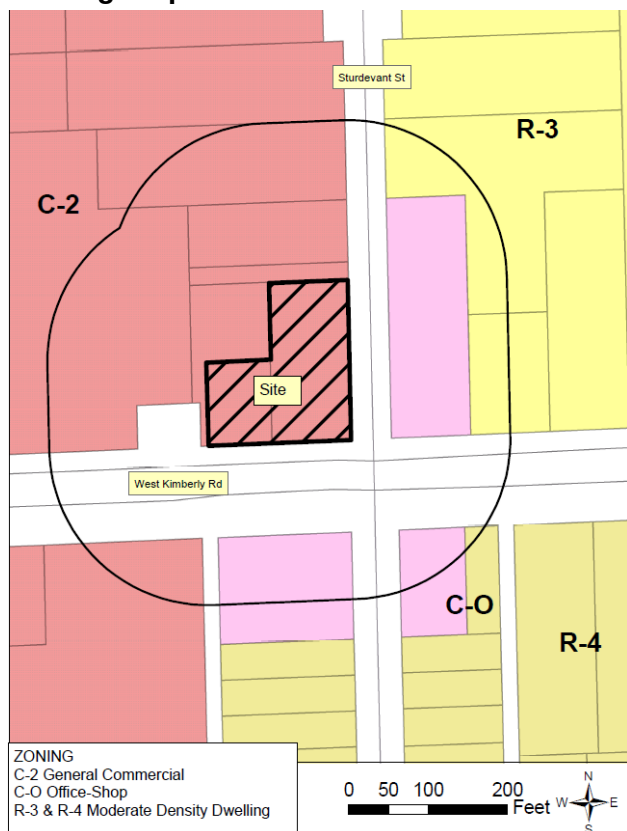
Request of David A. Parochetti dba David A. Parochetti Revocable Trust to remove conditions of City Ordinance 1999-569 on 0.70 acre located at the northwest corner of West Kimberly Road and Sturdevant Street (1616 West Kimberly Road and 3910 Sturdevant Street). The previous development was to be a Schnucks grocery store. Removal of the conditions would allow development of a quick service restaurant.

AREA CHARACTERISTICS:

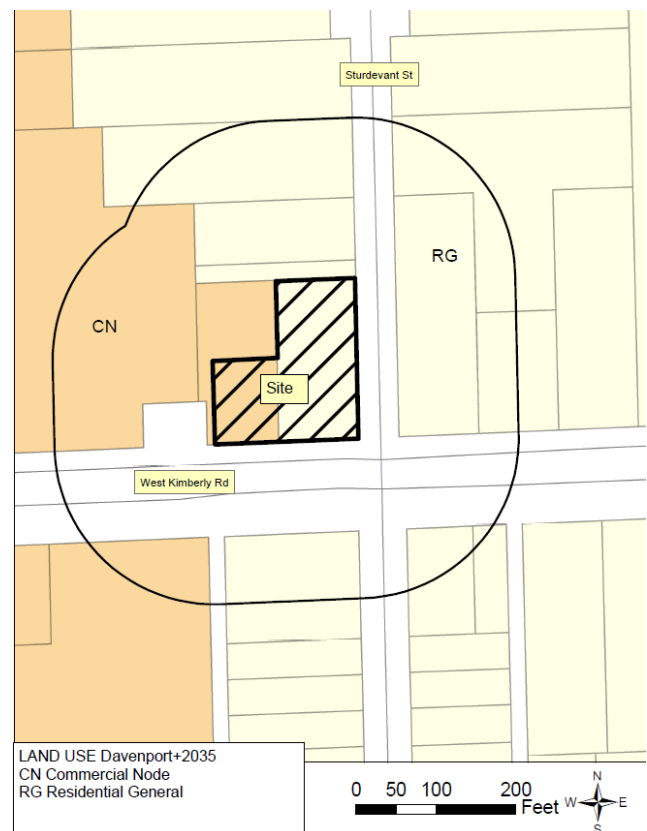
Aerial



Zoning Map



Land Use



Background:

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Boundary +2035: Yes

Future Land Use Designation: *Residential General (RG)* - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Commercial Node (CN) – Clusters of generally more intense uses found either along existing Urban Corridors or along or at the intersection of major streets in newly developed areas. CN areas may contain commercial uses somewhat more intense than uses found elsewhere on Urban Corridors, as well as higher density residential uses and office and service businesses. CN should serve a population of about 5000 people within 1/2 mile. Ideally, CN areas should be architecturally integrated, and designed to serve all modes of transportation. Pedestrian connections to the neighborhoods they serve are important. Therefore, master planning and customized zoning provisions for new CN areas should occur before development or redevelopment occurs.

Relevant Goals to be considered in this Case:

Identify and reserve land for current and future development – *encourage a full range of development.*

Zoning:

The property is currently zoned "C-2" General Commercial District; rezoned from "R-3" by City Ordinance 1999-569 in preparation for a Schnucks market development..

Technical Review:

Streets. The property is located at the northwest intersection of West Kimberly Road and Sturdevant Street. Access would be from the existing point on Kimberly Road and across from the northerly access to the dental office.

Storm Water. Stormwater infrastructure is located in Kimberly Road.

Sanitary Sewer. Sanitary sewer service is located in Sturdevant Street adjacent to the property (8-inch line).

Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located approximately 1-1/4 miles from Fire Stations No. 3 at 3506 Harrison Street.

Parks/Open Space. The proposed rezoning does not impact any existing or planned parks or public open spaces.

Public Input:

A public hearing before the Plan and Zoning Commission is scheduled for August 1st. The neighborhood meeting was held July 6th. Concerns raised at the neighborhood meeting dealt with traffic on Sturdevant Street, access points, stacking distances, lighting and both storm and sanitary sewers.

Discussion:

The property was part of the rezoning to allow for the Schnucks market. The rezoning placed a number of conditions related to traffic improvements, especially related to the Kimberly and Division intersection as well as access restrictions (please refer to the attachment). The petitioner is proposing to remove those conditions but is open to conditions related to the proposed project.

Staff Recommendation:

There is no recommendation at this time.

Prepared by:

Wayne Wille, CFM - Planner II
Community Planning Division



Concept plan

\$16.00

04876-200

99-569

ORDINANCE NO.

ORDER OF

ORDINANCE for the rezoning of 4.8 acres, more or less, of real property located north of West Kimberly Road between Division and Sturdevant Streets from "R-3" Moderate Density Dwelling District to "C-2" General Commercial District to facilitate retail development. Schnuck Markets, Inc., petitioner.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

SECTION 1. The following described unit of Scott County, Iowa real estate is hereby rezoned from "R-3" Moderate Density Dwelling District to "C-2" General Commercial District - Schnuck Markets, Inc., petitioner. The property has the following legal description:

Part of the Southwest Quarter of the Northeast Quarter of Section 15, Township 78 North, Range 3 East of the 5th P.M. being more particularly described as follows:

Lot 1 (except the South 15.5 feet) of Ken's Addition also known as a replat of Lot 17 of Victory Acres an addition to the City of Davenport, Iowa; and Lot 16 (except the south 15.5 feet), the East 200 feet of Lot 19, Lot 20 (except the West 35 feet), Lot 21, Lot 22, the East 200 feet of Lots 23 and 24, and the West 209.47 feet of Lot 25 all in Victory Acres, an addition to the City of Davenport, Iowa. Combined parcels contain 4.8 acres, more or less.

The rezoning is to facilitate development of a Schnuck's Market. The rezoning is subject to the following special conditions:

1. that the petitioner dedicate 15 feet of right-of-way the length of its Kimberly Road frontage and construct right turn deceleration lanes for all driveways at its sole expense as per City specifications and shall be constructed prior to the issuance of occupancy permits. All Kimberly Road driveways shall also meet Iowa Department of Transportation standards;
2. that the site will be limited to a single driveway on Sturdevant Street (the northernmost). The City of Davenport shall approve the design of said driveway which will be limited to right turn only turning movements for customers leaving the store, said turn lanes shall be constructed prior to the issuance of occupancy permits;
3. that the petitioner contribute \$350,000 to be put in an escrow account prior to the issuance of any building permit for the purpose of rebuilding the West Kimberly Road and Division Street intersection. The City would construct the improvements when funding is available for the entire intersection project. The provisions of this condition will be superseded if the petitioner and the City enter into a separate street construction agreement to address the obligations related to the Kimberly-Division intersection;
4. that the petitioner dedicate 10 feet of right-of-way the length of its Division Street frontage;
5. that the development shall be limited to a single driveway access to Division Street (at 40th Street) unless a shared driveway is arranged with the convenience store/service station. Deceleration lanes will not be required on Division Street, however, left turn lanes for driveways shall be required and constructed at the

petitioner's sole expense and shall be completed prior to the issuance of occupancy permits;

6. that the architectural elevations and materials shall be approved by the City of Davenport Plan and Zoning Commission Design Review Committee and shall meet the architectural standards of the "HCOD" Highway Corridor Overlay District ordinance. The architectural design and materials shall be similar to those shown in Exhibit "B";

7. that 5 percent of the project parking area have a permeable surface and be in landscapes peninsulas and islands;

8. that a landscape plan be submitted to and approved by the City of Davenport. The plan shall include berming, landscaping and a six foot privacy fence at the project's rear property line or other location agreed to by Our Lady of Victory Church. Landscape materials shall meet the requirements of the "HCOD" Highway Corridor Overlay District ordinance;

9. that signage shall be limited to two 15 foot monument or ground signs constructed with a masonry base and building mounted signage and that no billboards will be allowed on this site;

10. that a site plan in conformance with the requirements of Chapter 17.56 of the 1995 Davenport Municipal Code entitled "Site Plans" be submitted to, and approved by, the City of Davenport prior to the issuance of any building or foundation permit;

11. that the petitioner agree to install and pay for speed bumps in the driveway of Our Lady of Victory Church to discourage Schnuck's customers from cutting through the property, if requested by the Church;

12. that the project lighting be limited to downcast luminaries and that lighting be directed away from neighboring properties; and

13. that a stormwater management plan for the subject property at full projected development be submitted to and approved by the Engineering Division of the Public Works Department in writing prior to the issuance of any building permit and that such plan allow no increase in stormwater runoff.

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

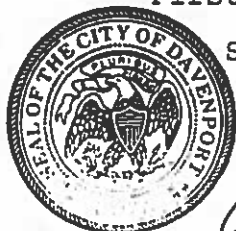
REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective after its final passage and publication as by law provided.

First Consideration December 15, 1999

Second Consideration December 15, 1999

Approved December 15, 1999



Attest:

Jackie E. Raggsdale
Jackie E. Raggsdale, CMC
Deputy City Clerk

Phillip C. Yerington
Phillip C. Yerington, Mayor

Published in the Quad City Times on December 28, 1999.

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development
Department
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:

Case No. REZ17-07: Petition of TWG Development, LLC for the proposed rezoning of approximately 1.90 acres located at the northwest corner of West 4th Street and Warren Street from M-1, Light Industrial District to C-4, Central Business District [3rd Ward].

Recommendation:

Preview item only; no recommendation.

Relationship to Goals:

Urban Revialization

Background:

Proposed rezoning is necessary to accommodate a 54 unit apartment building. Developer is seeking financing from the State of Iowa's Workforce Housing program.

See attachments for staff report and additional information.

ATTACHMENTS:

Type	Description
Backup Material	Staff Report and Background Information

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	7/13/2017 - 4:13 PM



PLAN AND ZONING COMMISSION

Meeting Date: July 18, 2017
Request: Proposed rezoning of approximately 1.90 acres located at the northwest corner of West 4th Street and Warren Street from M-1 Light Industrial District to C-4, Central Business District. [3th Ward]
Case No.: REZ17-07
Applicant: TWG Development, LLC
Contact: Matthew G. Flynn, AICP
Senior Planning Manager
matt.flynn@ci.davenport.ia.us
563-888-2286

Recommendation:

None; preview item only.

Background:

TWG Development, LLC is applying for Workforce Tax Credits from the State of Iowa for a proposed 54 unit apartment building located at the corner of West 4th Street and Warren Street.

The property is currently a parking lot, and one small vacant commercial building that once housed the tire center for Sears. Sears moved to Northpark Mall in the early 1980's.

The property is currently zoned M-1, Light Industrial. This classification only allows residential as an adaptive reuse project or on a block that is already significantly residential. That is not the case so a rezoning is necessary.

Across the street is the edge of the C-4, Central Business District. The proposed rezoning is to C-4.

Comprehensive Plan. The property is located within the area designated as DT-Downtown in the Comprehensive Plan. DT is described as follows:

Downtown (DT) – the original center of the City, marked by historical buildings, regional cultural attractions, large scale single-purpose or mixed-use developments, government or institutional centers. Development in DT shall be governed by detailed design guidelines marked by high quality design and building materials, set in an environment that is supportive of all transportation modes, including pedestrian.

Technical Review:

Requests for technical review comments have been distributed and will be made available prior to staff recommendation.

Public Input:

A public meeting concerning this development will be held at 6:30 pm Monday, July 24th in the Council Chambers.

See attached plans for additional information.

REZONING REQUEST NO. _____
OFFICE OF PLANNING AND LAND USE
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT
CITY OF DAVENPORT

City Hall * Second floor
Phone: (563) 326-7765
Fax: (563) 328-6714
planning@ci.davenport.ia.us

Legal Description:

ADDRESS OF PROPERTY: 902 W. 4th Street EXISTING ZONING: M-1
REQUESTED ZONING: C-4
TOTAL AREA: 1.90 acres/82,764sf

PETITIONER: Name: TWG Development, LLC - Sam Rogers - Development Director
Address: 333 North Pennsylvania Street, Suite 100, Indianapolis, IN 46204
Phone: (317)-983-6597 FAX: (317)-983-6597
Mobile Phone: (317)-417-1533 Email: srogers@twgdev.com
Interest in land: _____ title holder X other **
** if petitioner is other than title holder, documentation will be required to show control of property – accepted offer to purchase, offer, option, etc.

TITLE HOLDER: Name: RDB, L.C. - Daniel Burke
Address: 936 W. 4th Street, Davenport, IA 52802
Phone: (563)-322-3578 FAX: (563)-322-3987
Mobile Phone: (563)-505-1359 Email: dan@burkecleaners.com

CONTACT PERSON: Name: Sam Rogers - Development Director
Address: 333 North Pennsylvania Street, Suite 100, Indianapolis, IN 46204
Phone: (317)-417-1533 FAX: (317)-417-1533
Mobile Phone: (317)-417-1533 Email: srogers@twgdev.com

EXPLANATION OF REZONING (for Public Hearing Notice) TWG Development would like to submit this site in the next Iowa Finance Authority 9% Low Income Housing Tax Credit round for a 52-unit affordable, multi-family development

Does the property contain a drainage way or floodplain area: ____ Yes X No

Signature of Petitioner:  Date: July 7, 2017

Rezoning Fee Schedule:

Land Area	Fee
Less than 1 acre (< 1 acre)	\$400
One acre to less than ten acres (≥ acre < 10 acres)	\$750 plus \$25/acre *
Ten acres or more (≥ 10 acres)	\$1,000 plus \$25/acre*

* plus \$10.00 per sign; 1 or more signs required depending upon the size of the subject property

Honorable Mayor and City Council
City Hall
Davenport, Iowa 52801-1308

Honorable Mayor and City Council:

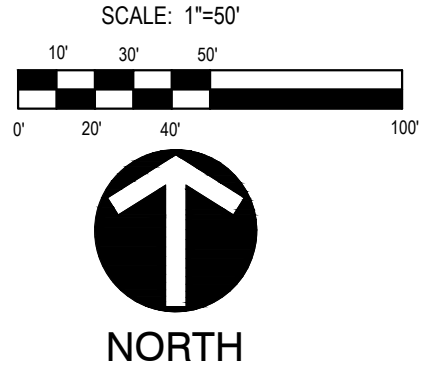
The undersigned, hereby petitions your honorable body to amend the Zoning Ordinance of 1981
of the City of Davenport, Iowa by changing the zoning classification
from M-1 Light Industrial
to C-4 Central Business District
for the following legally described real property:

Respectfully submitted,



Sam Rogers - TWG Development, LLC

Date: July 7, 2017



NOTE:

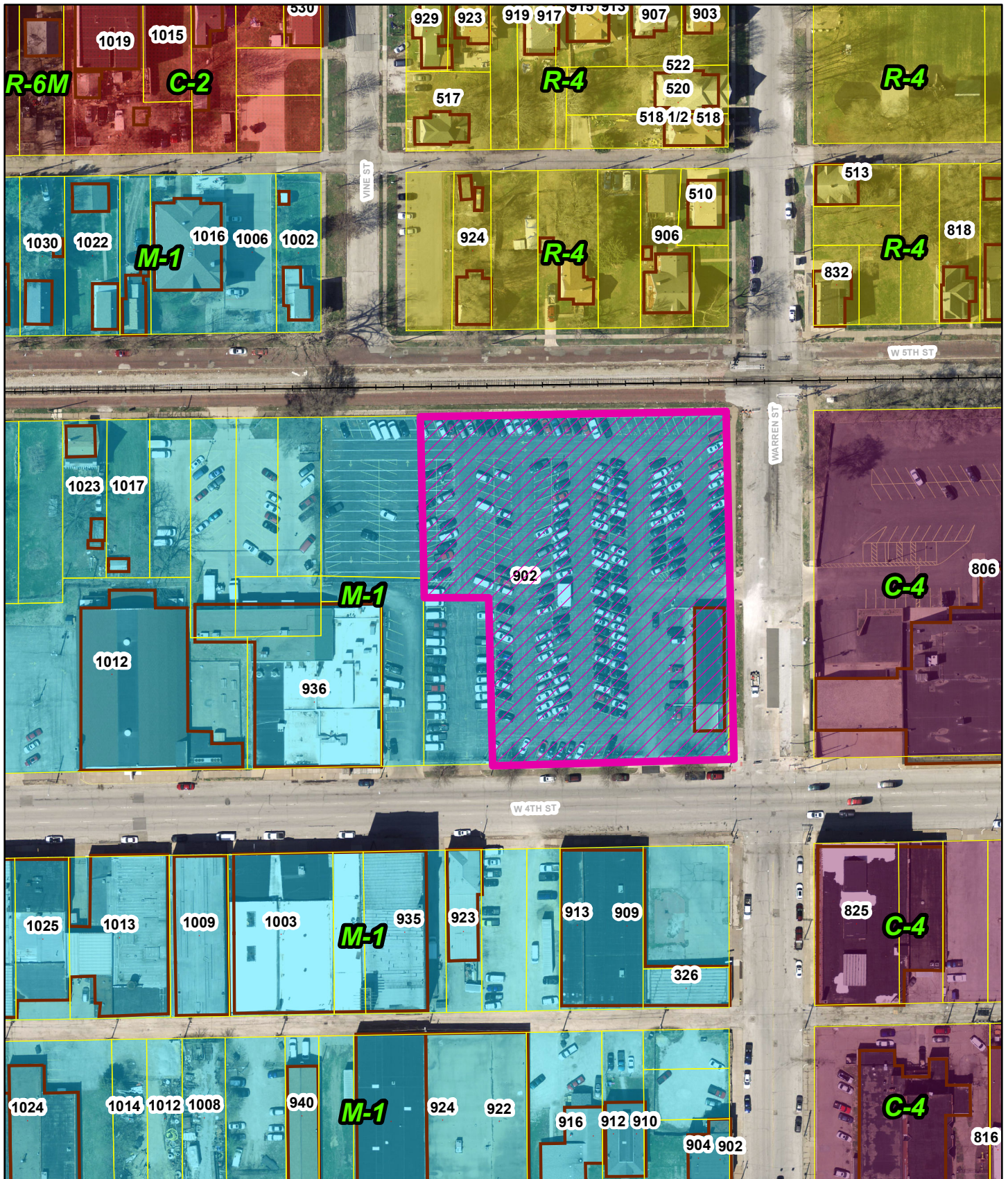
THIS CONCEPT PLAN IS SUBJECT TO FULL ZONING ORDINANCE REVIEW AND IS INTENDED FOR CONCEPTUAL PURPOSES ONLY. VARIANCES, SPECIAL LAND USE OR REZONING MAY BE REQUIRED FOR THE DESIRED USE AND LAYOUT. REVIEW SITE LAYOUT WITH PROPOSED TENANT AS THEY MAY HAVE SPECIAL REQUIREMENTS. TENANT SHALL REVIEW THAT THEIR SPECIFIC TRUCKING REQUIREMENTS WORK FOR THE SITE. NO SURVEY WORK OR FIELD VISIT PERFORMED. SITE MAY HAVE PHYSICAL CONSTRAINTS (TOPOGRAPHY, SOILS, SPECIAL FEATURES, WETLANDS, WOODLANDS, UTILITY AVAILABILITY, ACCESS, ETC.), NOT FOR CONSTRUCTION.

SITE DATA

ACREAGE: 1.9 ACRES
UNIT COUNT (3 STORY BUILDING): 52 (12-1BR; 24-2BR; 16-3BR)
PARKING PROVIDED: 63 SPACES TOTAL (1.21/UNIT)

TWG DEVELOPMENT, LLC 333 N PENNSYLVANIA ST SUITE 100 INDIANAPOLIS, IN 46204 317.559.7002		DATE: 07/07/2017	PROJECT NO: 17-042	SCALE: 1"=50'
CONCEPT PLAN 4TH AND WARREN DAVENPORT, IA		SHEET NO: ASP1		
		REVISED DATE	DESCRIPTION	

REZ17-07
TWG Development M-1 to C-4



0 150 300 600 900 1,200 Feet

EXISTING ZONING



REZ17-07

FUTURE LAND USE MAP



City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
7/18/2017

Subject:

- Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
- Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
- A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting:

Tuesday, August 01 2017 at 5:00 P.M. in the Council chambers of Davenport City Hall - 226 West 4th Street

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/13/2017 - 5:57 PM