

PLAN AND ZONING COMMISSION MEETING

CITY OF DAVENPORT, IOWA

TUESDAY, JUNE 6, 2017; 5:00 PM

CITY HALL 226 W 4TH ST DAVENPORT IOWA

COMBINED PUBLIC HEARING AND REGULAR MEETING AGENDAS

PUBLIC HEARING AGENDA

I. New Business

- A. Case No. REZ17-04: Proposed rezoning of approximately 17.88 acres located north of the intersection of Fairhaven Road and East 53rd Street from A-1 Agriculture District and R-1 Low Density Residential District to PDD, Planned Development District [6th Ward]

II. Next Public Hearing

- A. Tuesday, June 20, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REGULAR MEETING AGENDA

I. Roll Call

II. Report of the City Council Authority

III. Secretary's Report

- A. Approve minutes of 05-16-17 regular meeting

IV. Report of the Comprehensive Plan Committee

V. Zoning Activity

A. Old Business

B. New Business

VI. Subdivision Activity

A. Old Business

B. New Business

- i. **Case No. F17-11:** Final plat of Windsor Meadows Commercial Park Third Addition, being a replat of Lot 1 Windsor Meadows Commercial Park Second Addition, located on the west side of Elmore Avenue north of Kimberly Road, containing one (1) commercial lot on 0.46 acre, more or less.

VII. Future Business - Preview of items for the June 20th public hearing and/or regular meeting

(note-not all items to be heard may be listed):

- A. Case No. FDP17-04: Final Development Plan for a 17.88 acre tract located north of the intersection of Fairhaven Road to allow construction of a 156, 170 sq. ft. retail store and associated fuel island facility (Costco). [6th Ward]
- B. Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.
- C. Case No. F17-12: Final plat of Riverview Collective on Sixth, being a replat of Lots 1-6 and the East 33 feet of Lot 7 of Block 147 of LeClaire's 12th Addition, located on the north side of East 6th Street between Sylvan and Grand Avenues, containing six (6) residential lots on 1.47 acres, more or less.
- D. Case No. F17-13: Final plat of Crow Valley Plaza Tenth Addition, being in part a replat of Lot 1 of Midland Group Addition, Lot 1 of Crow Valley Plaza Second Addition and Lot 1 of Crow Valley Plaza Seventh Addition, located north of East 56th Street and east of Utica Ridge Road, containing four (4) commercial lots on 35.30 acres, more or less.
- E. Case No. F17-14: Final plat of Falcon Pointe First Addition, being a replat of Lot 3 of Eagle's Crest First Addition, located south of West Locust Street and west of Emerald Drive, containing 39 residential lots and one (1) outlot on 22.16 acres, more or less. Detention is on a separate outlot south of the plat on 3.39 acres, more or less.

VIII. Communications

- A. **(Time open for citizens wishing to address the Commission on matters not on the established agenda)**

IX. Other Business

X. Adjourn

- A.
 - Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
 - Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
 - A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.
 -

Next Public Hearing/Regular Plan & Zoning Meeting: Tuesday, June 20, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
6/6/2017

Subject:

PUBLIC HEARING AGENDA

OLD BUSINESS –

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 2:07 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development
Contact Info: Matt Flynn, 888-2286

Date
6/6/2017

Subject:

Case No. REZ17-04: Proposed rezoning of approximately 17.88 acres located north of the intersection of Fairhaven Road and East 53rd Street from A-1 Agriculture District and R-1 Low Density Residential District to PDD, Planned Development District [6th Ward]

Recommendation:

Hold the Public Hearing

Relationship to Goals:

Grow Tax Base

Background:

This rezoning, if approved, would allow the development of a 156,170 square foot Costco wholesale club and associated fuel island facility.

ATTACHMENTS:

Type	Description
▣ Backup Material	Public Hearing Staff Report and Attachments

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:50 PM



PLAN AND ZONING COMMISSION

Meeting Date: June 6, 2017
Request: Proposed rezoning of approximately 17.88 acres, located north of the intersection of Fairhaven Rd. and E 53rd Street, from A-1 Agriculture District and R-1 Low Density Residential District to PDD, Planned Development District [6th Ward]
Case No.: REZ17-04
Applicant: Costco Wholesale Corporation
Contact: Matthew G. Flynn, AICP
Senior Planning Manager
mflynn@ci.davenport.ia.us
563-326-7743

Recommendation:

Hold the public hearing. Staff will present a recommendation on the proposed rezoning at its June 20, 2017 meeting.

Introduction:

Costco Wholesale Corporation proposes to construct a 156,170 sq. ft. retail facility and associated fuel facility on this property. A final development plan for the project will be considered separately (see preview item included in this agenda packet).

Background:

Surrounding conditions: See attachments.

Comprehensive Plan: The Property is within the current Urban Service Boundary (USB).

This property is designated Residential General (RG) on the Future Land Use Map in Davenport+2035.

Residential General (RG) – “Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.”

In order to contribute to the justification of rezoning this property, a change in designation to Regional Commercial (RC) may be warranted.

Regional Commercial (RC) is defined as follows – “the most intense commercial areas that have service boundaries that extend beyond the City limits of Davenport. Areas designated RC should be located at the intersections of major streets and have good access to interstate and other highways. Typical uses include big box retail and large office complexes; although some residential, service and institutional uses may also be located within RC. Most people will drive or take transit to areas designated RC. However, good pedestrian systems should serve these areas and focus on connectivity from the street, through parking lots and between individual uses with connectivity to nearby neighborhoods being less important.”

Davenport 2025 provides guidance for when an amendment to the future land use map may be considered:

Proposed Land Use Map

The Proposed Land Use Map is the document most people think of when they hear the words “comprehensive plan.” While it is true the map is a strong graphic representation of how and where a community proposes to develop, it is but one part of the larger comprehensive plan document. Concerning the map, communities are faced with several issues:

- How is the map currently used?
- How should the map be used?
- When should the community consider change to the map?

The map provides a picture of what the community’s desired land use patterns will be at the completion of a planning horizon. To arrive at the future pattern, planners begin with an accounting of existing conditions, and then refine the map to include changes such as new roads, new parks, anticipated development, and potential physical expansion (e.g., annexation). Ideally, policies, programs, and projects found within the comprehensive plan strongly influence how the map is drawn. The map can be used to guide planning decisions toward what the community ultimately expects to happen on parcels of land. The map can also assist developers in gauging potential community acceptance and/or support of projects.

There are several things to remember about the Proposed Land Use Map.

First, the map cannot be construed as infallible. The map is (at best) a snapshot forecast of the future based on certain projections, and if the projections (e.g., population or economic forecasts) do not hold true, the map is likely to be inaccurate.

Second, the validity of the map depends heavily on completion of proposed improvements. For example, if the development of new residential areas depends on a new road being built, and the road does not get built, the residential areas will be hard-pressed to take off.

Third, the map is based on a planning horizon (in Davenport 2025’s case, twenty years), and the more distant the horizon, the greater the likelihood the map will eventually prove incorrect due to unforeseen circumstances.

Finally, the map should not be changed without due consideration. The map is designed to provide a picture of how the community wants to develop. If the map is regularly modified to accommodate non-conforming development (e.g., commercial areas where residential areas were called for, etc.), the map is undermined because the relationship is lessened between the map and the principles that guided its development.

With these disclaimers in mind, one can consider Davenport’s Proposed Land Use Map, how it is currently used, how it may be used in the future, and when it may be beneficial to consider changing the map.

If the proposed rezoning is ultimately approved, an amendment to the Future Land Use Plan reflecting the change should be made a condition of the request.

Land Use Plan. The Code requires a Land Use Plan be submitted for property prior to submittal for a final development plan approval. Often, this step is skipped as developers are ready to move forward with a specific development proposal.

The proposed site is part of the larger Schaefer farms property. There are no plans to connect streets or driveways to the north as it is anticipated this property will be developed as residential. Staff has suggested to the developer to comment on the feasibility of a pedestrian connection from the property to the north. A final recommendation on this link will be made as part of staff's recommendation prior to the June 20 Plan and Zoning Commission meeting.

Technical Review:

Urban services to this property exist or are proposed to be extended in the near future.

Fire Station 8 is located adjacent to the site.

The property is directly served by Citibus via the HDC Express Line, Blue Line and is within ¼ mile of the Yellow Line.

The Public Works Department has completed its preliminary review with respect to traffic, stormwater detention, etc. The ability of 53rd street to accommodate additional traffic generated by this development will need to be closely evaluated. 53rd Street is a major arterial street and planned and designed to carry heavy traffic. Any development of the site will add traffic to 53rd Street. See attached memorandum for additional information.

Public Input:

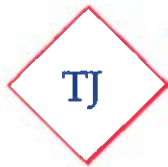
A public Informational meeting was held on April 20, 2017. Approximately 150 attended.

Two signs have been posted on the property.

Notice of this public hearing was published in the May 26th edition of the Quad City Times.

Two separate notices were mailed out; one to those within the 200 foot legal protest area (16 addresses) and one to those nearby, but outside of the 200 foot boundary (295 addresses).

To date, no protests have been received.



Design Strategies, LTD.

planning . site development . consulting

May 11, 2017

Mr. Matt Flynn, AICP
Senior Planning Manager
City of Davenport, Iowa
226 West 4th Street
Davenport, IA 52801

RE: Costco Wholesale
Rezoning Request &
Final Development Plan Application

Dear Matt:

On behalf of our client, Costco Wholesale Corporation, please find enclosed the following documents in support of their request for rezoning and final development plan applications for approximately 17.88 acres located at the NEC of E 53rd Street and Elmore Circle in Davenport:

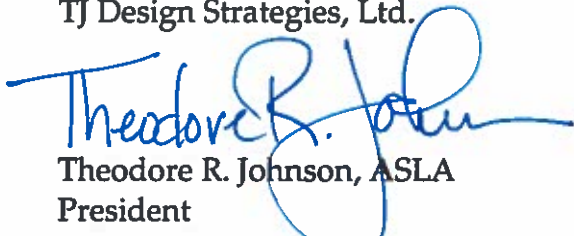
- Executed Applications for Rezoning, Final Development Plan and Letter request to Mayor and City Council for the Zoning Ordinance Amendment.
- Legal Description
- Copy of Purchase Agreement
- Check #4308 in the amount of \$2,470.00 for above application fees and two signs for notice on property.
- CD containing PDF files and one set 11x17 of the following drawings:
 - Concept Site Plan DD11-03
 - Concept Landscape Plan L-1
 - Photometric Plan SE-1
 - Signage Locations
 - Concept Warehouse Elevations
 - 3 Perspectives: Entry, Southwest Elevation, Northeast Elevation
 - Concept Fuel Elevations
 - Existing Conditions C1
 - Civil Site Plan C2
 - Grading Plan C3
 - Earthwork Plan C4
 - Utility & Storm Sewer Plan C5

- Neighborhood Meeting Attendance List from 5/04/17 with reduced print of the boards that were displayed at the meeting: Site/Landscape Plan, Aerial, Entry Perspective

We look forward to working with the City as it applies to these requests. If upon your review you require any additional documents and/or have any questions, please do not hesitate to contact our office.

Sincerely,

TJ Design Strategies, Ltd.



Theodore R. Johnson, ASLA

President

Costco Wholesale Authorized Representative

Enc.

REZONING REQUEST NO. _____
OFFICE OF PLANNING AND LAND USE
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT
CITY OF DAVENPORT

City Hall * Second floor
Phone: (563) 326-7765
Fax: (563) 328-6714
planning@ci.davenport.ia.us

Legal Description: See Attached

ADDRESS OF PROPERTY: Near Intersection E 53rd Street & Fairhaven Rd

EXISTING ZONING: R-1, R-2 & A-1

REQUESTED ZONING: PDD

TOTAL AREA: +/- 17.1 acres

PETITIONER: Name: Costco Wholesale Corporation
Address: 999 Lake Drive, Issaquah, WA 98027
Phone: 425-313-6549 FAX: 425-313-8114
Mobile Phone: _____ Email: bcoffey@costco.com
Interest in land: _____ title holder contract purchaser other **
** if petitioner is other than title holder, documentation will be required to show control of property – accepted offer to purchase, offer, option, etc.

TITLE HOLDER: Name: VTS Farm Parcel C, L.L.C. c/o Tom Pastrnak
Address: Pastrnak Law Firm PC, 313 W 3rd St., Davenport, IA 52801
Phone: 563-323-7737 FAX: 563-323-7739
Mobile Phone: _____ Email: _____

CONTACT PERSON: Name: Theodore R. Johnson, TJ Design Strategies, Ltd.
Address: 2311 W. 22nd Street, Suite 208, Oak Brook, IL 60523
Phone: 630-368-0840 FAX: 630-368-0845
Mobile Phone: 847-682-7733 Email: tjohnson@tjdesignltd.com

EXPLANATION OF REZONING (for Public Hearing Notice) Rezone +/- 17.1 acres currently zoned R-1, R-2 & A-1 to a Planned Development District in order to develop a member's only retail warehouse with accessory uses including a free standing fueling facility, attached tire center and detention area.

Does the property contain a drainageway or floodplain area: Yes X No

Signature of Petitioner: *Boyd Guy* Date: 4/19/17
Rezoning Fee Schedule: JVP/Corp. Counsel

Land Area	Fee
Less than 1 acre (< 1 acre)	\$400
One acre to less than ten acres ($\geq$ acre < 10 acres)	\$750 plus \$25/acre *
Ten acres or more (≥ 10 acres)	\$1,000 plus \$25/acre*

* plus \$10.00 per sign; 1 or more signs required depending upon the size of the subject property

LEGAL DESCRIPTION

Tract C described in the Plat of Survey recorded December 30, 2016 as Document No. 2016-00036749, and also the Plat of Survey recorded January 27, 2017 as Document No. 2017-00002337, in the records of the County Recorder, Scott County, Iowa.

Being a part of the Northeast Quarter of Section 7, Township 78 North, Range 4 East of the 5th Principal Meridian, Davenport, Scott County, Iowa, being more particularly described as follows:

Commencing, as a point of reference, at the northeast corner of the Northeast Quarter of said Section 7; thence South $89^{\circ} 43' 55''$ West 903.67 feet along the north line of the Northeast Quarter of said Section 7 to a point on the west line of the East 55 acres of the Northeast Quarter of said Section 7; thence South $00^{\circ} 06' 45''$ West 1522.80 feet along the west line of the East 55 acres of the Northeast Quarter of said Section 7, also being the east line of Jersey Meadows Ninth Addition, Jersey Meadows Seventh Addition, Jersey Meadows Tenth Addition and Jersey Meadows Second Addition to the City of Davenport, Iowa, to the POINT OF BEGINNING of the tract of land hereinafter described; thence North $89^{\circ} 41' 45''$ East 683.11 feet to the northwest corner of Lot 2 of Lakehurst Commercial Park Fifth Addition to the City of Davenport, Iowa; thence South $00^{\circ} 18' 15''$ East 1083.75 feet along the west line, and west line extended southerly, of said Lot 2 to a point on the northerly right of way line of East 53rd Street as now established in the City of Davenport, Iowa; thence South $89^{\circ} 41' 45''$ West 690.99 feet along the northerly right of way line of said East 53rd Street to the southeast corner of Lot 1 of Jersey Meadows Second Addition; thence North $00^{\circ} 06' 45''$ East 1083.78 feet along the west line of the East 55 acres of the Northeast Quarter of said Section 7, also being the east line of said Jersey Meadows Second Addition, to the point of beginning.

Honorable Mayor and City Council
City Hall
Davenport, Iowa 52801-1308

Honorable Mayor and City Council:

The undersigned, hereby petitions your honorable body to amend the Zoning Ordinance of 1981 of the City of Davenport, Iowa by changing the zoning classification

from R-1, R-2 & A-1

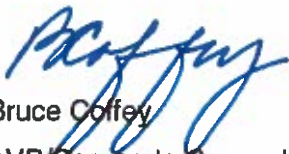
to Planned Development District

for the following legally described real property:

Tract C described in the Plat of Survey recorded December 30, 2016 as Document No. 2016-00036749, and also the Plat of Survey recorded January 27, 2017 as Document No. 2017-00002337, in the records of the County Recorder, Scott County, Iowa.

Being a part of the Northeast Quarter of Section 7, Township 78 North, Range 4 East of the 5th Principal Meridian, Davenport, Scott County, Iowa, being more particularly described as follows: Commencing, as a point of reference, at the northeast corner of the Northeast Quarter of said Section 7; thence South 89° 43' 55" West 903.67 feet along the north line of the Northeast Quarter of said Section 7 to a point on the west line of the East 55 acres of the Northeast Quarter of said Section 7; thence South 00° 06' 45" West 1522.80 feet along the west line of the East 55 acres of the Northeast Quarter of said Section 7, also being the east line of Jersey Meadows Ninth Addition, Jersey Meadows Seventh Addition, Jersey Meadows Tenth Addition and Jersey Meadows Second Addition to the City of Davenport, Iowa, to the POINT OF BEGINNING of the tract of land hereinafter described; thence North 89° 41' 45" East 683.11 feet to the northwest corner of Lot 2 of Lakehurst Commercial Park Fifth Addition to the City of Davenport, Iowa; thence South 00° 18' 15" East 1083.75 feet along the west line, and west line extended southerly, of said Lot 2 to a point on the northerly right of way line of East 53rd Street as now established in the City of Davenport, Iowa; thence South 89° 41' 45" West 690.99 feet along the northerly right of way line of said East 53rd Street to the southeast corner of Lot 1 of Jersey Meadows Second Addition; thence North 00° 06' 45" East 1083.78 feet along the west line of the East 55 acres of the Northeast Quarter of said Section 7, also being the east line of said Jersey Meadows Second Addition, to the point of beginning.

Respectfully submitted,
Costco Wholesale Corporation


Bruce Coffey
AVP/Corporate Counsel

April 24, 2017

**CITY OF DAVENPORT
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT
FINAL DEVELOPMENT PLAN APPLICATION / REFERENCE FILE**

PDD / PUD / TND / M-3 (circle appropriate designation)

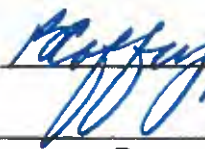
Location: Near the intersection of E. 53rd Street and Fairhaven Road

PETITIONER: Name: Costco Wholesale Corporation
Address: 999 Lake Drive, Issaquah, WA 98027
Phone: 425-313-6549 FAX: 425-313-8114
Mobile Phone: _____ Email: bcoffey@costco.com
Interest in land: _____ title holder contract purchaser other **
** if petitioner is other than title holder, documentation will be required to show control of property – accepted offer to purchase, offer, option, etc.

TITLE HOLDER: Name: VTS Farm Parcel C, L.L.C. c/o Tom Pastmak
Address: Pastmak Law Firm PC, 313 W 3rd St., Davenport, IA 52801
Phone: 563-323-7737 FAX: 563-323-7739
Mobile Phone: _____ Email: _____

CONTACT PERSON: Name: Theodore R. Johnson, TJ Design Strategies, Ltd.
Address: 2311 W. 22nd Street, Suite 208, Oak Brook, IL 60523
Phone: 630-368-0840 FAX: 630-368-0845
Mobile Phone: 847-682-7733 Email: tjohnson@tjdesignltd.com

EXPLANATION OF FINAL DEVELOPMENT PLAN PROPOSAL Develop a +/- 156,000 sf members only retail warehouse with accessory uses to include a free standing fueling facility, an attached tire center, 741 parking stalls, as well as a 0.98 acre detention pond on the overall 17.10 acres. There will also be a 0.78 acre landscape buffer on the north end of the parcel.

Signature of Petitioner: 

Date: 4/19/17

Processing Fee	Fee
Less than one acre (< 1 acre)	\$500
One acre or more (≥ 1 acre)	\$1,000



City of Davenport

City of Davenport
FINANCE - REVENUE
226 W 4th St
Davenport, IA 52801
563-326-7707

www.cityofdavenportiowa.com

010732-0036 Brian K. 05/15/2017 03:28PM

MISCELLANEOUS

Description: REZONING
(ZR)

REZONING

1 @ 2,470.00

REZONING

2,470.00

Payment Id: 253802

2,470.00

Subtotal

2,470.00

Total

2,470.00

CHECK

2,470.00

Check Number 004308

Change due

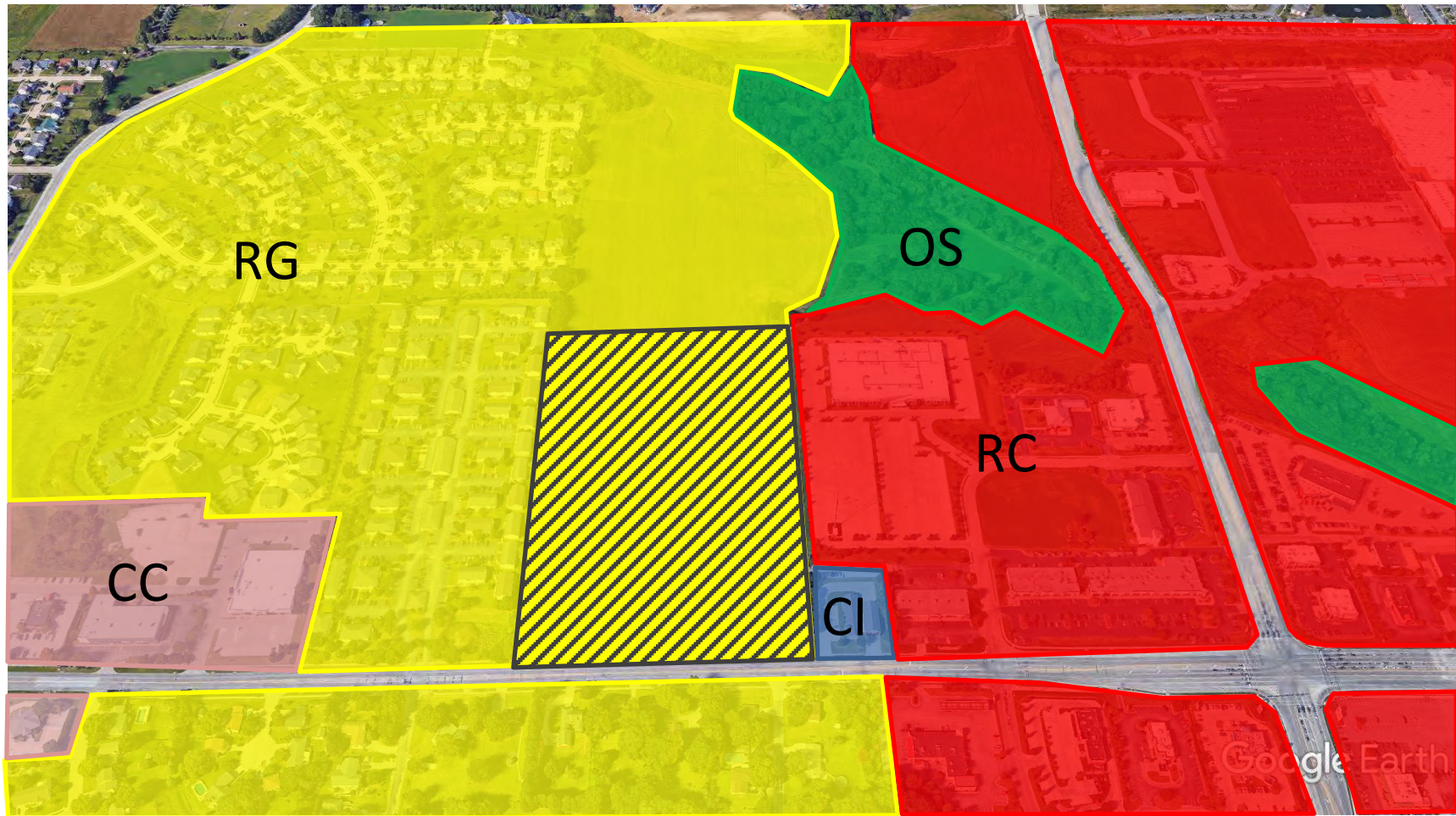
0.00

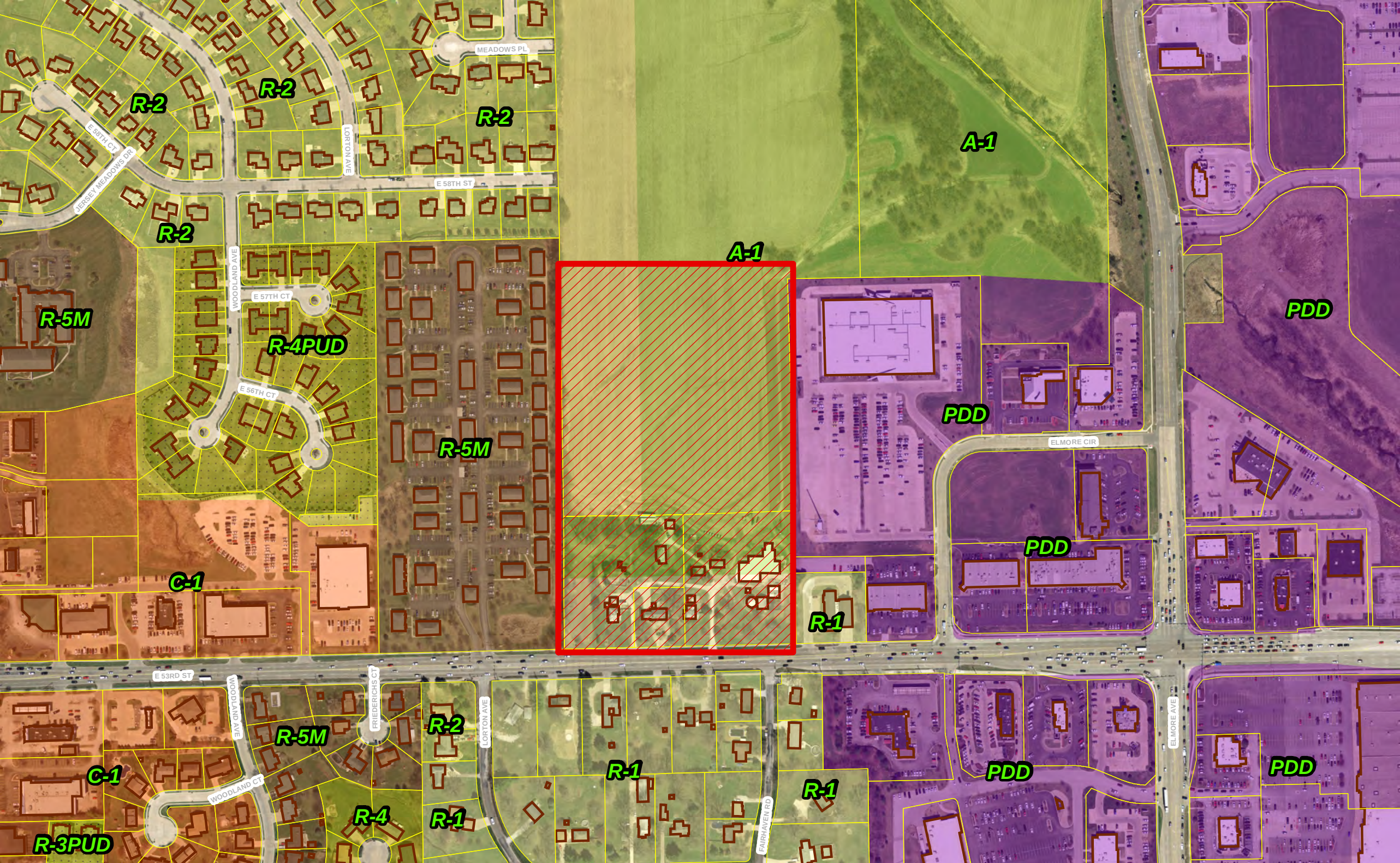
Paid by: TJ DESIGN STRATEGIES LTD

Comments: FINAL DEVELOPMENT PLAN >1 ACRE
REZOING APPLICATION > 18 ACRES PLUS TWO
NOTICE SIGN

TJ DESIGN STRATEGIES LTD 217 WEST 10th ST Davenport, IA 52801		4308	
PAID TO: City of Davenport		5 500 017	
Two Thousand Four Hundred Seventy and 00/100		5 500 017 00	
City of Davenport		DOLLAR NO. 3	
4/1/17		The [Signature]	

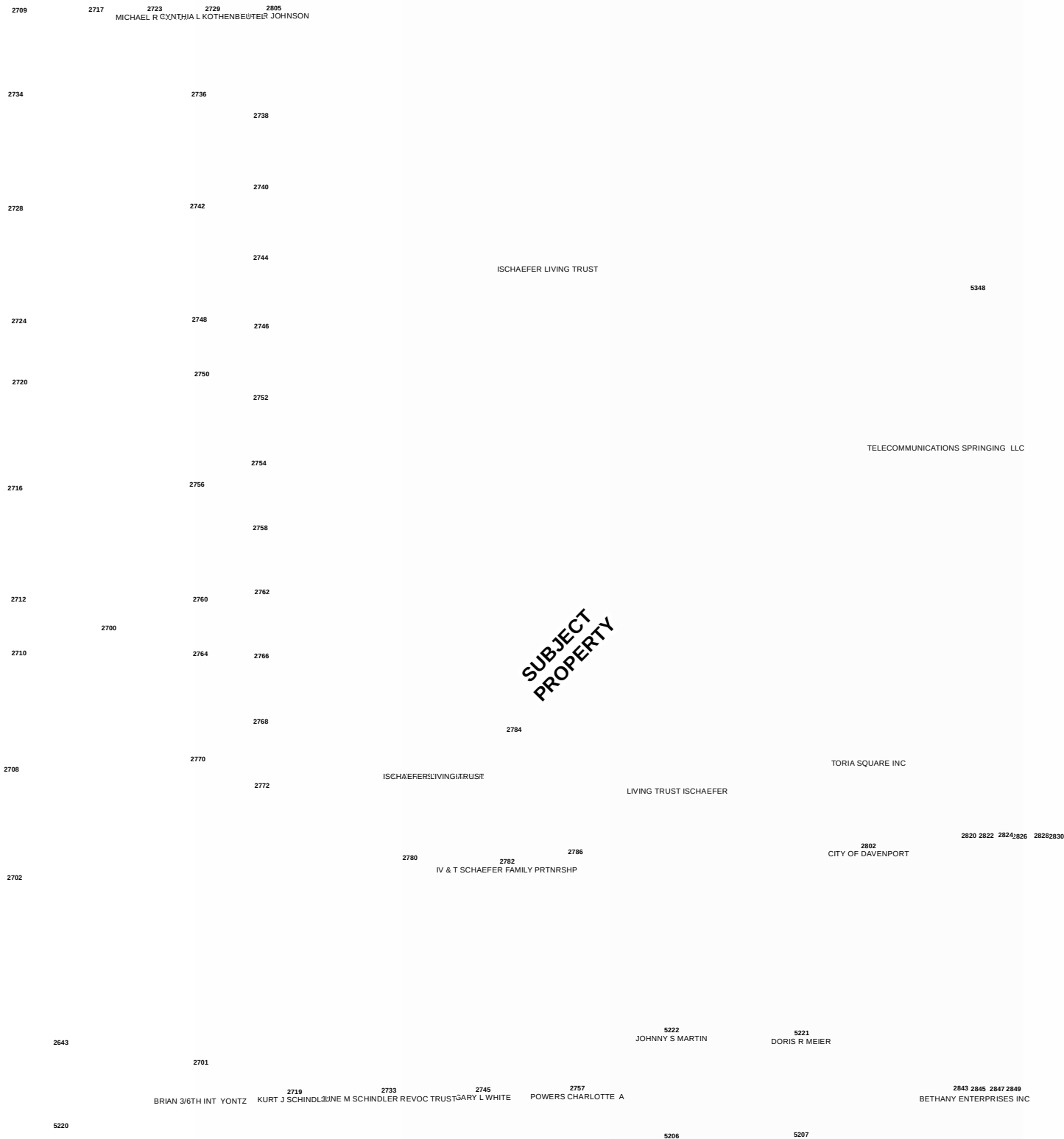
Case No. 17-04
Future Land Use Map





REZ17-04 - Costco Request for a Zoning Map Amendment (Rezoning)
Plan & Zoning Commission: Adjacent Property Owner Notice Area

200' Adjacent Property Owner Notice Boundary



REZ17-04 - Adjacent Owner Notice Mailing List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
Ward/Ald:	6th Ward	Alderman Justin		16 Notices Sent
N0712-02A	5221 FAIRHAVEN RD	DORIS R MEIER	5221 FAIRHAVEN RD	DAVENPORT IA 52807
N0712-27	2701 E 53RD ST	BRIAN YONTZ	1230 E JUNIPER ST	CANTON IL 61520
N0712-33B	5222 FAIRHAVEN RD	JOHNNY S MARTIN	5222 FAIRHAVEN RD	DAVENPORT IA 52807
N0712-34	2757 E 53RD ST	CHARLOTTE A POWERS	2757 E 53RD ST	DAVENPORT IA 52807
N0712-35	2745 E 53RD ST	GARY L WHITE	2745 E 53RD ST	DAVENPORT IA 52807
N0712-36	2733 E 53RD ST	JUNE M SCHINDLER REVOC TRUST	2733 E 53RD ST	DAVENPORT IA 52807
N0712-37	2719 E 53RD ST	KURT J SCHINDLER	2719 E 53RD ST	DAVENPORT IA 52807
N0833-01D	2843 E 53RD ST	BETHANY ENTERPRISES INC	101 WOODLAND RD	MILAN IL 61264
Y0707-01B		SCHAEFER LIVING TRUST	2782 E 53RD ST	DAVENPORT IA 52807
Y0707-03	2723 E 58TH ST	MICHAEL R KOTULA	2723 E 58TH ST	DAVENPORT IA 52807
Y0707-04	2729 E 58TH ST	CYNTHIA L KOTHENBEUTEL	2729 E 58TH ST	DAVENPORT IA 52807
Y0707-05	2805 E 58TH ST	CHAD R JOHNSON	2805 E 58TH ST	DAVENPORT IA 52807
Y0723-11E	2802 E 53RD ST	FIRE STATION #8	2802 E 53RD ST	DAVENPORT IA 52807
Y0723-OLA		TORIA SQUARE INC	4928 WOODY CREEK CR	BETTENDORF IA 52722
Y0817-02E	5348 ELMORE CR	TELECOMMUNICATIONS SPRINGING LLC	1 ATT WAY	BEDMINSER NJ 07921
Y0723-01	2700 E 53RD ST	MFR PARTNERS XII LLC	856 LAKE ST E	WAYZATA MN 55391



226 West Fourth Street • Davenport, Iowa 52801
Telephone: 563-326-7711 TDD: 563-326-6145
www.cityofdavenportiowa.com

PUBLIC HEARING NOTICE

May 26, 2017

Dear Property Owner:

You may be aware of plans by Costco Wholesale Corporation to construct a new store north of the intersection of Fairhaven Road and E. 53rd Street (see attached map).

In order for this project to proceed, the property must be rezoned from A-1 Agricultural District and R-1, Low Density Residential District to PDD, Planned Institutional District.

The next step in the process is for the Davenport Plan and Zoning Commission to conduct a public hearing. The public hearing will be held:

Tuesday, June 6, 2017, 5:00 p.m.
City Council Chambers, City Hall
226 West 4th Street

You are welcome to attend and provide comments. If you cannot attend this meeting and have questions or concerns, feel free to contact me directly using the contact information below.

Sincerely,

Matthew G. Flynn, AICP
Senior Planning Manager
City of Davenport
Matt.flynn@ci.davenport.ia.us
563-888-2286



Case No. REZ 17-04

Costco Rezoning

Location Map



Wednesday, May 31, 2017

To: Accounting/Public Notices

Re: Public Notice

Please publish the following Plan and Zoning Commission public hearing notice on Friday, May 27th.

The PO number for this notice is 1718754

We would appreciate receiving proof of publication for our records. If you have any questions, please contact me at the same email address this was sent with or at my phone number listed in my email.

NOTICE
PUBLIC HEARING
TUESDAY, June 6, 2017 - 5:00 P.M.
CITY OF DAVENPORT PLAN AND ZONING COMMISSION
COUNCIL CHAMBERS - DAVENPORT CITY HALL
226 WEST 4th STREET – DAVENPORT, IOWA

There is on file in the office of Community Planning, on behalf of the City Plan and Zoning Commission, the following petition:

Case No. REZ17-04: Request of Costco Wholesale Corporation to rezone approximately 17.88 acres located north of the intersection of Fairhaven Road and East 53rd Street from A-1 Agriculture District and R-1 Low Density Residential District to PDD, Planned Development District. This property is located in the 6th Ward.

Public hearings are scheduled for 5:00 p.m. or as soon thereafter as possible on Tuesday, June 6, 2017 in the Council Chambers of the Davenport City Hall, 226 West 4th Street, Davenport, Iowa. It is your privilege to submit written comments on the above item(s) or to attend the public hearing to express your views, or both. Any written comments to be reported at the public hearing should be received in the Department of Community Planning & Economic Development, at the above address, no later than 12:00 noon on the day of the public hearing(s). PO No. 1718754

Department of Community Planning & Economic Development
E-MAIL: planning@ci.davenport.ia.us PHONE: 563-326-7765

MEMORANDUM

Date: May 30, 2017

To: Matt Flynn
Community Planning and Economic Development

From: Tom Leabhart, P.E.
Development Engineer

Re: Proposed Costco Site Plan Review

Prior to the approval of the above referenced plat the following conditions need to be addressed:

1. The new right of way line and sidewalk should both be shown as straight lines between the two driveways rather than offsetting to the south. Although this may interfere with the future fuel expansion, it appears that a setback variance may be needed in any case.
2. Construction details for the proposed 53rd Street widening, turn lane additions, driveways, storm and sanitary sewers are still needed. Some of these details may affect the new right of way and sidewalk locations.
3. It is our understanding that with City input Costco will design and construct the full width reconstruction of 53rd Street from roughly the east side of the Lorton Ave intersection to the match point east near the fire station. The city will reimburse Costco for eligible costs.
4. Along with the delivery truck entrance path the exit path should also be shown on the plan. Trucks should be able to exit to the east.
5. Drainage patterns need to be reviewed, especially on entrances. Water runoff cannot increase on residential property to the south
6. Is there a possibility of joining the detention with the apartments? Along with the review of better water quality ideas.
7. Slope and depth of storm sewer from east entrance inlet heading north then over to detention will be deep. Can the pond fill without backing into the inlet?
8. Need Details of easterly turn lane and its impact on the fire department.
9. Property lines/Right of Way lines on the south side of 53rd are incorrect. There was dedication of Right of Way.
10. A left turn lane shall be constructed for the west entrance. The turn lane length shall be approximately 150 feet long. This will necessitate the reduction of the westbound left turn lane at Lorton Avenue to a length of approximately 50 feet.
11. The west entrance shall be signalized and the signalization shall be paid for entirely by the developer and constructed to City of Davenport standards. All equipment used for signalization must be approved by the Traffic Engineer. The signal will be interconnected with the adjacent signals in both directions on 53rd Street. The City will

likely already have conduit and fiber optic cable along this corridor when the signals are installed. City staff will create the timing plan for the signals.

12. Right turn lanes shall be constructed for both entrances. The right turn lane for the west entrance will be the length of road between the entrances and the one for the east entrance will be as long as practical. The slope of the fire station entrances, especially the one leading to the building, will determine how long that right turn lane can be.
13. The east entrance shall be a right-in, right-out entrance. The only way to ensure no left turns in or out of that entrance is to construct a raised median in 53rd Street. The median shall start just past the west entrance and continue just past Fairhaven and the east entrance. A short left turn lane shall be constructed at the end of the median to accommodate left turns into the fire station's west driveway.

cc: Gary Statz, Amy Kay, Eric Longlett, Brian Schadt

PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: NEC OF E 53RD ST & ELMORE CIR
DAVENPORT, IA

SITE DATA:

TOTAL COSTCO SITE AREA: 17.88 ACRES (778,852 SF)

INCLUDES:

- DETENTION POND 0.87 ACRES (42,170 SF)
- LANDSCAPE BUFFER 0.78 ACRES (34,155 SF)

JURISDICTION:

CITY OF DAVENPORT

ZONING:

C-4

SETBACKS:

NORTH 50'

WEST 25'

BUILDING DATA:

TOTAL BUILDING FOOTPRINT AREA:

156,170 SF

INCLUDES:

WAREHOUSE MAIN LEVEL
ENCLOSED CANOPY
FIRE DEPT ROOM / MACHINE ROOM

150,129 SF
4,002 SF
2,039 SF

PARKING DATA:

TOTAL PARKING:

715 STALLS

INCLUDES:

MAIN LEVEL PARKING PROVIDED:

- 10' WIDE STALLS
- ACCESSIBLE STALLS

688 STALLS
17 STALLS

NUMBER OF STALLS PER 1000 SF OF BUILDING AREA:

4.57 STALLS

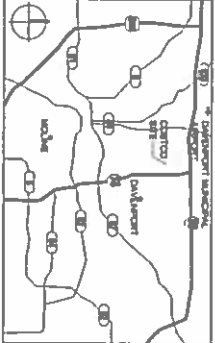
NOTES:

EXISTING CONDITIONS TO BE FIELD VERIFIED.

VICINITY MAP



REGIONAL MAP



0 25' 50' 100'
1" = 50.0'



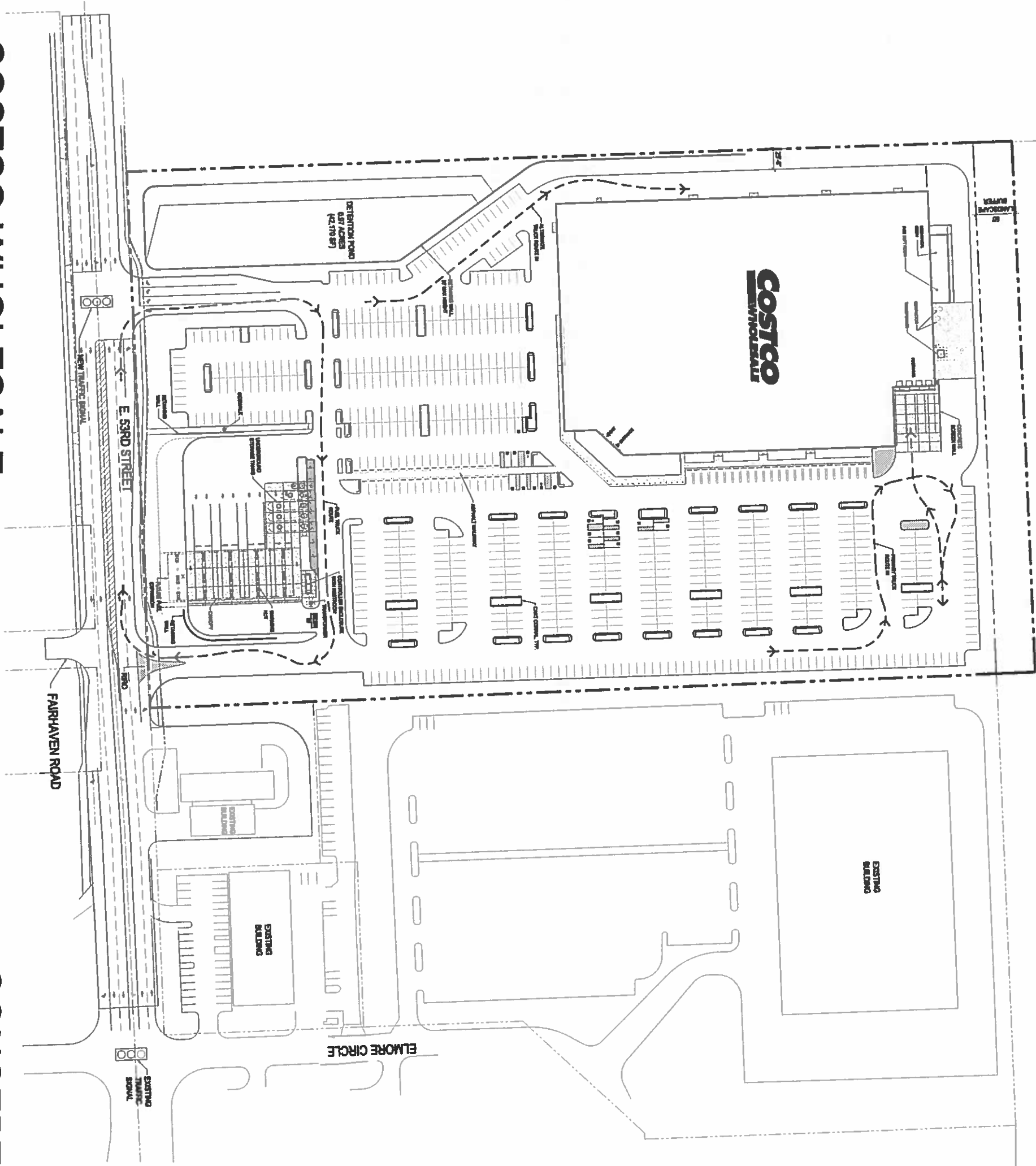
COSTCO WHOLESALE

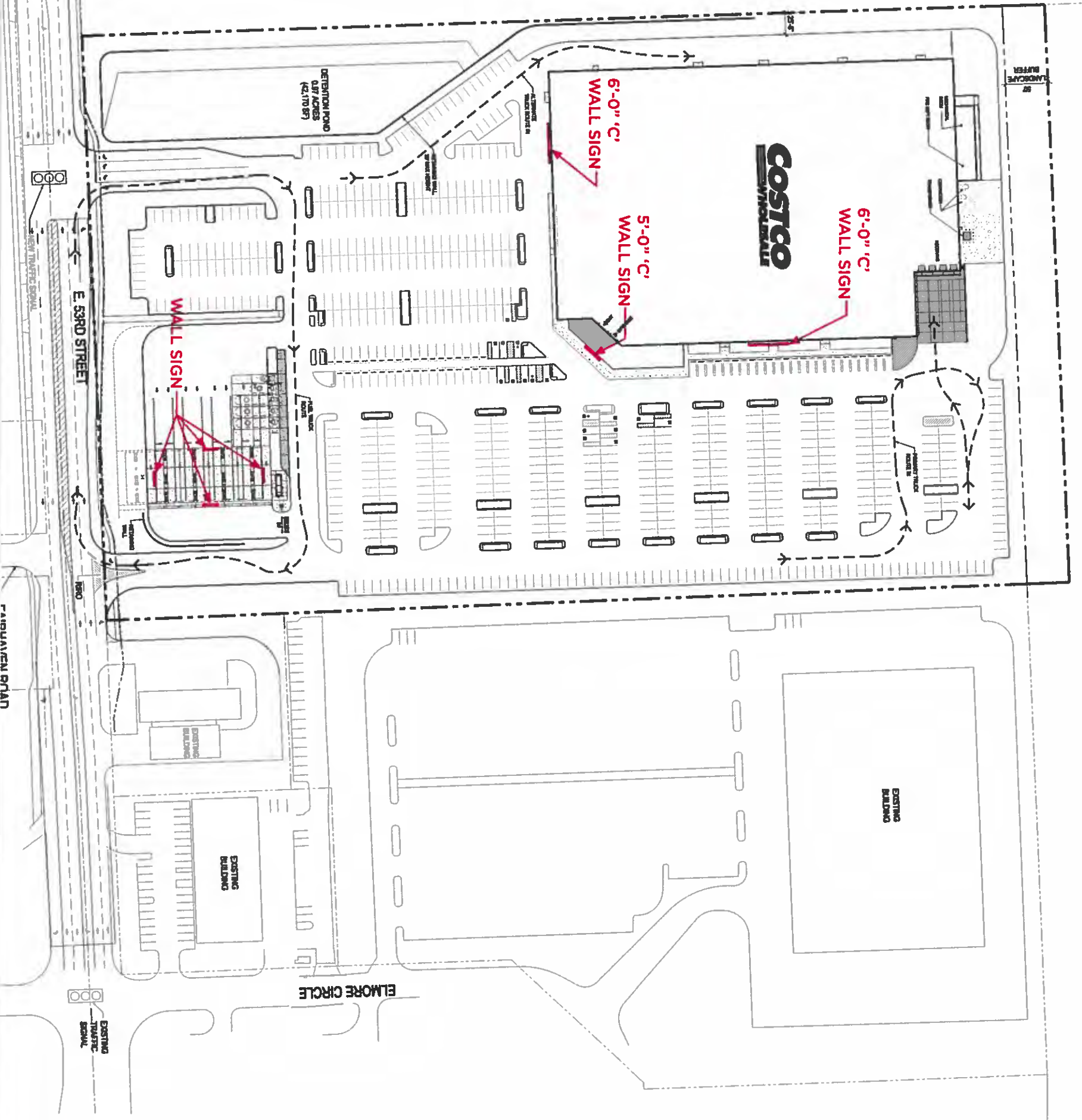
DAVENPORT, IOWA

CONCEPT SITE PLAN

MAY 10, 2017

DD11-03







MG2

MAY 11TH, 2017
PROJECT # 16-5532-01 V.#1.2
DAVENPORT, IA

ENTRY PERSPECTIVE

Costco
WHOLESALE

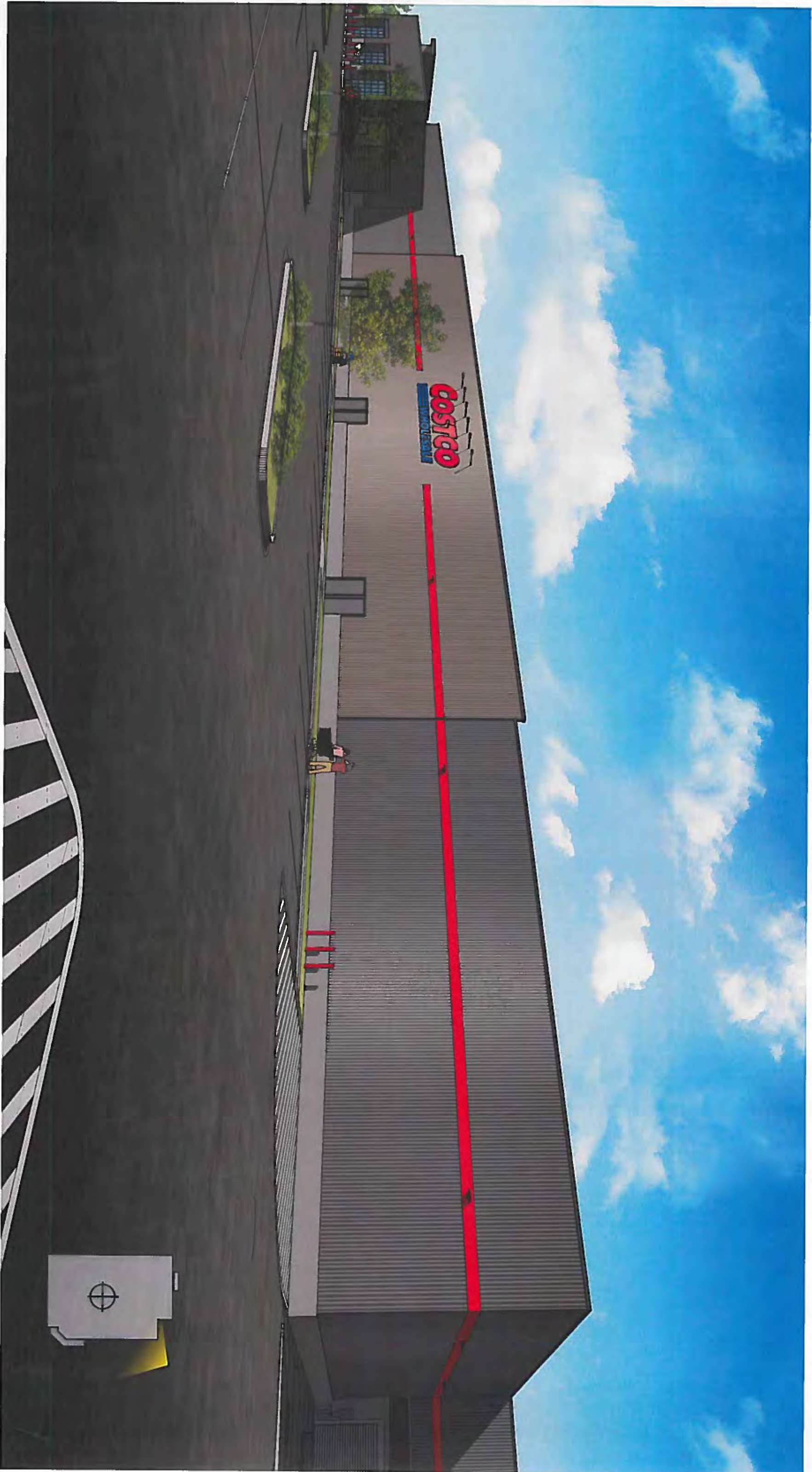


MG2

MAY 11TH, 2017
PROJECT # 16-5532-01 V. #12
DAVENPORT, IA

SOUTHWEST PERSPECTIVE



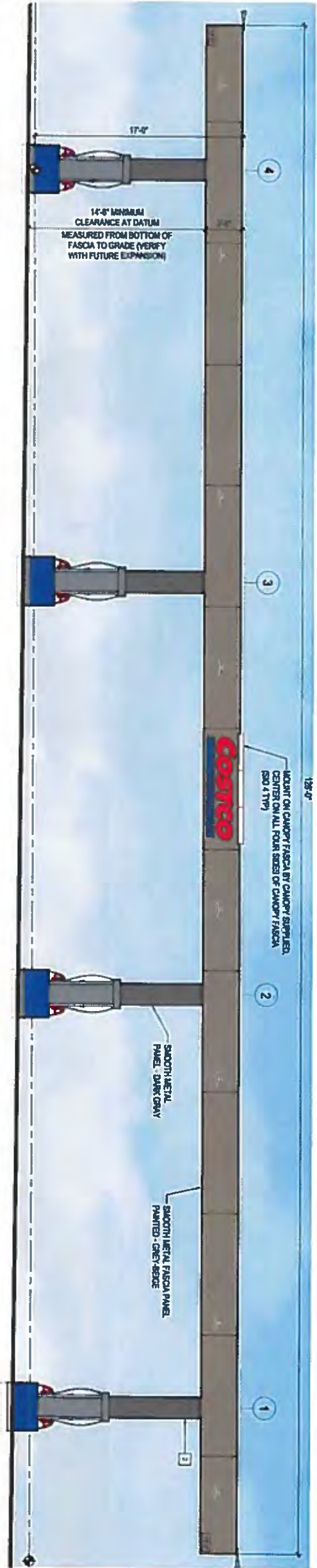


MG2

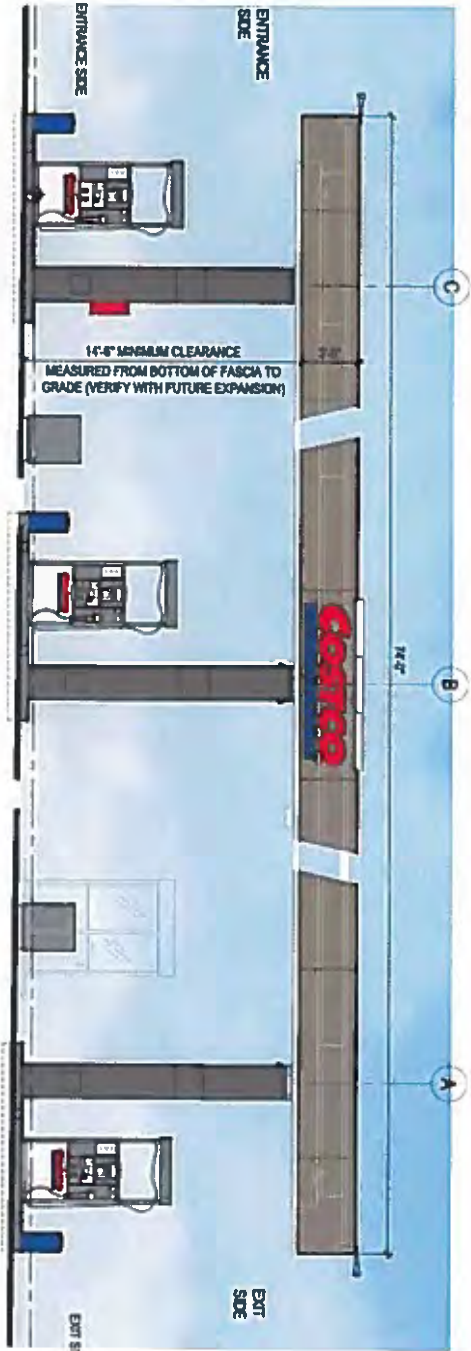
MAY 11TH, 2017
PROJECT # 16-5532-01 V #1.2
DAVENPORT, IA

NORTHEAST PERSPECTIVE

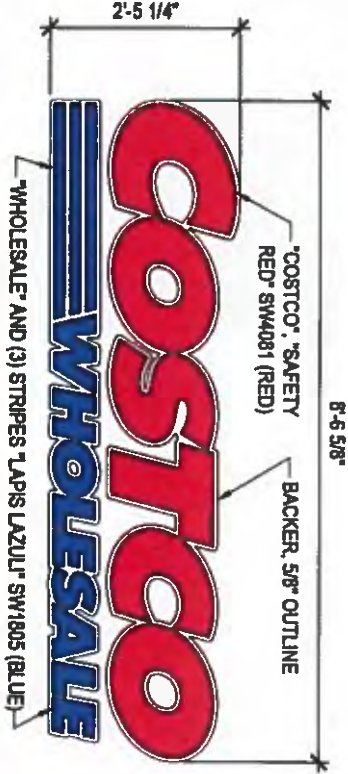
Costco
WHOLESALE



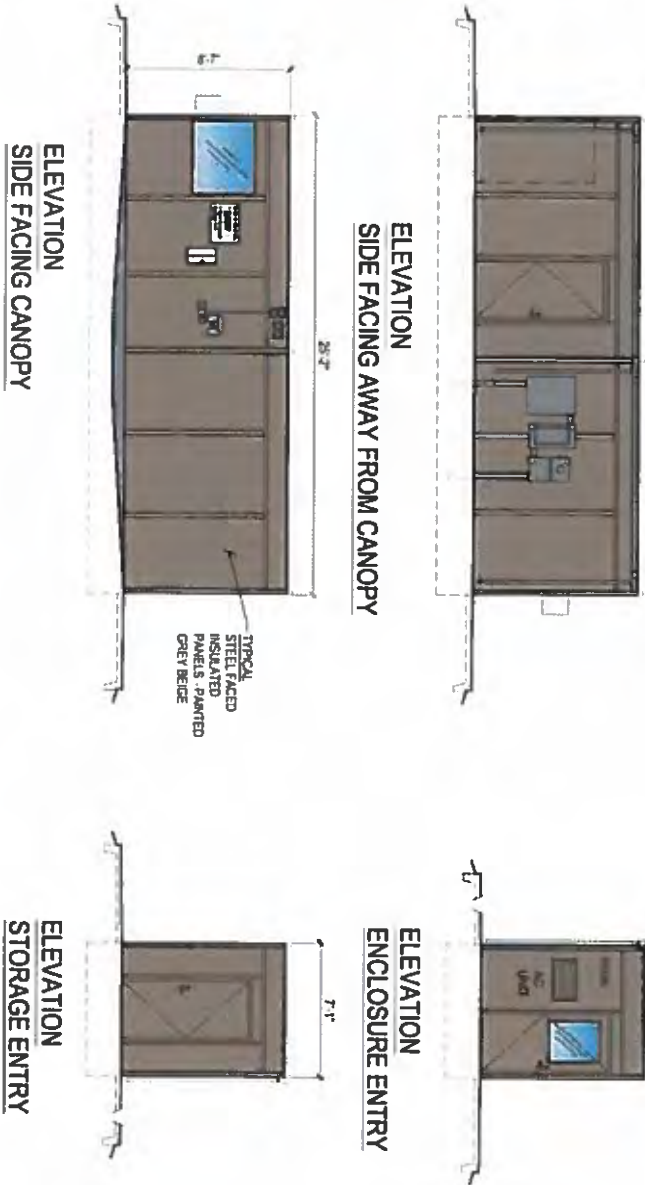
1 EAST & WEST ELEVATIONS
SCALE: 1/4" = 1'-0"



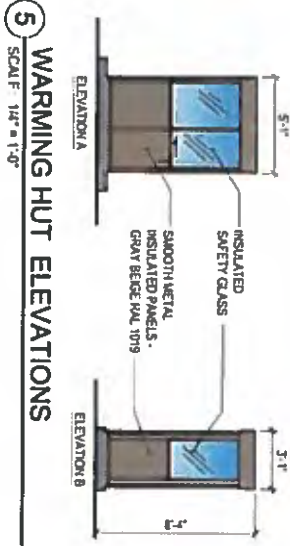
2 NORTH & SOUTH ELEVATIONS
SCALE: 1/4" = 1'-0"



SIGNAGE AREA TABULATION (WALL SIGNS)				
QTY	SIGN	SIZE	AREA (SF) EA	TOTAL SF
4	COSTCO WHOLESALE	2'-5 1/4" X 8'-6 5/8"	22	88 SF
			TOTAL SIGNAGE AREA	88 SF



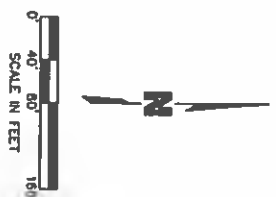
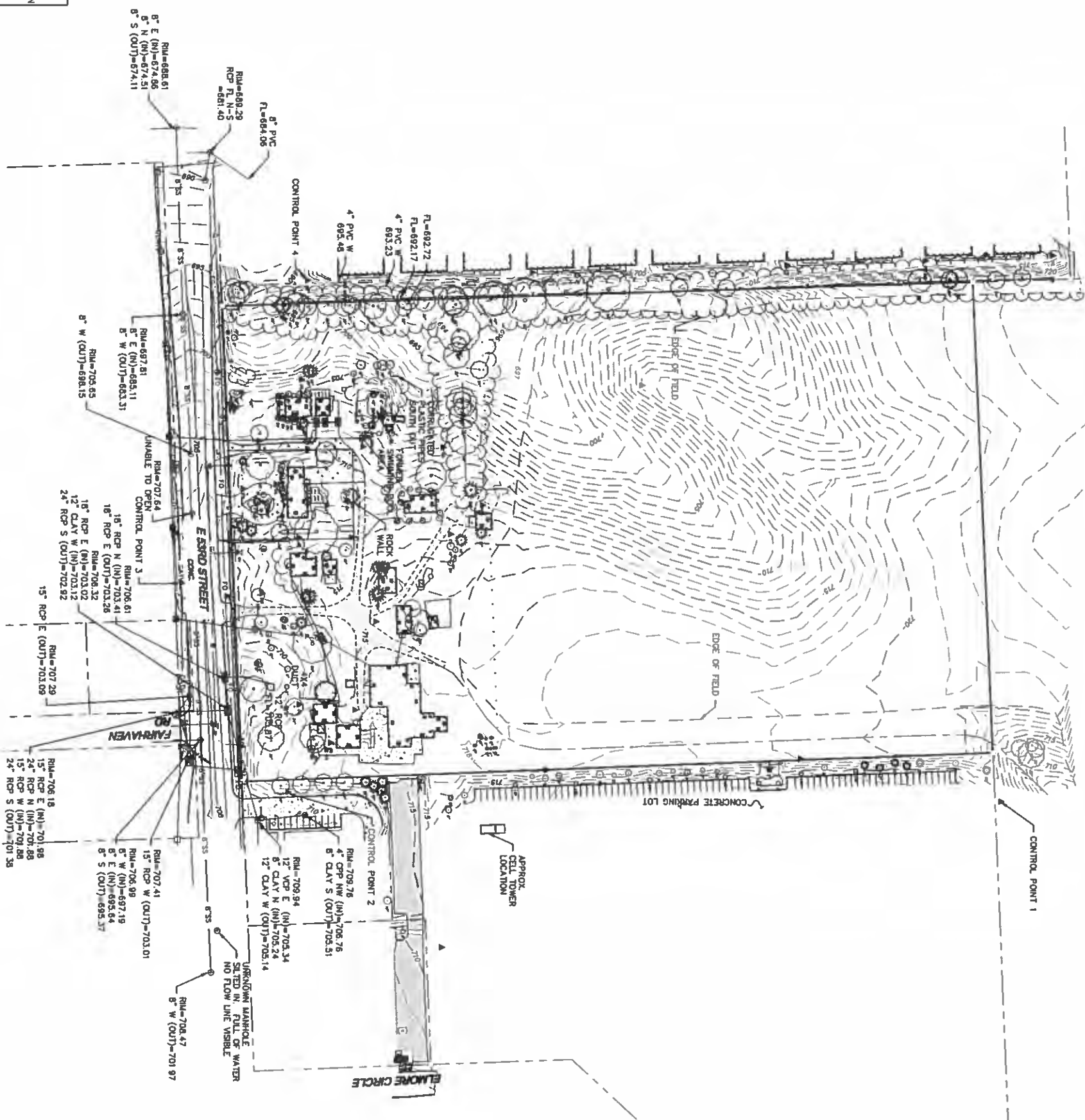
3 CONTROLLER ENCLOSURE
SCALE: 1/4" = 1'-0"



5 WARMING HUT ELEVATIONS
SCALE: 1/4" = 1'-0"

[illegible]

NOTE: GLOSSON ASSOCIATES AND THE SURVEYOR OF RECORD HAVE NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER PARTY DISCLAIMS ANY LIABILITY FOR INACCURACIES IN THE SURVEYOR OF RECORD FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ON THIS RECORD ARE ACCURATE. INDICATED. GLOSSON ASSOCIATES AND THE SURVEYOR OF RECORD HAVE NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. IF ANY UNDERGROUND UTILITY LOCATIONS ARE RELOCATED THEY WILL HAVE TO BE VERIFIED BY FIELD POTHOLING THE UTILITIES. GLOSSON ASSOCIATES AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE DEPTH OF ANY UTILITIES. LOCATIONS OF NON-RECOVERABLE UTILITIES, UTILITIES WERE ORDERED TO BE LOCATED PERMANENTLY BY THE LOCATION OF RECOVERABLE UTILITIES. UTILITIES LISTED ON THIS RECORD ARE NOT TO BE USED FOR ANY OTHER PURPOSES. ANY OTHER UTILITIES LISTED ON THIS RECORD ARE BLACK HILLS ELECTRIC, COX COMMUNICATIONS, WETPLOW UTILITIES DISTRICT, OMAHA PUBLIC POWER DISTRICT, PERNOT COMMUNICATIONS INC., CTCL - CENTURUM, SD 282 WICKS SOUTHPOINTE, SD 488-4 CORNERS AND UNIT PRIVATE NETWORKS, LLC.



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

[illegible]

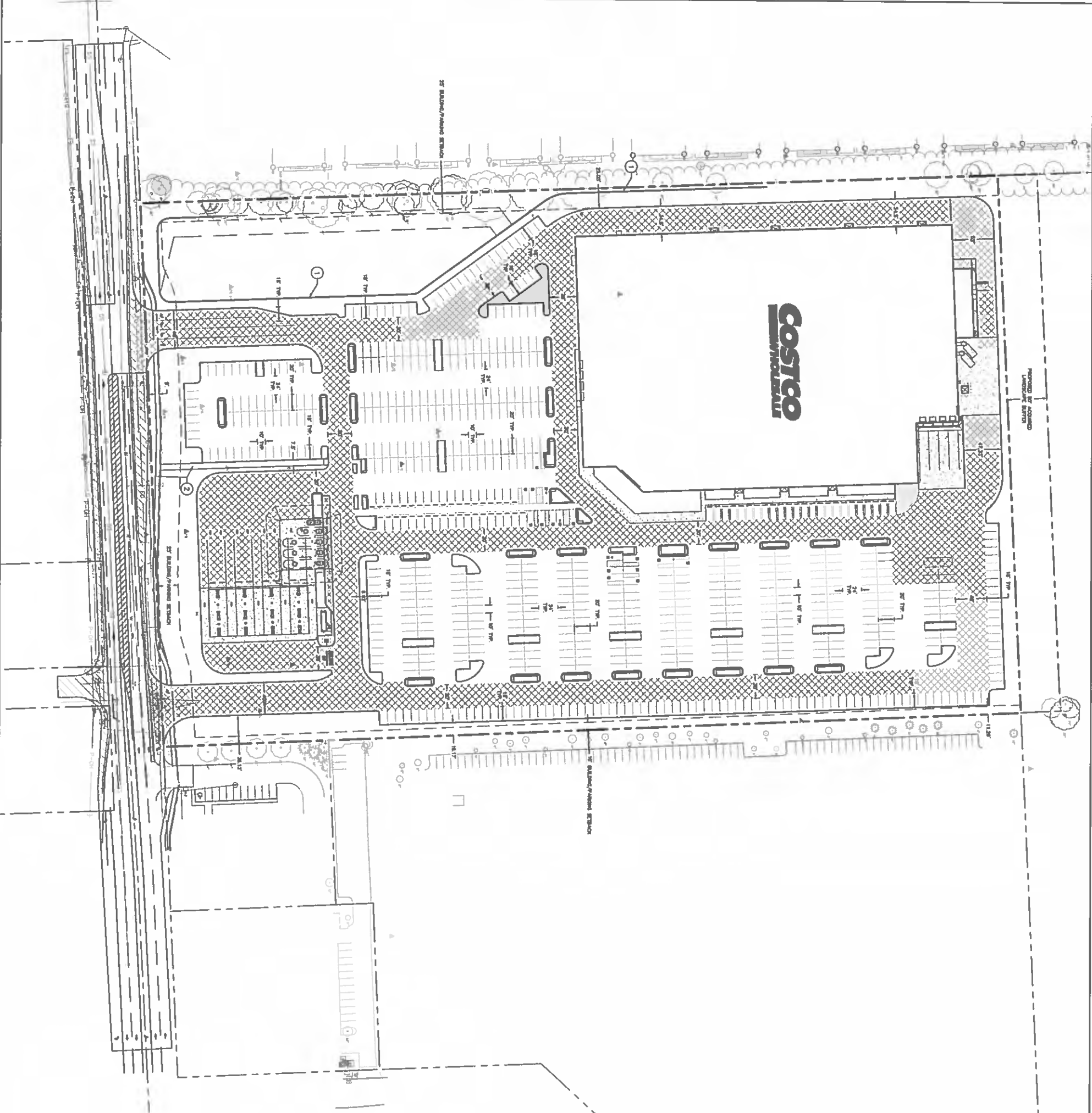
EXISTING CONDITIONS

COSTCO WHOLESALE
0 STREET & ELMORE CIRCLE

DAVENPORT, IOWA

OLSSON
ASSOCIATES

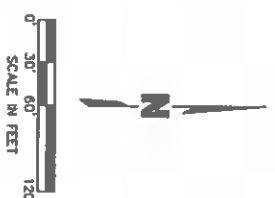
7157 Vista Drive TEL 915.331.8617
West Des Moines, IA 50395 FAX 915.331.8618 www.stamann.com



LEGEND

[Hatched Pattern]	EXISTING BOUNDARY
[Dashed Line]	PROPOSED BOUNDARY
[Dotted Line]	PROPERTY SETBACK
[Cross-hatch]	CONCRETE PAVEMENT
[Diagonal Hatch]	HEAVY DUTY ASPHALT PAVEMENT
[Horizontal Hatch]	LIGHT DUTY ASPHALT PAVEMENT
[Stippled]	GENERALLY DEFINED PUBLIC IMPROVEMENT AREA

- KEYNOTES:**
- ① INSTALL RETAINING WALL (SEE ALSO GRADING PLAN)
 - ② INSTALL CONCRETE SIDEWALK, WIDTH PER PLAN

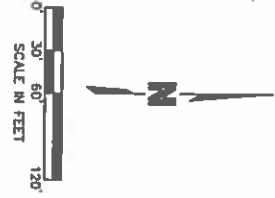
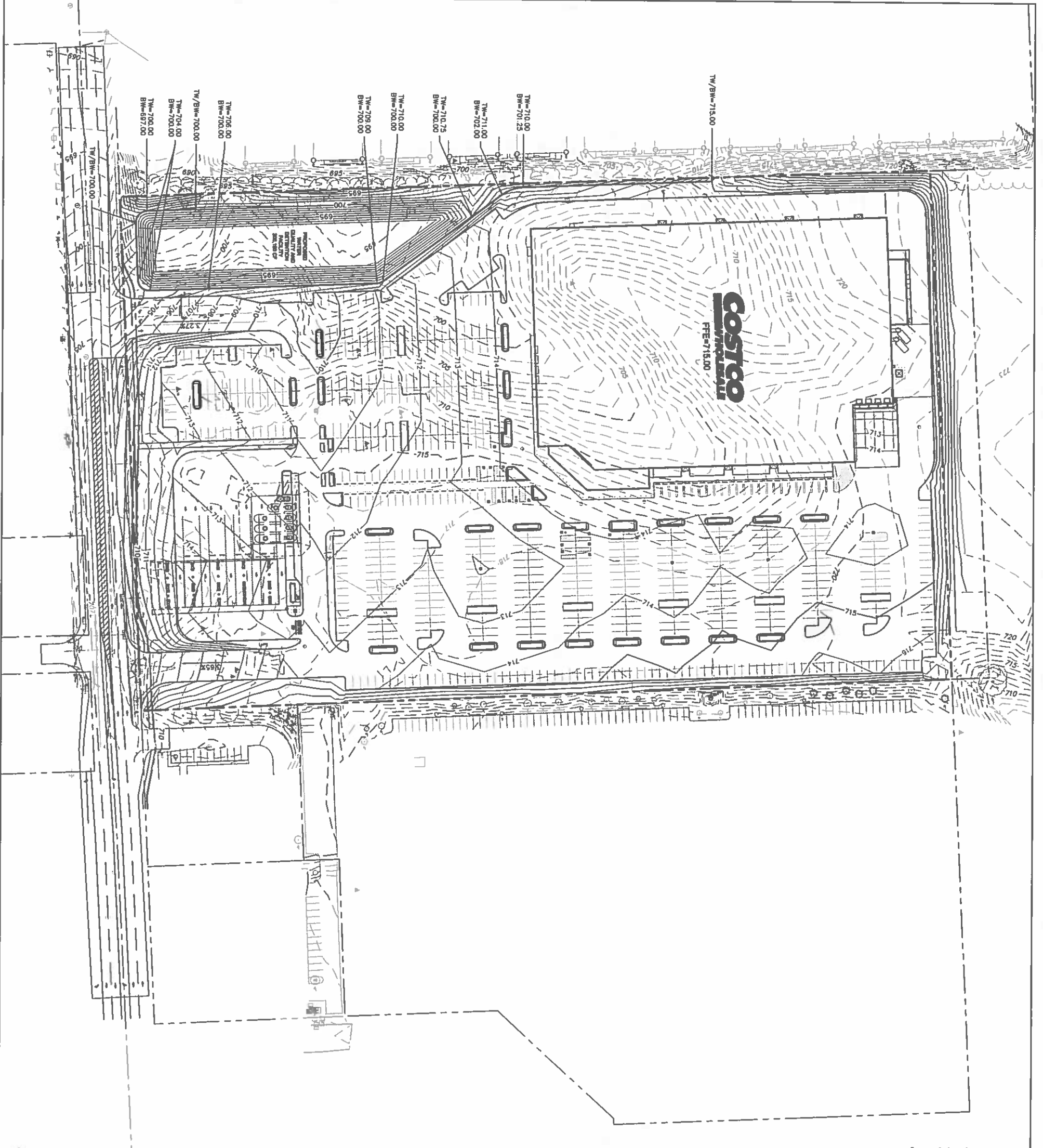


PRELIMINARY PLANS
NOT FOR CONSTRUCTION
DATE: 5/11/2017

SITE PLAN		REVISIONS		 7187 Visto Drive West Des Moines, IA 52255 TEL: 515.321.0517 FAX: 515.321.0510 www.molssonassociates.com
COSTCO WHOLESALE 53RD STREET & ELMORE CIRCLE		REV. NO.	DATE	
DAVENPORT, IOWA				
2017				

Drawn By: [blank]
Checked By: [blank]
Project No.: 017-0610
Drawing No.: 017-0610-02

SHEET C2



0 30 60 120
SCALE IN FEET

PRELIMINARY PLANS
NOT FOR CONSTRUCTION
04/28/2017

LEGEND

EXISTING BOUNDARY
PROPOSED BOUNDARY
PROPOSED CONTOUR
EXISTING CONTOUR
TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION
RETAINING WALL

GRADING PLAN		REV. NO.	DATE	REVISIONS DESCRIPTION
COSTCO WHOLESALE 53RD STREET & ELMORE CIRCLE DAVENPORT, IOWA				
		2017		REVISIONS

Drawn by: [redacted]

Checked by: [redacted]

Designed by: [redacted]

Project no.: 0170610

Sheet no.: 04/28/2017

04/28/2017

04/28/2017

04/28/2017

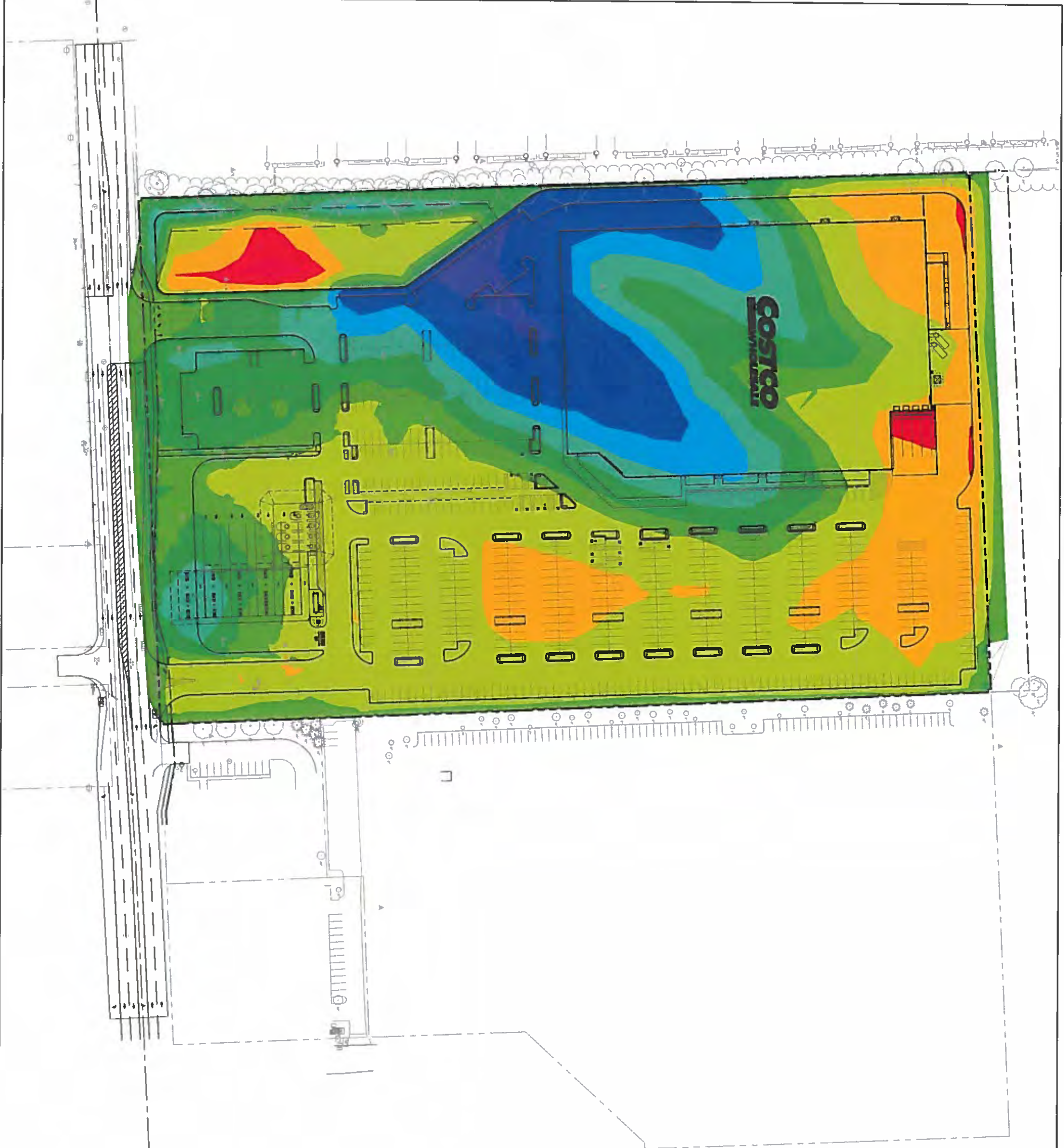
04/28/2017

04/28/2017

7157 Vista Drive
West Des Moines, IA 50268

TEL 515.331.8617
FAX 515.331.8518
www.molssonassociates.com

MOLSSON[®]
ASSOCIATES



LEGEND
PROPOSED PROPERTY
RETAINING WALL

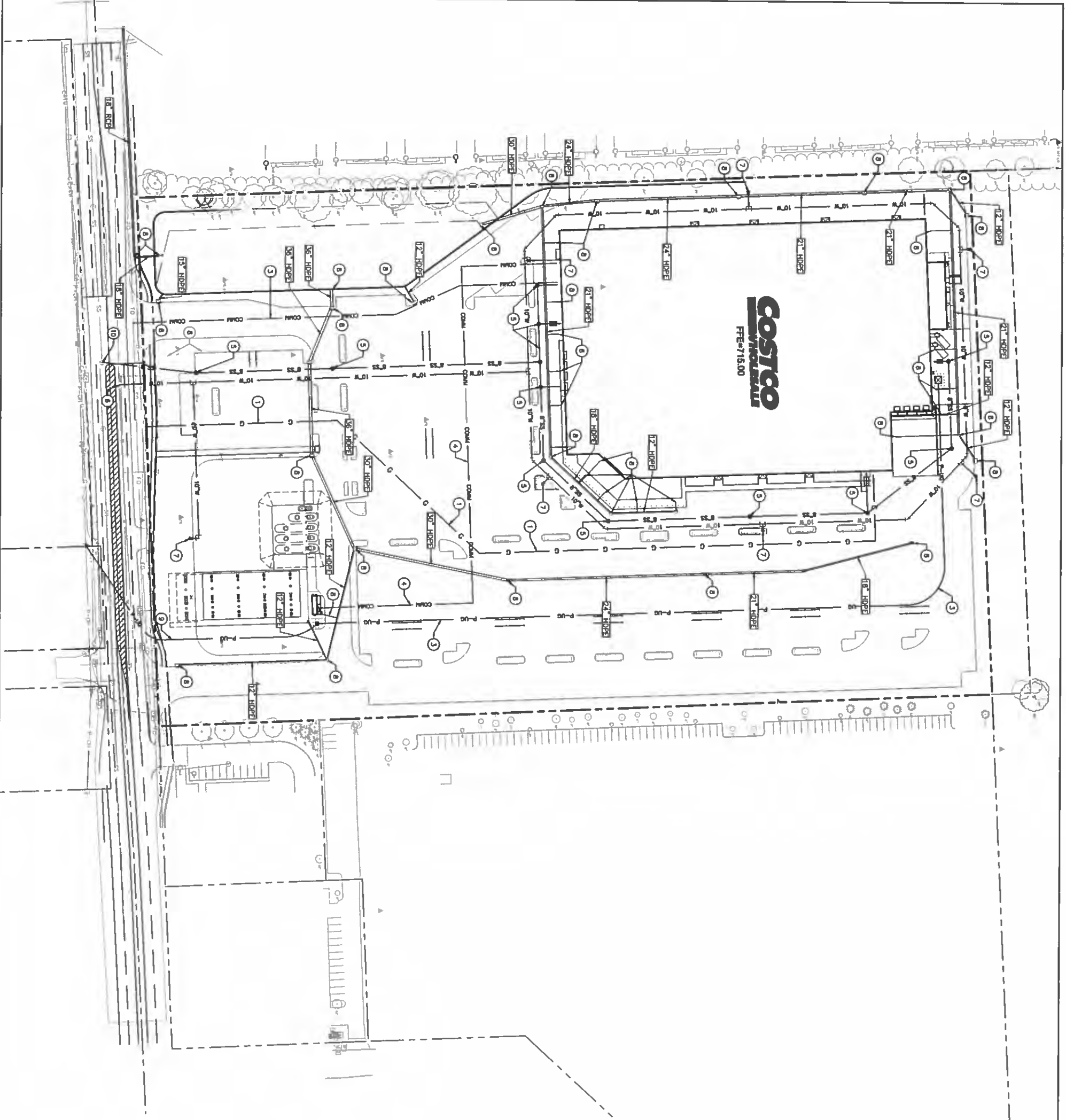
ELEVATIONS			
NUMBER	MIN. ELEV.	MAX. ELEV.	COLOR
1	-14.09	-11.00	
2	-11.00	-8.00	
3	-8.00	-5.00	
4	-5.00	-2.00	
5	-2.00	0.00	
6	0.00	3.00	
7	3.00	6.00	
8	6.00	9.00	
9	9.00	12.00	
10	12.00	15.00	
11	15.00	17.00	

FILL CUT

- NOTES:
1. EARTHWORK FIGURES ARE APPROXIMATE
 2. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION
 3. CUT AND FILL FIGURES IN COLOR TABLE REPRESENT
 4. A SHRINKAGE FACTOR OF 2.15 WAS USED
 5. SURCHARGE NOT INCLUDED FOR BUILDING PAD

- EARTHWORK TOTALS:
1. TOTAL HEAVY DUTY ASPHALT = 183,550 SF = 7,931 CY (CUT)
 2. TOTAL LIGHT DUTY ASPHALT = 225,778 SF = 7,317 CY (CUT)
 3. TOTAL CONCRETE PAVEMENT = 23,825 SF = 897 CY (CUT)
 4. TOTAL BUILDING = 173,243 SF = 6,417 CY (CUT)
 5. TOTAL SPOIL = 2,455 CY (CUT)
 6. TOTAL FUEL TANK PIT = 3,228 CY (CUT)
 7. TOTAL SURFACE CUT = 66,788 CY
 8. TOTAL SURFACE FILL = 70,351 CY
 9. NET = 24,782 CY (CUT)

0' 30' 60' 120'
SCALE IN FEET
PRELIMINARY PLANS
NOT FOR CONSTRUCTION
04/26/2017



LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- WATERLINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND POWER LINE
- EXISTING FIBER LINE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND POWER
- EXISTING OVERHEAD POWER
- EXISTING GAS LINE
- EXISTING CABLE LINE

KEYNOTES:

1. INSTALL GAS SERVICE AND CONNECT TO SOURCE
2. INSTALL PRIMARY ELECTRICAL SERVICE TO WAREHOUSE TRANSFORMER
3. INSTALL CONDUIT FOR TELEPHONE SERVICE TO WAREHOUSE
4. INSTALL CONDUIT FOR TELEPHONE SERVICE FROM WAREHOUSE TO GAS STATION
5. INSTALL SANITARY SEWER SEWER AND MANHOLES, PRESS. AND SAND/OIL SEPARATORS SHOWN ON UEP PLANS
6. TAP EXISTING WATER MAIN AND INSTALL FIRE LINE AND DOMESTIC SERVICE TO WAREHOUSE WITH METER INSIDE BUILDING
7. INSTALL PRIVATE FIRE LINE TO BACKFLOW PREVENTION VAULT AND FIRE HYDRANT
8. INSTALL CONCRETE STORM STRUCTURES, ROOF DRAIN PIPING AND STORM DRAIN PIPING
9. INSTALL PRIMARY ELECTRICAL SERVICE TO GAS STATION TRANSFORMER
10. CONNECT SANITARY SERVICE TO EXISTING MAIN IN E. 53RD STREET

0 30' 60' 120'

SCALE IN FEET

N

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

UTILITY & STORM SEWER PLAN

COSTCO WHOLESALE
53RD STREET & ELMORE CIRCLE

DAVENPORT, IOWA

2017

REVISIONS

REV NO.	DATE	REVISIONS DESCRIPTION

MOLSSON
ASSOCIATES

7157 Wade Drive
West Des Moines, IA 50309

TEL 515.331.8517
FAX 515.331.8519

www.molssonassociates.com

Drawn by: JPS
Reviewed by: JPS
Checked by: JPS
Project No.: 017-0610
Drawing No.: 04020211

SHEET
C5

Traffic Impact Study: Costco Wholesale Warehouse Development

Davenport, Iowa

March 2017

Prepared for: Costco Wholesale Corporation

Prepared by:

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

316 Second Street SE, Suite 500
Cedar Rapids, IA 52406
(515) 364-0027

CONTENTS

Executive Summary	4
Existing Conditions	6
Project Description.....	7
Adjacent Streets.....	8
Existing Intersection Conditions.....	8
Traffic Volume Data	9
Background Traffic Growth	10
Crash Analysis	14
Proposed Site Improvements	16
Trip Generation	16
Trip Distribution	16
Traffic Modeling.....	20
Signal Warrant Analysis.....	20
Operational Analysis	22
Multimodal Review	26
Conclusion and Recommendations	27

Figures

Figure 1	Study Area Map	6
Figure 2	Preliminary Site Plan.....	7
Figure 3	Study Intersection - Existing (2017) Lane Configuration and Control.....	9
Figure 4	Study Intersections – Existing 2017 Weekday PM and Saturday Midday Peak Hour No Build Volumes.....	11
Figure 5	Study Intersections – Projected 2018 Weekday PM and Saturday Midday Peak Hour No Build Volumes ..	12
Figure 6	Study Intersections – Projected 2038 Weekday PM and Saturday Midday Peak Hour No Build Volumes ..	13
Figure 7	Trip Distribution plus Weekday PM and Saturday Midday Peak Hour Project Trips	17
Figure 8	Study Intersections – Projected 2018 Weekday PM and Saturday Midday Peak Hour Buildout Volumes...	18
Figure 9	Study Intersections – Projected 2038 Weekday PM and Saturday Midday Peak Hour Buildout Volumes...	19
Figure 10	Four Hour Vehicular Volume Warrant.....	20
Figure 11	Study Intersection – 2038 Proposed Lane Configuration and Control with Buildout	21
Figure 12	Transit and Bicycle/Pedestrian Facilities.....	26

Tables

Table 1	Crash Type by Intersection (1/1/12 – 12/31/16)	14
Table 2	Intersection Crash Rate Summary	15
Table 3	Crash Injuries at each Intersection by Crash Severity (1/1/11 – 12/31/15).....	15
Table 4	Trip Generation	16
Table 5	Warrant 2 Signal Warrant Analysis Summary	21
Table 6	LOS Criteria for Signalized and Unsignalized Intersections	22
Table 7	Existing and Projected Signalized Operations at Study Intersections – Weekday PM Peak Hour	23
Table 8	Existing and Projected Signalized Operations at Study Intersections – Saturday Midday Peak Hour.....	24
Table 9	Existing and Projected Operations at 53 rd Street and Fairhaven Road.	25

Appendix

<u>Appendix 1</u>	Turning Movement Data
<u>Appendix 2</u>	Signal Warrant Analysis Worksheets
<u>Appendix 3</u>	Operational Analysis Worksheets

Executive Summary

Costco Wholesale Corporation initiated this traffic study to identify potential traffic impacts on the adjacent roadway network and provide traffic mitigation measures, if necessary, due to their proposed Costco Wholesale warehouse development in the City of Davenport, Iowa.

The following study intersections within the study area were identified for analysis:

1. East 53rd Street & Lorton Avenue/Jersey Meadows Apartments (53rd Street & Lorton Avenue hereafter)
2. East 53rd Street & Proposed West Access (53rd Street & West Access hereafter)
3. East 53rd Street & Fairhaven Road/Proposed East Access (53rd Street & Fairhaven Road hereafter)
4. East 53rd Street & Elmore Circle (53rd Street & Elmore Circle hereafter)
5. East 53rd Street & Elmore Avenue (53rd Street & Elmore Avenue hereafter)

The above list assigns each study intersection with a number that is used throughout the report. (e.g. #1 = 53rd Street & Lorton Avenue).

The area immediately surrounding the proposed development generally incorporates retail, lodging, service, office, residential, and undeveloped land uses.

The Costco Wholesale warehouse development will consist of a 156,170 square foot footprint warehouse, as well as a gas station with 16 vehicle fueling positions. The proposed development will be located directly north of 53rd Street, east of the Jersey Meadows Apartments, and west of the AT&T Call Center that abuts Elmore Circle. The Costco Wholesale warehouse development is expected to be completely built by the end of 2018. The development is proposing two access points. One access point will be located between Lorton Avenue and Fairhaven Road. This access point will be a full access point, meaning there will not be any restricted turning movements. The second access point will become the southbound approach to the intersection of 53rd Street and Fairhaven Road, which will restrict southbound left-turn, eastbound and westbound left-turn, and northbound through and left-turn movements. Costco anticipates having to install a traffic control signal at the full access point between Lorton Avenue and Fairhaven Road (West Access). Sight visibility zones corresponding to intersection sight distance calculations as defined through AASHTO should be identified and maintained at these access points. These zones should not contain structures or plantings that would preclude unobstructed views of oncoming traffic. Current designs for the development do not indicate obstructions within the sight visibility zones.

Turning movement counts were collected in mid-February between 9:00 AM and 9:00 PM on a weekday and on a Saturday between 9:00 AM and 5:00 PM. Afternoon (PM) and Saturday peak hour intersection turning movement counts were analyzed between the hours of 4:00 PM and 6:00 PM on a weekday and between 11:00 AM and 2:00 PM on a Saturday, respectively. The weekday PM and Saturday midday peak hours were analyzed because they will typically represent the hours of the day with the highest generated traffic volume for this type of development, which is of greatest interest for design and operational considerations. The weekday PM and Saturday midday peak hours at the study intersections were determined based on the four highest consecutive 15-minute turning movement count periods between 4:00 PM and 6:00 PM and 11:00 AM and 2:00 PM, respectively, at the 53rd Street and Elmore Avenue intersection. The weekday PM and Saturday midday peak hours at the 53rd Street and Elmore Avenue intersection governed the weekday PM and Saturday midday peak hours at the study intersections because it is the study intersection with the highest volume of entering vehicles. The raw and refined peak hour turning movement data at the study intersections are provided in Appendix 1 of this report.

This report analyzes projected 2018 (buildout year) and 2038 (design year) traffic volume conditions with and without the proposed Costco Wholesale warehouse development. Hence trends in traffic volume growth near the vicinity of the proposed development need to be identified. Traffic analysis will typically apply an annual growth rate to study intersections' existing volumes prior to adding project development trips to account for

traffic volume growth passing through study intersections, which is unrelated to the specific development (i.e. the Costco Wholesale warehouse) being analyzed. This traffic volume growth is often referred to as background traffic growth. A review of 2006 and 2014 annual average daily traffic volumes obtained from the Iowa Department of Transportation (DOT), along 53rd Street near the vicinity of the proposed project indicated an approximate 1.8 percent annual growth rate. It should be noted, over time growth rates generally do not exhibit a straight line growth, but rather tend to level off as the surrounding area continues to develop. As such, a 1.8 percent annual growth rate was applied to existing volumes between 2017 and 2028 and then a 0.9 (half of 1.8) percent annual growth rate was applied between 2029 and 2038 to reflect projected future background traffic volume growth, which can be expected through a sustained constant area growth without the Costco Wholesale warehouse. The use of a straight line growth rate for the prediction of future events is generally a conservative methodology and should be considered as such when reviewing the output of this analysis.

Project trip generation is based on nationally accepted trip generation rates and fitted curve equations contained in the Institute of Transportation Engineers (ITE) Trip Generation, 9th Edition, 2012. The Davenport Costco Wholesale warehouse development, which is expected to be completely built by the end of 2018, is most closely represented by ITE's Discount Club (ITE Code 857) and Gas Station (ITE 944) & Gas Station with Convenience Market and Car Wash (ITE Code 946). Trips were generated for these land uses and correspond to the PM weekday and Saturday midday peak hours of the adjacent roadway network.

Trip distribution percentages for the Costco Wholesale warehouse development are based upon expected travel patterns in the surrounding roadway network. 30% of all project trips are expected to depart the development and travel westbound and arrive to the development by traveling eastbound via 53rd Street. Similarly, 60% of all project trips are expected to depart the development and travel eastbound and arrive to the development by traveling westbound via 53rd Street. The remaining 10% of all projected trips are expected to depart the development and travel eastbound on 53rd Street, then southbound on Elmore Avenue and arrive to the development by traveling northbound on Elmore Avenue and westbound on 53rd Street.

The future proposed intersection of 53rd Street and West Access is projected to meet MUTCD Warrant 2 criteria to justify a traffic control signal upon full buildout in 2018.

The analysis presented herein indicates the study intersection of 53rd Street and Elmore Avenue is projected to operate at LOS E during the weekday PM and Saturday midday peak hours under 2038 no build and buildout conditions. All other study intersections are projected to operate at an acceptable LOS through 2038 under no build and buildout weekday PM and Saturday midday peak hour conditions. Considering the Costco Wholesale warehouse development is not projected to degrade the LOS at the study intersections more than would otherwise occur without the development; no other changes/improvements to the study intersections lane configuration and control from what is depicted in Figure 11 are considered necessary.

Existing Conditions

Costco Wholesale Corporation initiated this traffic study to identify potential traffic impacts on the adjacent roadway network and provide traffic mitigation measures, if necessary, due to their proposed Costco Wholesale warehouse development.

The following study intersections within the study area were identified for analysis:

1. East 53rd Street & Lorton Avenue/Jersey Meadows Apartments (53rd Street & Lorton Avenue hereafter)
2. East 53rd Street & Proposed West Access (53rd Street & West Access hereafter)
3. East 53rd Street & Fairhaven Road/Proposed East Access (53rd Street & Fairhaven Road hereafter)
4. East 53rd Street & Elmore Circle (53rd Street & Elmore Circle hereafter)
5. East 53rd Street & Elmore Avenue (53rd Street & Elmore Avenue hereafter)

The above list assigns each study intersection with a number that is used throughout the report. (e.g. #1 = 53rd Street & Lorton Avenue).

The area immediately surrounding the proposed development generally incorporates retail, lodging, service, office, residential, and undeveloped land uses. A study area map showing the location of the study intersections is depicted in Figure 1.

Figure 1 Study Area Map

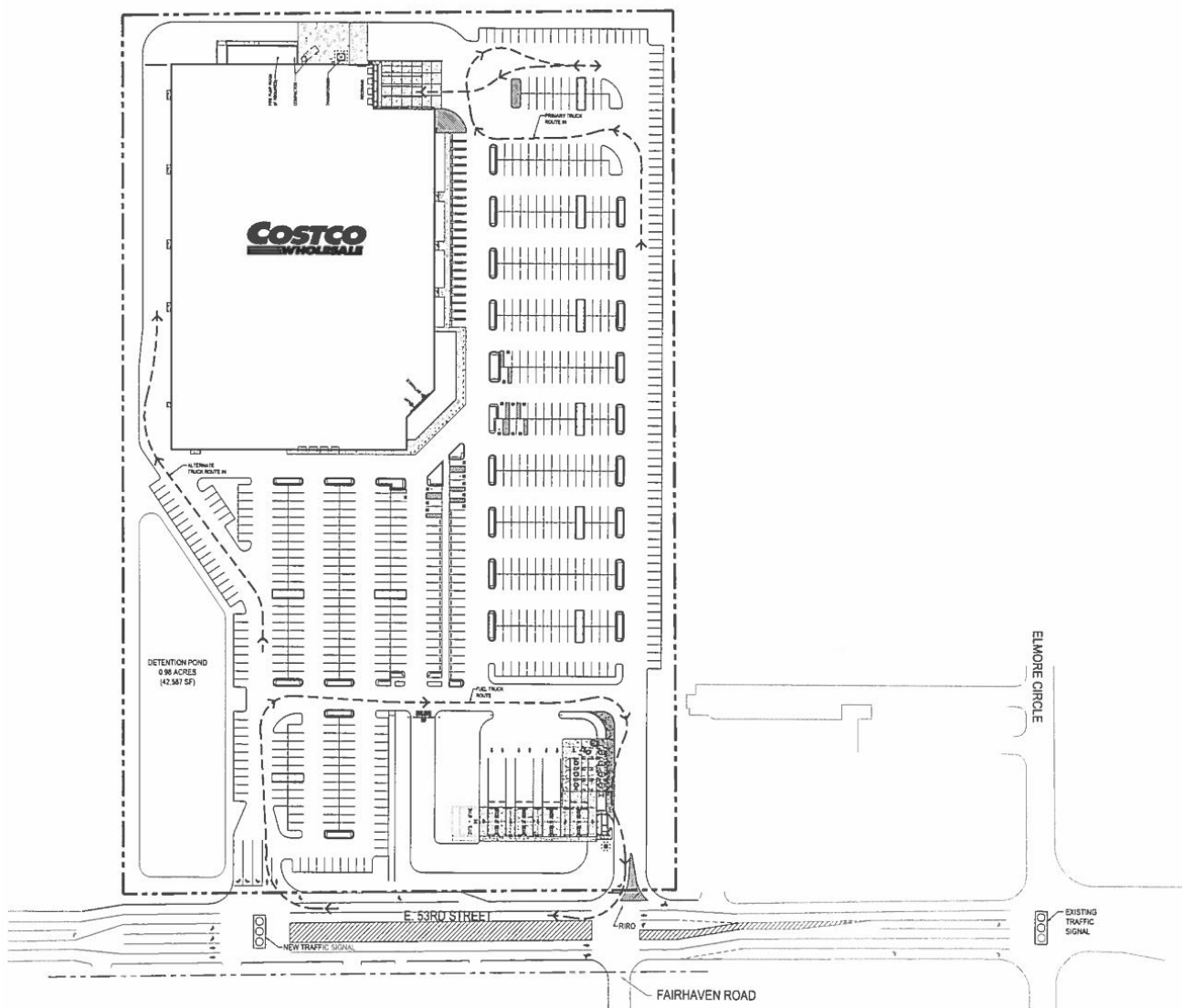


Project Description

The Costco Wholesale warehouse development will consist of a 156,170 square foot footprint warehouse, as well as a gas station with 16 vehicle fueling positions. The proposed development will be located directly north of 53rd Street, east of the Jersey Meadows Apartments, and west of the AT&T Call Center that abuts Elmore Circle. The Costco Wholesale warehouse development is expected to be completely built by the end of 2018. The development is proposing two access points. One access point will be a full access point, meaning there will not be any restricted turning movements. The second access point will become the southbound approach to the intersection of 53rd Street and Fairhaven Road, which will restrict southbound left-turn, eastbound and westbound left-turn, and northbound through and left-turn movements. Costco anticipates having to install a traffic control signal at the full access point between Lorton Avenue and Fairhaven Road (West Access). Sight visibility zones corresponding to intersection sight distance calculations as defined through AASHTO should be identified and maintained at these access points. These zones should not contain structures or plantings that would preclude unobstructed views of oncoming traffic. Current designs for the development do not indicate obstructions within the sight visibility zones.

A preliminary site plan is provided in Figure 2.

Figure 2 Preliminary Site Plan



Adjacent Streets

The following roadway characteristics were identified from a review of Google Street View and Google Earth near the vicinity of the proposed development.

53rd Street is an east/west four-lane (two lanes in each direction) minor arterial roadway with additional turn bays at its intersection with Lorton Avenue, Elmore Circle, and Elmore Avenue. The posted speed limit along 53rd Street near the proposed project is 45 mph. On street parking is prohibited along 53rd Street.

Elmore Avenue is a north/south five-lane (two lanes in each direction with a center two-way left-turn lane) with additional turn bays at its intersection with 53rd Street. Elmore Avenue is a local road north of 53rd Street and a minor arterial south of 53rd Street. The posted speed limit along Elmore Avenue near the proposed project is 45 mph. On street parking is prohibited along Elmore Avenue.

Elmore Circle is primarily a north/south two-lane (one lane in each direction) local roadway, with additional turn bays at its intersection with 53rd Street. Elmore Circle has a posted speed limit of 25 mph. On street parking is prohibited along Elmore Circle.

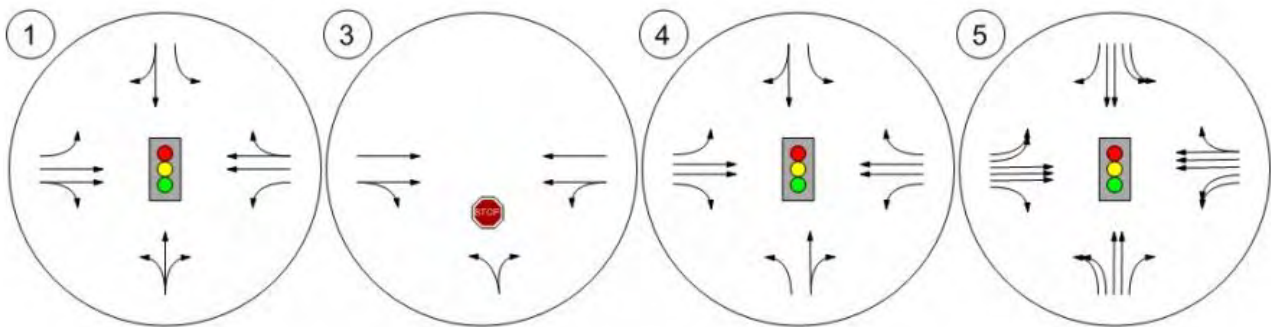
Fairhaven Road is a north/south two-lane (one lane in each direction) local roadway. Fairhaven Road has a posted speed limit of 25 mph. On street parking is generally allowed on both sides of Fairhaven Road.

Lorton Avenue is a north/south two lane (one lane in each direction) local roadway. Lorton Avenue has a posted speed limit of 25 mph. On street parking is generally allowed on both sides of Lorton Avenue.

Existing Intersection Conditions

The existing lane configuration and control for the study intersections are presented in Figure 3.

Figure 3 Study Intersection - Existing (2017) Lane Configuration and Control



Traffic Volume Data

Turning movement counts were collected in mid-February between 9:00 AM and 9:00 PM on a weekday and on a Saturday between 9:00 AM and 5:00 PM. Afternoon (PM) and Saturday peak hour intersection turning movement counts were analyzed between the hours of 4:00 PM and 6:00 PM on a weekday and between 11:00 AM and 2:00 PM on a Saturday, respectively. The weekday PM and Saturday midday peak hours were analyzed because they will typically represent the hours of the day with the highest generated traffic volume for this type of development, which is of greatest interest for design and operational considerations. The weekday PM and Saturday midday peak hours at the study intersections were determined based on the four highest consecutive 15-minute turning movement count periods between 4:00 PM and 6:00 PM and 11:00 AM and 2:00 PM, respectively, at the 53rd Street and Elmore Avenue intersection. The weekday PM and Saturday midday peak hours at the 53rd Street and Elmore Avenue intersection governed the weekday PM and Saturday midday peak hours at the study intersections because it is the study intersection with the highest volume of entering vehicles. The raw and refined peak hour turning movement data at the study intersections are provided in Appendix 1 of this report.

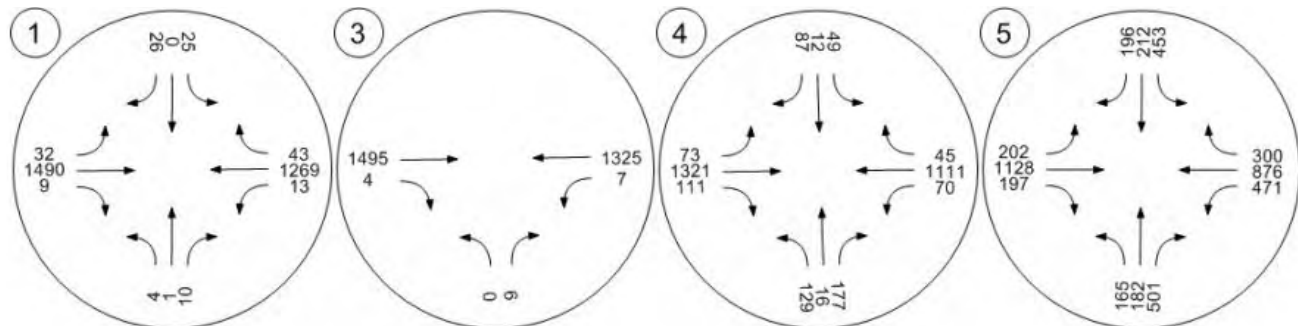
Background Traffic Growth

This report analyzes projected 2018 (buildout year) and 2038 (design year) traffic volume conditions with and without the proposed Costco Wholesale warehouse development. Hence trends in traffic volume growth near the vicinity of the proposed development need to be identified. Traffic analysis will typically apply an annual growth rate to study intersections' existing volumes prior to adding project development trips to account for traffic volume growth passing through study intersections, which is unrelated to the specific development (i.e. the Costco Wholesale warehouse) being analyzed. This traffic volume growth is often referred to as background traffic growth. A review of 2006 and 2014 annual average daily traffic volumes obtained from the Iowa Department of Transportation (DOT), along 53rd Street near the vicinity of the proposed project indicated an approximate 1.8 percent annual growth rate. It should be noted, over time growth rates generally do not exhibit a straight line growth, but rather tend to level off as the surrounding area continues to develop. As such, a 1.8 percent annual growth rate was applied to existing volumes between 2017 and 2028 and then a 0.9 (half of 1.8) percent annual growth rate was applied between 2029 and 2038 to reflect projected future background traffic volume growth, which can be expected through a sustained constant area growth without the Costco Wholesale warehouse. The use of a straight line growth rate for the prediction of future events is generally a conservative methodology and should be considered as such when reviewing the output of this analysis. Existing 2017 weekday PM and Saturday midday peak hour turning movement volumes are presented in Figure 4. Projected 2018 and 2038 weekday PM and Saturday midday peak hour turning movement volumes without the proposed project (no build) are presented in Figure 5 and Figure 6, respectively.

Figure 4 Study Intersections – Existing 2017 Weekday PM and Saturday Midday Peak Hour No Build Volumes



Existing 2017 Weekday PM Peak Hour Volumes:



Existing 2017 Saturday Midday Peak Hour Volumes:

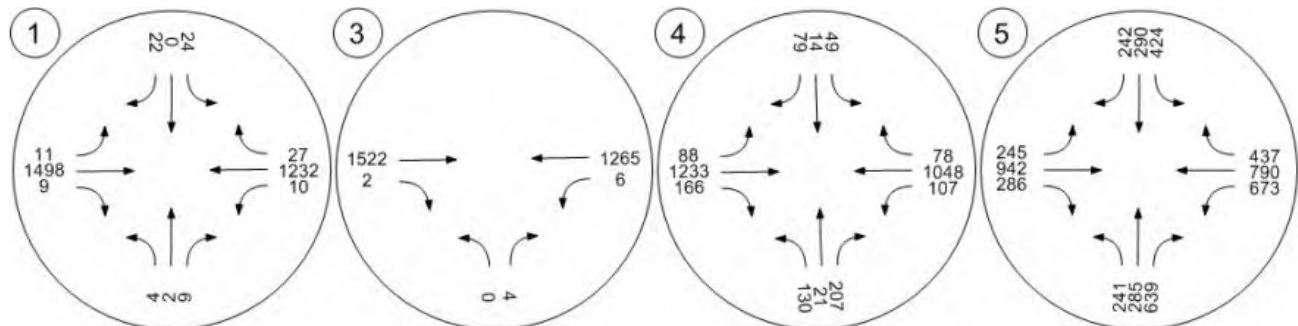
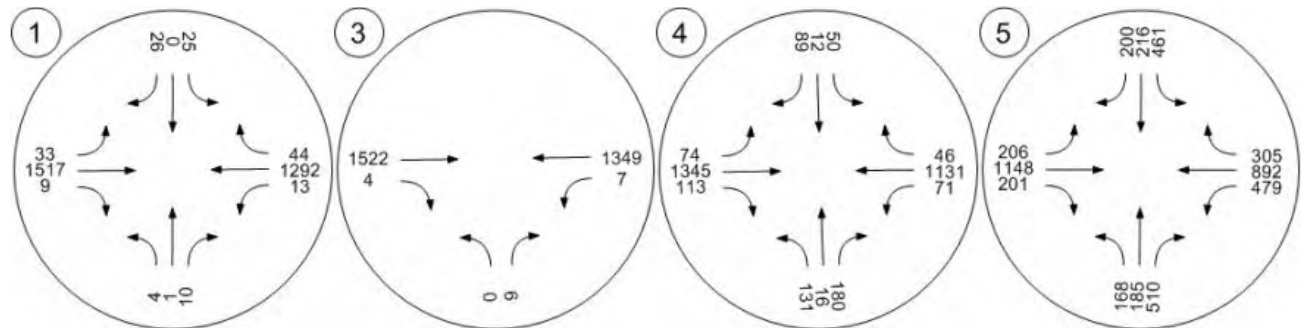


Figure 5 Study Intersections – Projected 2018 Weekday PM and Saturday Midday Peak Hour No Build Volumes



Projected 2018 Weekday PM Peak Hour No Build Volumes:



Projected 2018 Saturday Midday Peak Hour No Build Volumes:

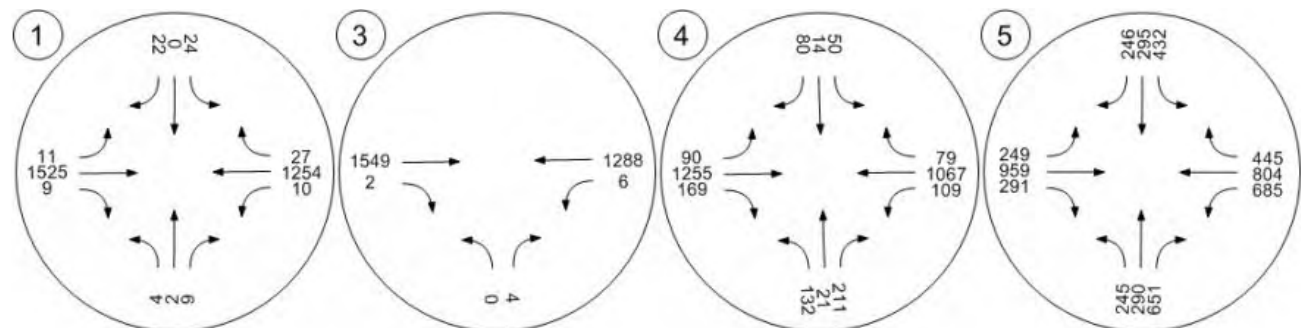
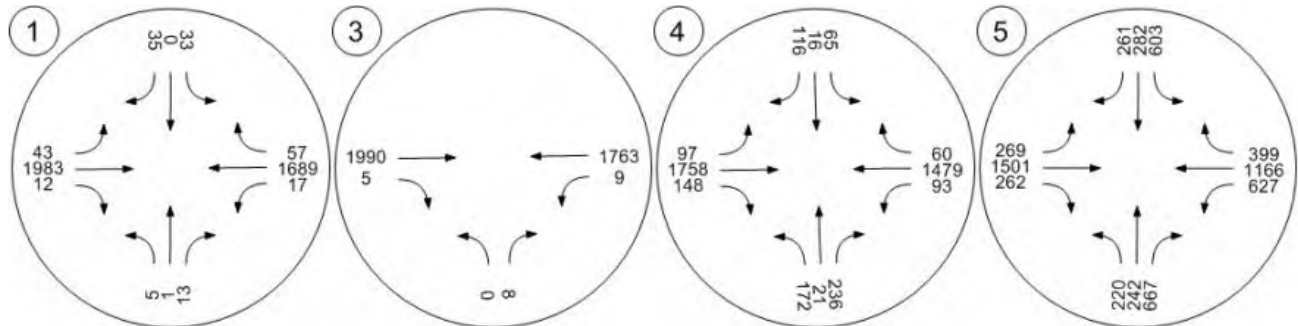


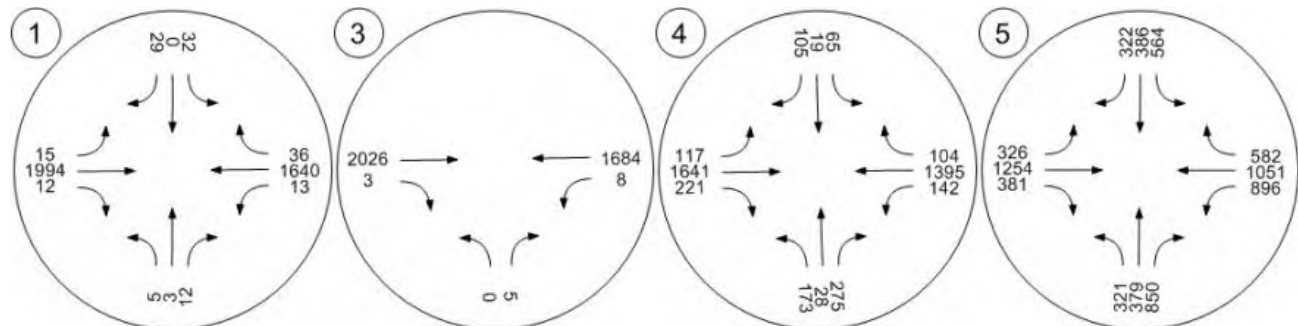
Figure 6 Study Intersections – Projected 2038 Weekday PM and Saturday Midday Peak Hour No Build Volumes



Projected 2038 Weekday PM Peak Hour No Build Volumes:



Projected 2038 Saturday Midday Peak Hour No Build Volumes



Crash Analysis

The Safety Analysis, Visualization, and Exploration Resource (SAVER) website administered by Iowa DOT was used to collect available crash data near the project site for the five-year period between January 1, 2012 and December 31, 2016.

Table 1 presents crash statistics at each intersection organized by crash type.

Table 1 Crash Type by Intersection (1/1/12 – 12/31/16)

Study Intersection		Crash Type							
		Rear End	Head On	Sideswipe Same Direction	Sideswipe Opposite Direction	Broadside	Oncoming Left Turn	Single Vehicle	Other
1	53 rd St & Lorton Ave	8	0	2	0	7	3	1	1
2	53 rd St & Fairhaven Rd	4	0	0	0	0	0	0	1
3	53 rd St & Elmore Cr	23	2	11	1	16	6	3	1
4	53 rd St & Elmore Ave	84	0	15	2	23	5	2	2
Total		119	2	28	3	46	14	6	5

Source: Iowa Department of Transportation, Bureau of Transportation Safety.

Rear-end vehicle crashes were the highest crash type at the study intersections. Rear-end crashes commonly occur due to inattentive drivers.

Intersection crash rates are expressed in crashes per million entering vehicles (crashes/MEV) and can be calculated with the following equation:

$$\text{Crash Rate} = \frac{1,000,000 \times \text{Total Crashes}}{\text{AADT}_{\text{Entering vpd}} \times 365 \times \# \text{ of Years in Study Period}}$$

Table 2 summarizes crash rates at the study intersections and compares it to average statewide crash rates for intersections with a similar number of entering vehicles. For the purposes of this analysis, the weekday PM peak hour entering traffic volume at the study intersections was assumed to be 10% of the daily weekday entering volume, which is standard for urban intersections and is consistent with methodology used by the Federal Highway Administration. The statewide average crash rate for intersections with a similar number of entering vehicles was prepared by the Iowa Department of Transportation, Bureau of Transportation Safety.

Table 2 Intersection Crash Rate Summary

Study Intersection		Total Crashes	Daily Entering Volume	Crash Rate (crashes/MEV)	Statewide Average Crash Rate (crashes/MEV)	Comparison to Statewide Average Crash Rate
1	53 rd St & Lorton Ave	22	29,220	0.41	1.0	Lower
2	53 rd St & Fairhaven Rd	5	28,370	0.10	1.0	Lower
3	53 rd St & Elmore Cr	63	32,010	1.08	1.0	Higher
4	53 rd St & Elmore Ave	133	48,830	1.49	1.0	Higher

Source: Iowa Department of Transportation, Bureau of Transportation Safety.

The intersections of 53rd Street and Elmore Circle and 53rd Street and Elmore Avenue had crash rates that were slightly higher than the statewide average for intersections with a similar daily volume of entering vehicles. This is likely due to relatively higher volume of entering vehicles as compared to the other study intersections. The crash rates at the intersections of 53rd Street and Lorton Avenue and 53rd Street and Fairhaven Road were lower than the statewide average for intersections with a similar daily volume of entering vehicles.

Table 3 presents crash injury statistics at the study intersections organized by severity.

Table 3 Crash Injuries at each Intersection by Crash Severity (1/1/11 – 12/31/15)

Study Intersection		Number of Crashes	Severity					
			Suspected Injury		Possible Injury	Uninjured	Unknown	Injuries per Crash
			Serious	Minor				
1	53 rd St & Lorton Ave	22	0	1	1	40	0	0.09
2	53 rd St & Fairhaven Rd	5	0	0	0	9	0	0.00
3	53 rd St & Elmore Cr	63	1	7	25	101	1	0.52
4	53 rd St & Elmore Ave	133	0	7	34	233	2	0.31

53rd Street and Elmore Circle and 53rd Street and Elmore Avenue experienced a higher number of crash injuries as compared to the other study intersections, which is not unexpected due to the higher number of entering vehicles. Generally, higher volume intersections will experience more crash injuries than lower volume intersections due to a higher frequency of conflicting vehicular turning movements.

Proposed Site Improvements

Trip Generation

Project trip generation is based on nationally accepted trip generation rates and fitted curve equations contained in the Institute of Transportation Engineers (ITE) Trip Generation, 9th Edition, 2012. The Davenport Costco Wholesale warehouse development, which is expected to be completely built by the end of 2018, is most closely represented by ITE's Discount Club (ITE Code 857) and Gas Station (ITE 944) & Gas Station with Convenience Market and Car Wash (ITE Code 946). Trips were generated for these land uses and correspond to the PM weekday and Saturday midday peak hours of the adjacent roadway network. Table 4 presents trip generation estimates for the Costco Wholesale warehouse development.

Table 4 Trip Generation

Land Use	ITE Code ¹	Quantity	Daily Trips		PM Weekday Peak Hour Trips			Midday Saturday Peak Hour Trips		
			Weekday	Saturday	In	Out	Total	Trips	% In	% Out
Discount Club	857	156,170 KSF ²	6,530	8,395	330	325	655	490	505	995
Gas Station	944/ 946	16 VFP ³	2,695	3,785	110	110	220	155	155	310
Total Trips			9,225	12,180	440	435	875	645	660	1,305
Minus Linked Trips (70% for Gas Station)			-1,885	-2,650	-75	-75	-150	-110	-110	-220
New Trips			7,340	9,530	365	360	725	535	550	1,085

¹ Institute of Transportation Engineers Trip Generation Handbook, 9th Edition, 2012

² KSF = Thousand Square Feet

³ VFP = Vehicle Fueling Position

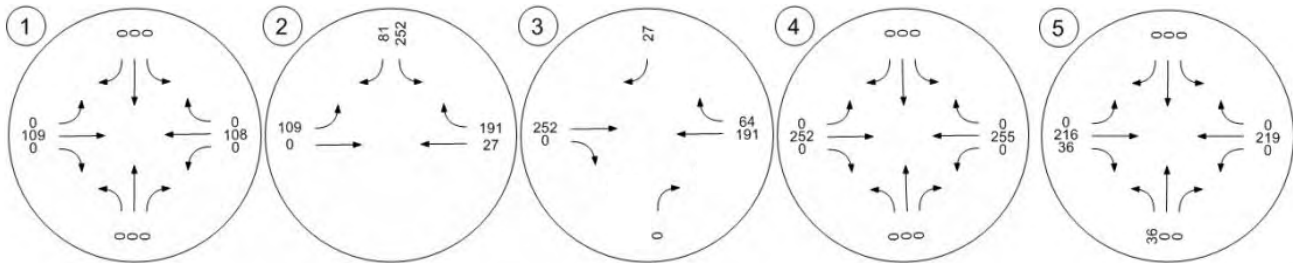
Trip Distribution

Trip distribution percentages for the Costco Wholesale warehouse development are based upon expected travel patterns in the surrounding roadway network. 30% of all project trips are expected to depart the development and travel westbound and arrive to the development by traveling eastbound via 53rd Street. Similarly, 60% of all project trips are expected to depart the development and travel eastbound and arrive to the development by traveling westbound via 53rd Street. The remaining 10% of all projected trips are expected to depart the development and travel eastbound on 53rd Street, then southbound on Elmore Avenue and arrive to the development by traveling northbound on Elmore Avenue and westbound on 53rd Street. Trip distribution percentages and resulting project development trips are presented in Figure 7. Projected 2018 and 2038 weekday PM and Saturday midday peak hour turning movement volumes upon buildout of the Costco Wholesale warehouse development are presented in Figure 8 and Figure 9, respectively.

Figure 7 Trip Distribution plus Weekday PM and Saturday Midday Peak Hour Project Trips



Weekday PM Peak Hour Project Trips:



Saturday Midday Peak Hour Project Trips:

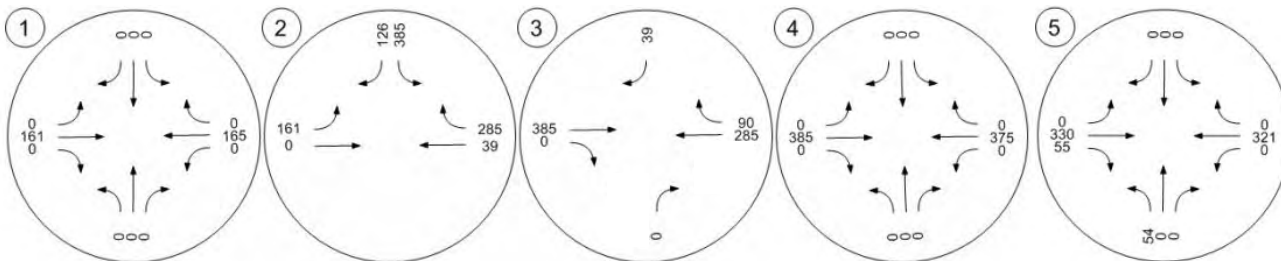
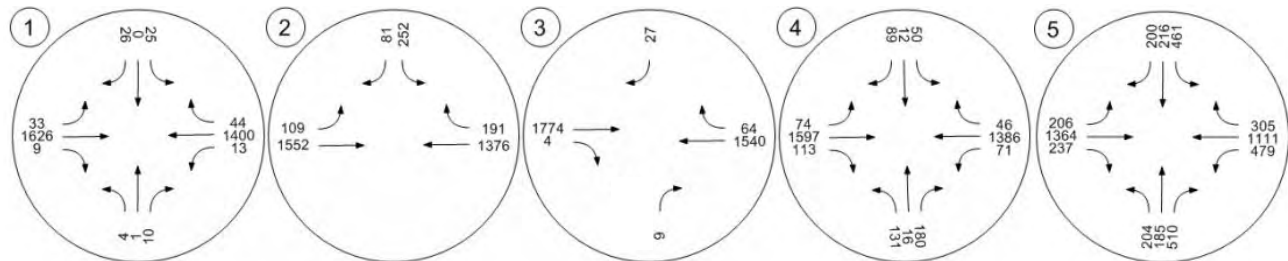


Figure 8 Study Intersections – Projected 2018 Weekday PM and Saturday Midday Peak Hour Buildout Volumes



Projected 2018 Weekday PM Peak Hour Buildout Volumes:



Projected 2018 Saturday Midday Peak Hour Buildout Volumes:

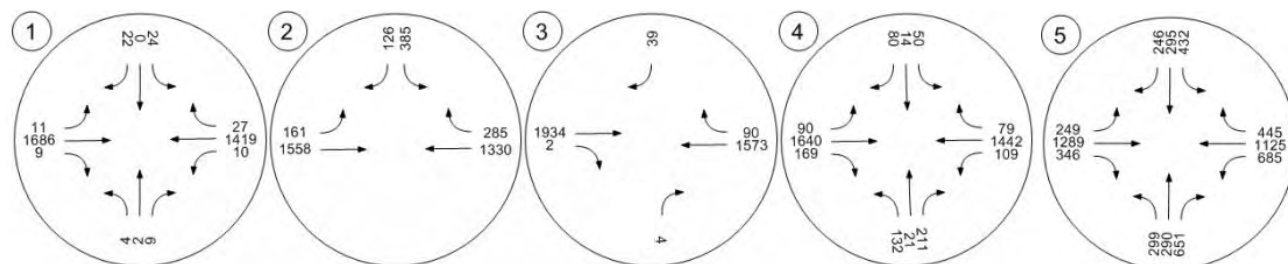
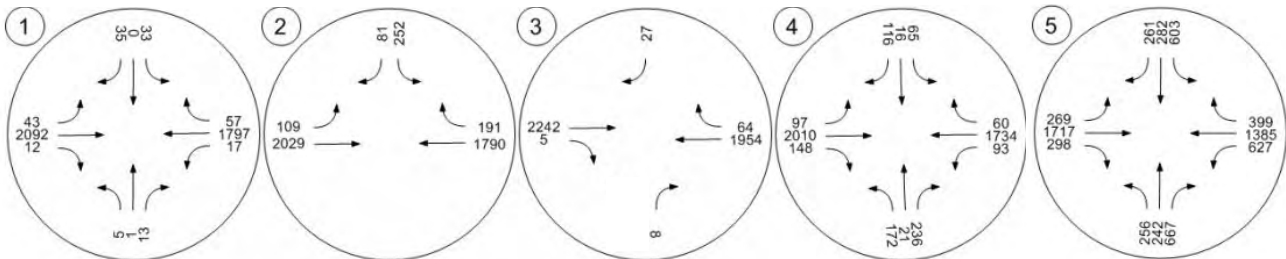


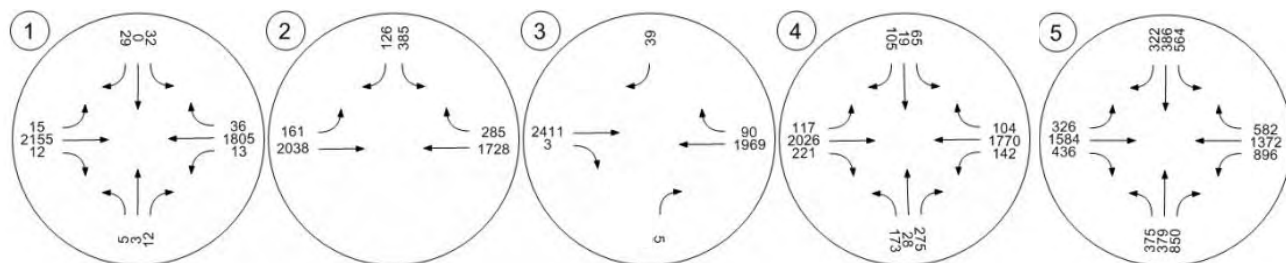
Figure 9 Study Intersections – Projected 2038 Weekday PM and Saturday Midday Peak Hour Buildout Volumes



Projected 2038 Weekday PM Peak Hour Buildout Volumes:



Projected 2038 Saturday Midday Peak Hour Buildout Volumes:



Traffic Modeling

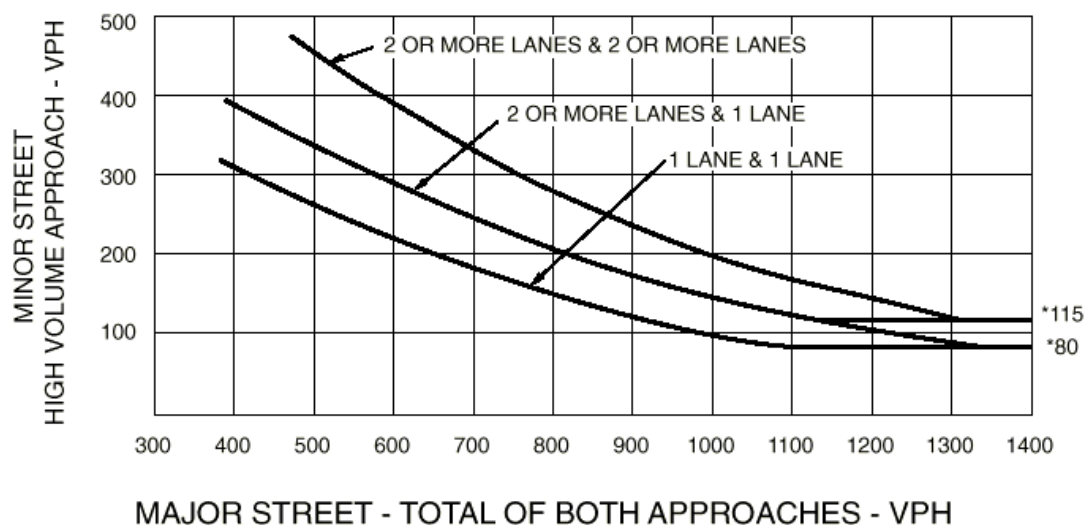
Signal Warrant Analysis

The signal warrant analysis presented herein was conducted for the proposed west access point identified above as intersection #2 or the intersection of 53rd Street and West Access under projected 2018 (buildout) and 2028 (10 years after opening) buildout conditions. Traffic volume counts for the analysis were collected in February 2017. The analysis was performed under the guidelines and procedures as outlined in the 2009 Manual of Uniform Traffic Control Devices (MUTCD). The satisfaction of a traffic control warrant or warrants does not in itself require a modification to the existing traffic control. In general, a modification to an existing traffic control should not be made unless analysis indicates it will improve the overall safety and or operations of the intersection. The ultimate decision resides on engineering judgement.

Warrant 2 – Four-Hour Vehicular Volume

The Four-Hour Vehicular Volume signal warrant condition is intended to be applied where the volume of intersecting traffic is the principal reason to consider installing a traffic control signal. This warrant is satisfied when the plotted points representing vehicles per hour on the major street (total of both approaches) and corresponding vehicles per hour on the higher volume minor street approach (one direction only) all fall above the curve in Figure 10 for the existing combination of approach lanes for all four selected hours of an average day. For the purposes of this analysis, the four hours with the expected highest trip generation, as identified in the ITE trip generation, 9th Edition, 2012, were selected. On the minor street, the higher volume is not required to be on the same approach during each of the four hours.

Figure 10 Four Hour Vehicular Volume Warrant



*Note: 115 vph applies as the lower threshold volume for a minor street approach with two or more lanes and 80 vph applies as the lower threshold volume for a minor street approach with one lane.
Source: Manual of Uniform Traffic Control Devices, December 2009, page 440.

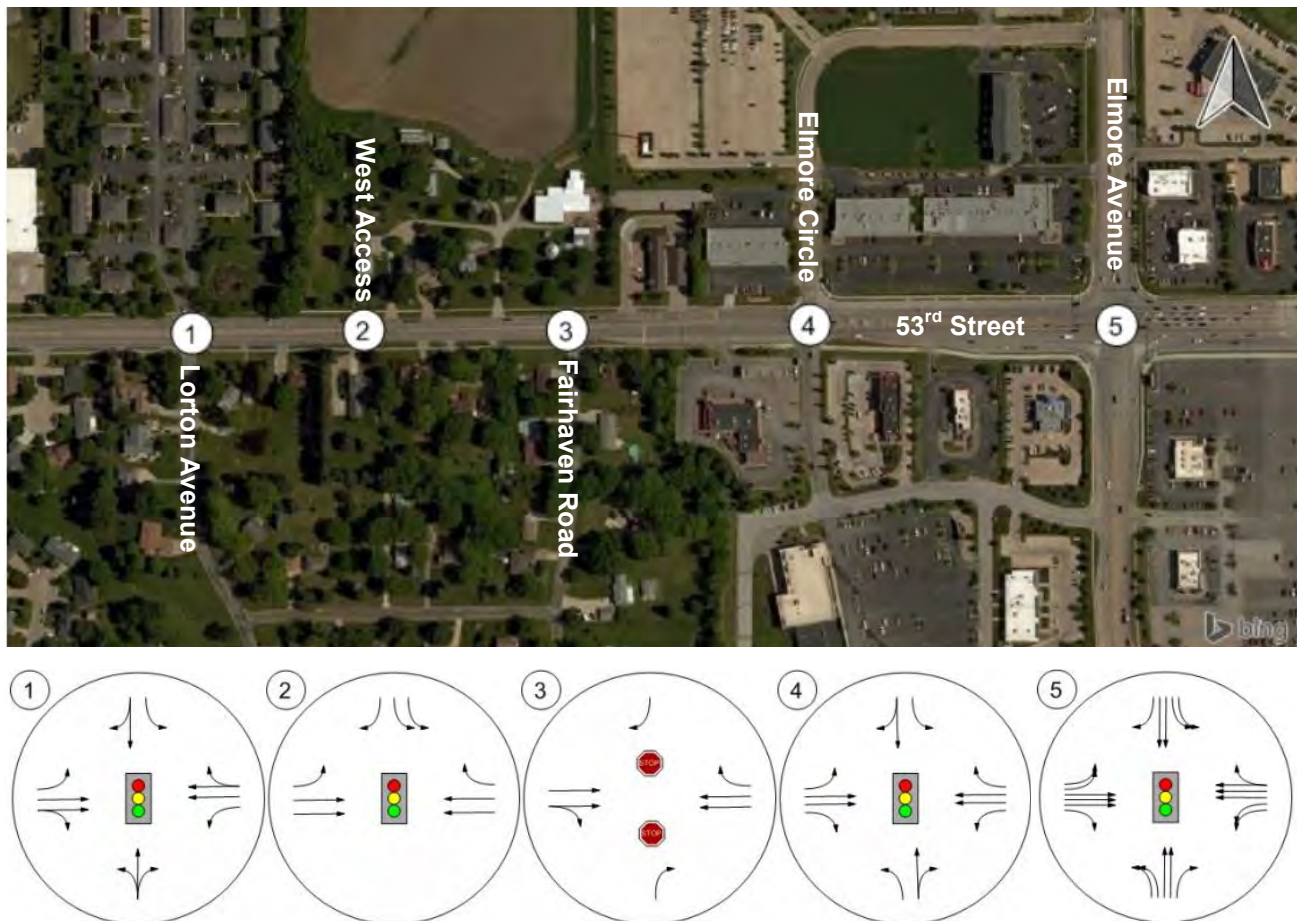
Summary of the signal warrant results is presented in Table 5. Signal warrant analysis worksheets are provided in Appendix 2.

Table 5 Warrant 2 Signal Warrant Analysis Summary

Intersection	2018 Buildout Conditions	2028 Buildout Conditions
	4 Hours Required	4 Hours Required
53 rd Street & West Access	4 Hour Met	4 Hours Met
Warranted?	Yes	Yes

The future proposed intersection of 53rd Street and West Access is projected to meet MUTCD Warrant 2 criteria to justify a traffic control signal upon full buildout 2018 and 2028 conditions.

The study intersection proposed lane configuration and control upon buildout of the Costco Wholesale warehouse development is presented in Figure 11.

Figure 11 Study Intersection – 2018 Proposed Lane Configuration and Control with Buildout

Operational Analysis

Vehicular operational analysis for this study was performed using the methodology of the 2010 Highway Capacity Manual through Synchro 8 traffic analysis software. Operational analysis is generally categorized in terms of Level of Service (LOS). LOS describes the quality of traffic operations and is graded from A to F; with LOS A representing free-flow conditions and LOS F representing congested conditions.

Procedures outlined in Chapter 18 of the HCM 2010 were used to analyze intersection performance at signalized intersections. The primary measure used to quantify LOS at signalized intersections is control delay. Control delay is the delay experienced by vehicles slowing down as they are approaching the intersection, the wait time at the intersection and the time for vehicles to speed up through the intersection and enter into the traffic stream. The average intersection control delay is a volume weighted average of delay experienced by all motorists entering the intersection on all intersection approaches.

Procedures outlined in Chapter 19 of the HCM 2010 were used to analyze intersection performance at unsignalized intersections. While LOS for signalized intersections is primarily based on the volume weighted average delay per vehicle traveling through the intersection (intersection control delay), LOS for unsignalized intersections is based primarily on the approach with the longest delay.

Table 6 presents the range of traffic delays associated for signalized and unsignalized intersections.

Table 6 LOS Criteria for Signalized and Unsignalized Intersections

LOS	Signalized Intersection Average Delay (sec/veh)	Unsignalized Intersection Delay (sec/veh)
A	≤ 10	≤ 10
B	> 10 to 20	> 10 to 15
C	> 20 to 35	> 15 to 25
D	> 35 to 55	> 25 to 35
E	> 55 to 80	> 35 to 50
F	> 80	> 50

Source: HCM 2010, Exhibit 18-4 LOS Criteria for Signalized Intersections and HCM 2010, Exhibit 19-1 LOS Criteria for Unsignalized Intersections.
sec/veh = seconds per vehicle

LOS D or better is generally identified as acceptable in urban conditions. For signalized intersections LOS lower than D may be acceptable for a single movement or approach, as long as the intersection as whole operates at LOS D or better. In heavily congested areas, LOS E for the overall intersection and LOS F for a single movement or approach may be determined to be acceptable.

The analysis presented herein indicates the study intersection of 53rd Street and Elmore Avenue is projected to operate at LOS E during the weekday PM and Saturday midday peak hours under 2038 no build and buildout conditions. All other study intersections are projected to operate at an acceptable LOS through 2038 under no build and buildout weekday PM and Saturday midday peak hour conditions. This analysis assumes lane configuration and control as presented in Figure 3 for the no build condition and Figure 11 for the buildout condition.

Table 7 presents existing and projected signalized operations at the study intersections during weekday PM peak hour conditions. Table 8 presents existing and projected signalized operations at the study intersections during Saturday midday peak hour conditions. Table 9 presents existing and projected operations at the unsignalized intersection of 53rd Street and Fairhaven Road during both weekday PM and Saturday midday peak hour conditions.

Table 7 Existing and Projected Signalized Operations at Study Intersections – Weekday PM Peak Hour

Intersection	Scenario	2017 Existing Conditions				2018 No Build				2018 Buildout				2038 No Build				2038 Buildout			
	Approach	EB	WB	NB	SB	EB	WB	NB	SB	EB	WB	NB	SB	EB	WB	NB	SB	EB	WB	NB	SB
53 rd Street & Lorton Avenue #1	Delay (sec) ¹	13.7	1.2	48.2	51.2	14.8	2.6	45.7	48.6	19.1	11.6	40.6	43.0	18.9	2.3	55.0	58.7	19.4	1.5	59.9	64.0
	HCM LOS ¹	B	A	D	D	B	A	D	D	B	B	D	D	B	A	D	E	B	A	E	E
	95 th %tile Queue ² (Longest Movement) in Feet	T	TR	LTR	L	T	TR	LTR	L	T	TR	LTR	L	T	TR	LTR	L	T	TR	LTR	L
		168	85	41	66	79	114	37	53	101	77	44	58	159	140	51	76	348	90	45	66
	Int. Delay ¹	8.8				10.0				16.1				12.2				12.2			
	HCM LOS ¹	A				B				B				B				B			
53 rd Street & West Access #2	Delay (sec)	-	-	-	-	-	-	-	-	1.4	1.6	-	32.1	-	-	-	-	1.3	1.7	-	57.1
	HCM LOS ¹	-	-	-	-	-	-	-	-	A	A	-	C	-	-	-	-	A	A	-	E
	95 th %tile Queue ² (Longest Movement) in Feet	-	-	-	-	-	-	-	-	T	T	-	L	-	-	-	-	T	T	-	L
		-	-	-	-	-	-	-	-	153	163	-	166	-	-	-	-	183	219	-	215
	Int. Delay ¹	-				-				4.3				-				5.7			
	HCM LOS ¹	-				-				A				-				A			
53 rd Street & Elmore Circle #4	Delay (sec)	1.6	1.1	43.8	38.7	1.8	1.2	42.2	37.0	14.9	12.5	42.9	36.0	4.5	15.5	61.1	50.6	7.3	27.6	83.8	68.7
	HCM LOS ¹	A	A	D	D	A	A	D	D	B	B	D	D	A	B	E	D	A	C	F	E
	95 th %tile Queue ² (Longest Movement) in Feet	T	T	TR	TR	T	T	TR	L	T	T	TR	TR	T	T	TR	TR	T	T	TR	TR
		236	255	149	66	204	259	173	72	208	153	151	70	354	334	294	103	429	293	335	139
	Int. Delay ¹	7.4				7.2				17.2				16.5				24.8			
	HCM LOS ¹	A				A				B				B				C			
53 rd Street & Elmore Avenue #5	Delay (sec)	24.0	26.1	32.0	42.6	21.8	27.3	37.0	41.5	38.5	40.6	41.8	41.8	61.2	38.2	89.9	64.4	60.6	43.0	126.2	81.3
	HCM LOS ¹	C	C	C	D	C	C	D	D	D	D	D	D	E	D	F	E	E	D	F	F
	95 th %tile Queue ² (Longest Movement) in Feet	T	L	R	L	T	L	R	L	T	L	T	L	T	T	T	T	T	T	L	T
		197	236	233	270	183	256	252	264	256	317	370	242	373	336	(137)	838	564	431	(155)	675
	Int. Delay ¹	29.4				29.8				40.3				59.0				68.8			
	HCM LOS ¹	C				C				D				E				E			

¹ Delay and LOS analysis based on HCM 2010 Signalized Intersection Summary reports# = 95th percentile volume exceed capacity, queue may be longer, (123) = Queues are taken from the lanes volumes timings report; all other queues are taken from SimTraffic reports.

Table 8 Existing and Projected Signalized Operations at Study Intersections – Saturday Midday Peak Hour

Intersection	Scenario	2017 Existing Conditions				2018 No Build				2018 Buildout				2038 No Build				2038 Buildout			
	Approach	EB	WB	NB	SB	EB	WB	NB	SB	EB	WB	NB	SB	EB	WB	NB	SB	EB	WB	NB	SB
53 rd Street & Lorton Avenue #1	Delay (sec) ¹	17.6	1.2	38.1	39.7	18.1	1.2	38.1	39.7	18.1	1.0	43.2	45.0	21.2	1.9	50.5	53.0	23.3	1.3	55.5	58.3
	HCM LOS ¹	B	A	D	D	B	A	D	D	B	A	D	D	C	A	D	D	C	A	E	E
	95 th %tile Queue ² (Longest Movement) in Feet	T	TR	LTR	L	T	TR	LTR	L	T	TR	LTR	L	TR	TR	LTR	L	T	TR	LTR	L
		82	80	38	49	93	83	40	54	91	84	41	50	129	135	51	68	(692)	89	52	69
	Int. Delay ¹	10.7				11.0				10.9				13.2				14.0			
	HCM LOS ¹	B				B				B				B				B			
53 rd Street & West Access #2	Delay (sec)	-	-	-	-	-	-	-	-	1.5	1.5	-	38.4	-	-	-	-	1.8	2.2	-	53.8
	HCM LOS ¹	-	-	-	-	-	-	-	-	A	A	-	D	-	-	-	-	A	A	-	D
	95 th %tile Queue ² (Longest Movement) in Feet	-	-	-	-	-	-	-	-	T	T	-	L	-	-	-	-	T	T	-	L
		-	-	-	-	-	-	-	-	152	177	-	222	-	-	-	-	400	208	-	249
	Int. Delay ¹	-				-				6.4				-				7.6			
	HCM LOS ¹	-				-				A				-				A			
53 rd Street & Elmore Circle #4	Delay (sec) ¹	1.8	21.3	36.0	31.1	1.7	20.9	39.0	32.7	13.2	18.3	50.1	40.2	3.3	29.6	56.8	47.8	23.0	27.3	72.8	64.2
	HCM LOS ¹	A	C	D	C	A	C	D	C	B	B	D	D	A	C	E	D	C	C	E	E
	95 th %tile Queue ² (Longest Movement) in Feet	T	T	TR	L	T	T	TR	TR	T	T	TR	L	T	T	TR	TR	T	T	TR	TR
		186	160	149	62	199	150	154	64	218	165	223	72	319	244	330	100	570	311	426	138
	Int. Delay ¹	14.3				14.6				19.5				21.3				31.0			
	HCM LOS ¹	B				B				B				C				C			
53 rd Street & Elmore Avenue #5	Delay (sec) ¹	39.1	29.1	29.6	35.0	39.7	30.4	31.9	35.8	43.8	39.4	52.1	38.3	53.3	42.8	98.1	69.1	67.4	45.3	118.8	82.4
	HCM LOS ¹	D	C	C	D	D	C	C	D	D	D	D	D	D	D	F	E	E	D	F	F
	95 th %tile Queue ² (Longest Movement) in Feet	T	L	T	L	T	L	T	L	T	L	T	L	T	T	T	T	T	T	T	T
		201	305	333	247	216	322	464	279	298	474	670	218	419	592	(182)	784	656	513	#(210)	(202)
	Int. Delay ¹	32.9				34.2				43.0				61.9				72.1			
	HCM LOS ¹	C				C				D				E				E			

¹ Delay and LOS analysis based on HCM 2010 Signalized Intersection Summary reports# = 95th percentile volume exceed capacity, queue may be longer, (123) = Queues are taken from the lanes volumes timings report; all other queues are taken from SimTraffic reports.

Table 9 Existing and Projected Operations at 53rd Street and Fairhaven Road.

Intersection		Scenario	Weekday PM Peak Hour			Saturday Midday Peak Hour		
			Worst Approach Delay (sec) ¹	HCM LOS ¹		Worst Approach Delay (sec) ¹	HCM LOS ¹	
3	53 rd Street & Fairhaven Road	2017 Existing Conditions	NB	16.2	C	NB	16.0	C
		2018 No Build	NB	16.4	C	NB	16.3	C
		2018 Buildout	NB	19.2	C	NB	20.4	C
		2038 No Build	NB	22.1	C	NB	21.7	C
		2038 Buildout	NB	26.2	D	NB	28.0	D

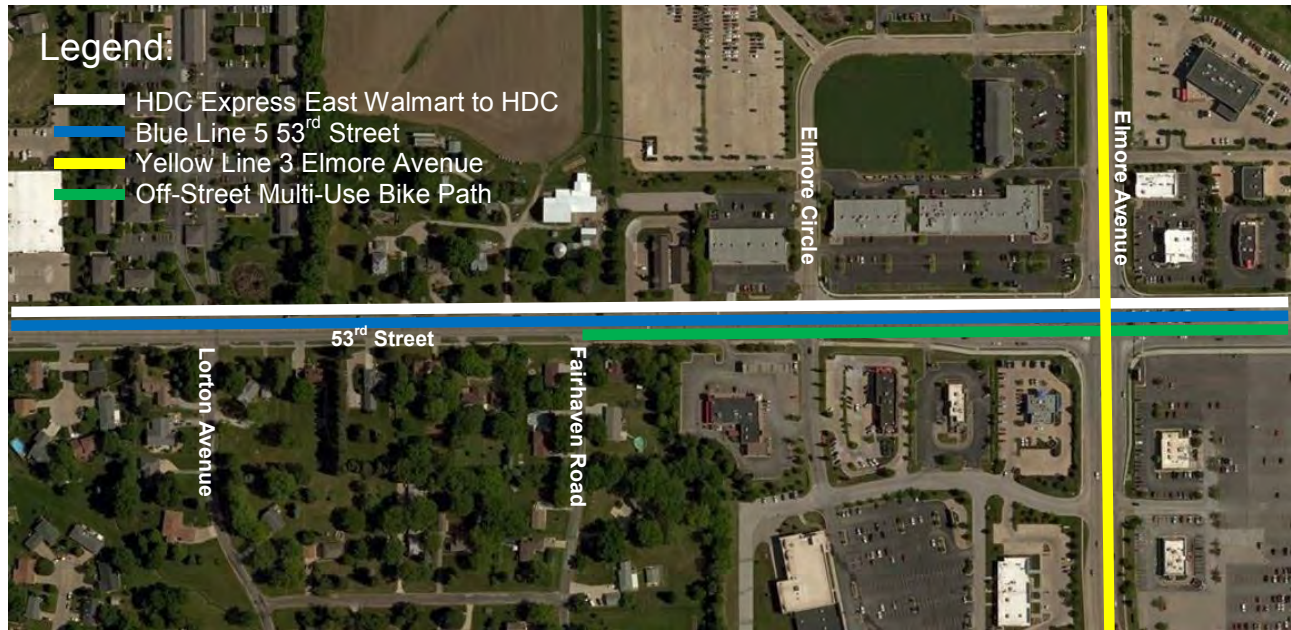
¹ Delay and LOS analysis based on HCM 2010 Two-way Stop Control Reports

Multimodal Review

The HDC Express, Blue Line 5, and Yellow Line 3 transit routes pass through the study area. An off-street multi-use bike path extends from just east of Fairhaven Road to Utica Ridge Road along the south side of 53rd Street.

Figure 12 presents transit routes and bicycle/pedestrian facilities near the proposed development.

Figure 12 Transit and Bicycle/Pedestrian Facilities



Conclusion and Recommendations

The Costco Wholesale warehouse development will consist of a 156,170 square foot footprint warehouse, as well as a gas station with 16 vehicle fueling positions. The proposed development will be located directly north of 53rd Street, east of the Jersey Meadows Apartments, and west of the AT&T Call Center that abuts Elmore Circle. The Costco Wholesale warehouse development is expected to be completely built by the end of 2018. The development is proposing two access points. One access point will be located between Lorton Avenue and Fairhaven Road. This access point will be a full access point, meaning there will not be any restricted turning movements. The second access point will become the southbound approach to the intersection of 53rd Street and Fairhaven Road, which will restrict southbound left-turn, eastbound and westbound left-turn, and northbound through and left-turn movements. Costco anticipates having to install a traffic control signal at the full access point between Lorton Avenue and Fairhaven Road (West Access). Sight visibility zones corresponding to intersection sight distance calculations as defined through AASHTO should be identified and maintained at these access points. These zones should not contain structures or plantings that would preclude unobstructed views of oncoming traffic. Current designs for the development do not indicate obstructions within the sight visibility zones.

The Safety Analysis, Visualization, and Exploration Resource (SAVER) website administered by the Iowa DOT was used to collect available crash data near the project site for the five-year period between January 1, 2012 and December 31, 2016. The intersections of 53rd Street and Elmore Circle and 53rd Street and Elmore Avenue had a crash rate that was slightly higher than the statewide average for intersections with a similar daily volume of entering vehicles. The crash rates at the intersections of 53rd Street and Lorton Avenue and 53rd Street and Fairhaven Road were lower than the statewide average for intersections with a similar daily volume of entering vehicles.

The future proposed intersection of 53rd Street and West Access is projected to meet MUTCD Warrant 2 criteria to justify a traffic control signal upon full buildout 2018 and 2028 conditions.

The analysis presented herein indicates the study intersection of 53rd Street and Elmore Avenue is projected to operate at LOS E during the weekday PM and Saturday midday peak hours under 2038 no build and buildout conditions. All other study intersections are projected to operate at an acceptable LOS through 2038 under no build and buildout weekday PM and Saturday midday peak hour conditions. Considering the Costco Wholesale warehouse development is not projected to degrade the LOS at the study intersections more than would otherwise occur without the development; no other changes/improvements to the study intersections lane configuration and control from what is depicted in Figure 11 are considered necessary.

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
6/6/2017

Subject:

Tuesday, June 20, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 2:04 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
6/6/2017

Subject:
Approve minutes of 05-16-17 regular meeting

ATTACHMENTS:

Type	Description
▣ Backup Material	Minutes 05-16-17

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:52 PM

**CITY PLAN AND ZONING COMMISSION
CITY OF DAVENPORT, IOWA**

**TUESDAY MAY 16, 2017 • 5:00 PM
COUNCIL CHAMBERS – DAVENPORT CITY HALL
226 W 4TH STREET DAVENPORT, IA**

MINUTES

By this reference all reports, documents, presentations and the meeting video record are made a part of the minutes.

PUBLIC HEARING CANCELLED

PUBLIC HEARING AGENDA

The public hearing was opened at 5:00 P.M. and the following public hearing was held:

OLD BUSINESS – None

NEW BUSINESS – None

Next Public Hearing:

Tuesday, June 6, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REGULAR MEETING AGENDA

The regular meeting was called to order at 5:00 P.M., there was no public hearing.

I. Roll Call of the Membership

Present: Connell, Hepner, Inghram, Kelling, Lammers, Maness, Medd, Quinn, Reinartz and Tallman.

Excused: Maness and Martinez

Absent: None

Staff: Rusnak, Flynn, Leabhart and attorney Heyer.

II. Report of the City Council Activity – as presented

III. Secretary's Report May 2, 2017 meeting minutes were approved

IV. Report of the Comprehensive Plan Committee – Flynn provided a brief update on the Zoning Ordinance rewrite.

V. Zoning Activity

A. Old Business – None

B. New Business -

1. **Case No. ROW17-02:** Request of Genesis Health System for the right-of-way vacation (abandonment) of 0.38 acre (16,800 square feet), more or less, of public right-of-way known as East Lombard Street between College Avenue and the west line extended of the north-south alley east of formerly vacated Esplanade Avenue. The request is to facilitate campus expansion.

Findings:

1. The proposed right of way vacation would not impact adjacent property owners since Genesis Health System owns property on both sides of East Lombard Street in the location of the right of way vacation; and
2. A utility easement would preserve the rights for utility providers maintaining utilities within the East Lombard Street right-of-way.

Staff recommends the City Plan and Zoning Commission forward Case No. ROW17-02 to the City Council with a recommendation for approval subject to the following condition:

1. A utility easement be dedicated for the preservation and maintenance of public utilities within the East Lombard Street right-of-way. Alternatively, Genesis Health System could abandon the public utilities.

On a motion by Medd, seconded by Lammers, the City Plan and Zoning Commission accepted the findings and forwards Case No. ROW17-02 to the City Council with a recommendation for approval subject to the condition listed by City staff.

Vote of recommendation for approval of 7-yes, 0-no and 0-abstention.

2. **Case No. ROW17-03:** Request of Genesis Health System for the right-of-way vacation (abandonment) of 0.26 acre (11,400 square feet), more or less, of public right-of-way known as Denison Avenue between the west line of Adams Street and the railroad. The request is to facilitate securing the property

Findings:

1. The proposed right of way vacation would not impact adjacent property owners since Genesis Health System owns the adjacent property to the north; and
2. A utility easement would preserve the right of the utility provider maintaining the sanitary sewer within the Denison Avenue right-of-way.

Staff recommends the City Plan and Zoning Commission forward Case No. ROW17-03 to the City Council with a recommendation for approval subject to the following condition:

1. A utility easement be dedicated for the preservation and maintenance of the public utility within the Denison Avenue right-of-way. Alternatively, Genesis Health System could abandon the public utility.

On a motion by Medd, seconded by Hepner, the City Plan and Zoning Commission accepted the findings and forwards Case No. ROW17-03 to the City Council with a recommendation for approval subject to the condition listed by City staff.

Vote of recommendation for approval of 7-yes, 0-no and 0-abstention.

- 3. Case No. FDP17-02:** Request of Genesis Health System for a PDD Final Development Plan approval for a medical office building located on 2.92 acres, more or less, of property located at 3200 West Kimberly Road.

Finding:

1. The proposed Final Development Plan would achieve consistency with adopted ORD2014-423 if the building and parking lot setback deficiencies are resolved (either through the granting of a hardship variance by the Zoning Board of Adjustment or the building and parking lot be adjusted on the site to accommodate the required setbacks) and the dumpster and enclosure is relocated to achieve consistency with the required 30 foot buffer adjacent to the north property line adjacent to the residences.

Staff recommends the Plan and Zoning Commission accept the listed condition and forward Case FDP17-02 to the City Council with a recommendation for approval subject to the following conditions:

1. Prior to the City Council's consideration of the proposed Final Development Plan, the building setback and parking deficiencies be resolved (either through the granting of a hardship variance by the Zoning Board of Adjustment or building and parking lot be adjusted on the site to accommodate the required setbacks) and the dumpster and enclosure be relocated to achieve consistency with the required 30 foot buffer adjacent to the north property line adjacent to the residences; and
2. Prior to issuance of Certificate of Occupancy, the portion of the existing sanitary sewer easement within the proposed building foot print shall be vacated. A new sanitary manhole shall be constructed in place of the depicted sewer cleanout shown. The lateral shall be connect to the sewer with a wye connection and not brought into the manhole.

On a motion by Medd, seconded by Tallman, the City Plan and Zoning Commission accepted the finding and forwards Case No. FDP17-02 to the City Council with a recommendation for approval subject to the two conditions listed by City staff.

Vote of recommendation for approval of 7-yes, 0-no and 0-abstention.

- 4. Case No. FDP17-03:** Request of Build to Suit Inc on behalf of Family Care Solutions for a PDD final development plan for offices on 1.2 acres, more or less, being Lot 9 of Utica Corners 6th Subdivision located east of Utica Ridge Road and north of Crow Creek Road.

Finding:

1. The proposed Final Development Plan meets consistency with adopted ORD99-494.

Staff recommends the Plan and Zoning Commission accept the listed finding and forward Case FDP17-03 to the City Council with a recommendation for approval.

On a motion by Medd, seconded by Lammers, the City Plan and Zoning Commission accepted the finding and forwards Case No. FDP17-03 to the City Council with a recommendation for approval.

Vote of recommendation for approval of 7-yes, 0-no and 0-abstention.

VI. Subdivision Activity

A. Old Business – None

B. New Business –

- 1. Case No. F17-10:** Final plat of Interstate 80 Airport Industrial Park 10th Addition, being in part a replat of Lot 2 of Interstate 80 Airport Industrial Park 4th Addition, located at the northeast corner of Hillandale Road and Research Parkway, containing two industrial lots on 29.43 acres, more or less.

Findings:

1. The plat conforms to the comprehensive plan Davenport+2035;
2. The plat would achieve consistency with subdivision/zoning requirements

Staff recommends the City Plan and Zoning Commission forward Case No. F17-10 to the City Council with a recommendation for approval subject to the following conditions:

1. That the surveyor signs the plat;
2. That the utility companies sign the plat when their easement needs have been met;
3. That the plat is tied to two quarter corners both labeled with description or two previously established lot corners both labeled with description of each corner;
4. That a note be added to the plat stating that sidewalks shall be installed along street frontages when so ordered by the City;
5. That the existing 30 foot wide sewer easement be extended and shown as dedicated along the remaining Hillandale Road frontage and along the Enterprise Way frontage. The utility easements shall remain shown as is; this 30 foot dedication would begin at the ROW lines and overlap those utility easements;
6. That a note be added to the plat stating that all street access points shall be approved by the City Traffic Engineer;

7. That the area for storm water detention and water quality treatment be located within an easement in accordance with Section 13.34.260 of the Davenport City Code; and
8. The following note be added to the plat pertaining to the 20 foot wide drainage easement: The owners of lots with drainage easements shall maintain a storm water passageway within the area platted as "Drainage Easement". This area shall be planted in grass and maintained as a lawn free of structures, fences, bushes, trees and other landscaping that would impede the flow of storm water."

On a motion by Reinartz, seconded by Tallman, the City Plan and Zoning Commission accepted the findings and forwards Case No. F17-10 to the City Council with a recommendation for approval subject to the eight conditions listed by City staff.

Vote of recommendation for approval of 7-yes, 0-no and 0-abstention.

2. **Case No. P17-02:** Preliminary plat of Inverness Estates located east of Division Street and south of West 76th Street, containing 246 residential lots and 51 outlots on 123 acres, more or less.

Findings:

1. The preliminary plat conforms to the comprehensive plan land use.
2. The preliminary plat prepares the area for future residential development.
3. The preliminary plat raises issues regarding public safety due to flooding.
4. While approval of a preliminary plat does not constitute acceptance of the subdivision by the city, it is deemed to be an authorization to proceed with the preparation of the final plat, the developer need to be clear there are significant issues that will need to be addressed prior to or with final platting.

Recommendation

Staff recommends the Plan and Zoning Commission accept the findings and forward Case No. P17-02 to the City Council with a recommendation for approval.

On a motion by Reinartz, seconded by Lammers, the City Plan and Zoning Commission accepted the findings and forwards Case No. P17-02 to the City Council with a recommendation for approval.

Vote of recommendation for approval of 6-yes, 0-no and 1-abstention (Tallman).

VII. Other Business –

VIII. Future Business – Preview of items for the May 16th public hearing and/or regular meeting (*note-not all items to be heard may be listed*):

1. Case No. F17-10: Request of Greater Davenport Redevelopment Corporation for a two lot final plat on 29.43 acres, more or less, located at the northeast corner of Hillandale Road and Research Parkway. The proposed plat is a replat of Lot 2 of Interstate 80 Airport Industrial Park 4th Addition and unplatted land. The property is zoned "M-1" Industrial District.

2. Case No. FDP17-02: Request of Genesis Health System for a PDD Final Development Plan approval for a medical office building located on 2.92 acres, more or less, of property located at 3200 West Kimberly Road.
3. Case No. P17-02: the preliminary plat of Inverness Estates located east of Division Street and south of West 76th Street, containing 246 residential lots and 51 outlots.

VIII. Communications (Time open for citizens wishing to address the Commission on matters not on the established agenda)

IX. Adjourn – The meeting was adjourned at 5:55 P.M.

- *Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.*
- *Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.*
- *A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.*

Next Public Hearing/Regular Plan & Zoning Meeting:

Tuesday, June 6, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

Report of City Council Activity

May 10, 2017 Meeting –

Resolution approving Case No. F17-04 being the final plat of Cross First Addition located north of Deer Woods Drive which is north of Rickerhill Road, containing one (1) residential lot. [1st Ward]

Resolution approving Case No. P17-01 being the petition of Grunwald Land for approval of a preliminary plat to develop 70 lots of single family residential south of the Eagle's Crest development. The plat contains 22.15 acres, more or less. The property is zoned "R-3" Industrial District. [1st Ward]

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
6/6/2017

Subject:

Case No. F17-11: Final plat of Windsor Meadows Commercial Park Third Addition, being a replat of Lot 1 Windsor Meadows Commercial Park Second Addition, located on the west side of Elmore Avenue north of Kimberly Road, containing one (1) commercial lot on 0.46 acre, more or less.

ATTACHMENTS:

Type	Description
▣ Backup Material	F17-11 Packet

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:52 PM



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: June 06, 2017
Request: Final Plat Windsor Meadows Commercial Park Third Addition
Case No.: F17-11
Applicant: ME Elmore 1, LLC

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. F17-11 to the City Council with a recommendation for approval subject to the listed conditions.

Introduction:

Petition of ME Elmore 1, LLC for approval of a one lot commercial subdivision located west of Elmore Avenue and north of Kimberly Road. The plat would create a pad site along Elmore Avenue accessed through the Gordman's and Kohl's parking lot areas. The plat contains 0.46 acre, more or less.

AREA CHARACTERISTICS:

Zoning Map



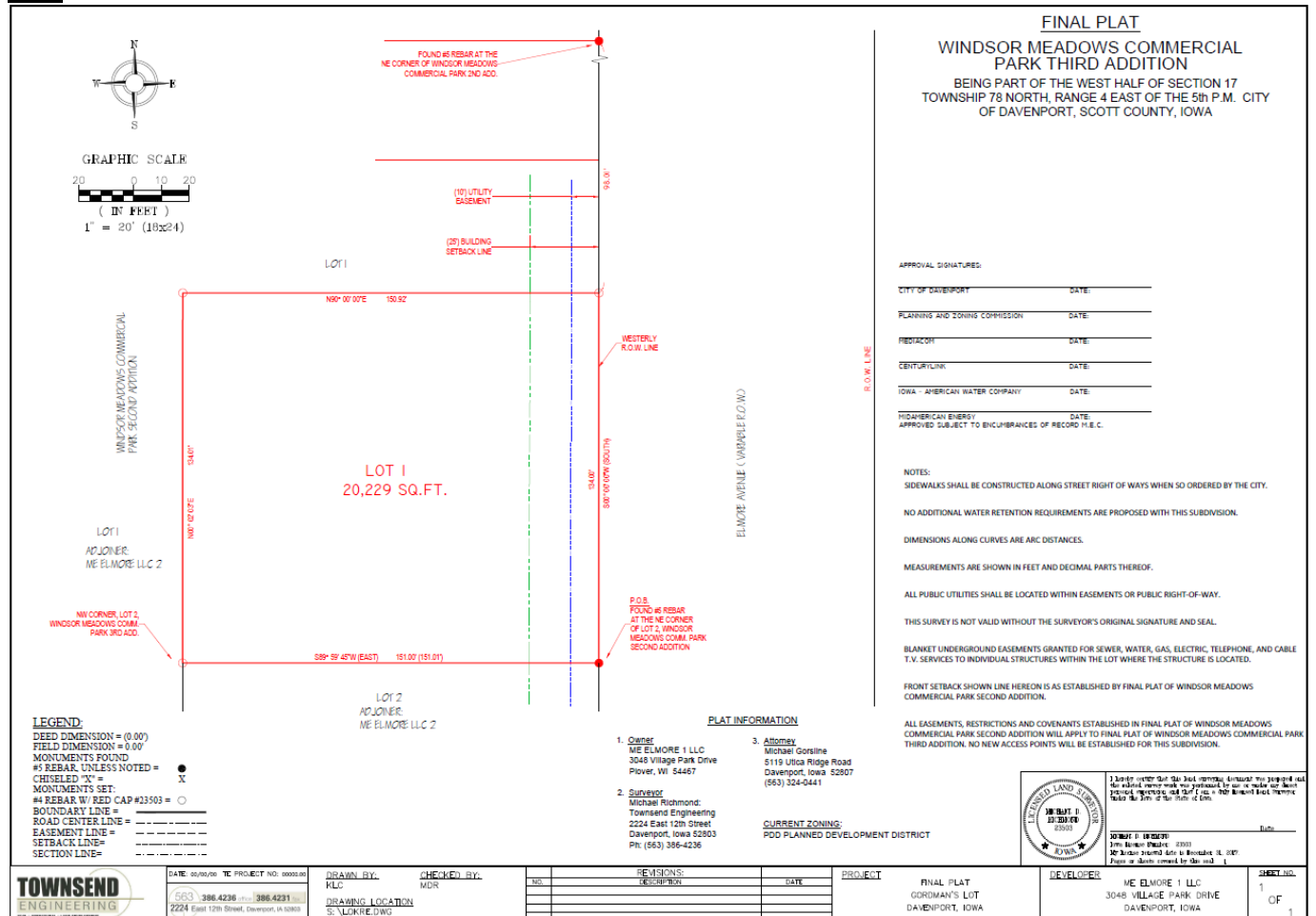
Land Use Map



Aerial Photo



Plat



Background:

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Boundary 2035: Yes

Proposed Land Use Designation:

Regional Commercial (RC) Are the most intense commercial areas that have service boundaries that extend beyond the City limits of Davenport. Areas designated RC should be located at the intersections of major streets and have good access to interstate and other highways. Typical uses include big box retail and large office complexes; although some residential, service and institutional uses may also be located within RC. Most people will drive or take transit to areas designated RC. However, good pedestrian systems should serve these areas and focus on connectivity from the street, through parking lots and between individual uses. Connectivity to nearby neighborhoods is desirable but less important.

Relevant Goals to be considered in this Case:

- Strengthen the existing built environment
- Identify and reserve land for future development

Iowa Smart Planning Principles:

- Revitalization - Reuse of existing sites and infrastructure is preferred over new construction in undeveloped areas.
- Occupational Diversity – Promote diversity of employment and business opportunities, and promote businesses in locations near existing housing, infrastructure and transportation.

Technical Review:

Streets. The plat is located along Elmore Avenue north of Kimberly Road. Access to the site is from Elmore through the existing parking lot access points for the Kohl's and Gordman's centers. No new access will be allowed onto Elmore Avenue.

Storm Water. Stormwater infrastructure is located in Elmore Avenue and the existing parking lot areas.

Sanitary Sewer. Sanitary sewer service is located in Elmore Avenue and to the rear of the property in the Pheasant Creek area to the west. There is a question whether the site can use the sewer on the east side of Elmore by gravity flow, the developer will need to determine this. If they go west some type of easement/agreement will be needed to go thru other property and reach the creek.

Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located just under one and one-half (1-1/2) mile from the Fire Station No. 8, which is located at 2802 E 53rd Street.

Parks/Open Space. There is no impact on proposed or existing parks or open space.

PUBLIC INPUT

This is a final plat and does not require notification.

DISCUSSION

The petitioners are proposing a one lot subdivision to allow for a commercial pad site within an existing big box commercial area.

STAFF RECOMMENDATION

Findings:

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. F17-11 to the City Council with a recommendation for approval subject to the following conditions:

1. No new access is allowed to Elmore Avenue;
2. If easements are needed for sanitary sewer connection these easements are shown on the plat.

Prepared by:

Wayne Wille, CFM
Planner II
Community Planning Division

From: [Leabhart, Tom](#)
To: [Wille, Wayne](#)
Cc: [Kay, Amy](#); [Longlett, Eric](#)
Subject: RE: New subdivisio plat
Date: Tuesday, May 23, 2017 8:38:12 AM
Attachments: [image001.png](#)

Wayne,

I just have the standard comments plus 2:

1. Should go without saying but no new access will be allowed onto Elmore Ave.
2. I am not sure that the site can use the sewer on the east side of Elmore by gravity flow, the developer will need to determine this. If they go west some type of easement/agreement will be needed to go thru other property and reach the creek.

Let me know if you have any questions, thanks.

Tom Leabhart, P.E.

Davenport Public Works

563-327-5155

From: Wille, Wayne

Sent: Thursday, May 11, 2017 1:30 PM

To: Berger, Bruce; Cox, David; Driskill, Amy; DuBois Julie; Fisher, William (Billy); Flynn, Matt; Glessner, Antonio ; Hayman, Michael; Heyer, Brian; Hock, Scott; Jacobsen, Henry; Johnson, Christopher T.; Johnson, Joy ; Jones, Todd; Kay, Amy; Koops, Scott E.; Leabhart, Tom; Longlett, Eric; McGee, Mike; Morris, Kathy; Peterson, Zach; Ralfs, Jacob; Rusnak, Ryan; Schadt, Brian; Scheible, Kurt; Sim, Nicholas; Statz, Gary; Tate, Art; Wille, Wayne

Subject: New subdivisio plat

Attached is a new subdivision plat; a pad site in the Gordmans' parking lot area. Please review. I

am out of the office until May 23rd so please have comments to me by then Tuesday May 23rd.

Wayne Wille, CFM - Planner II

Community Planning Division

226 W 4th St - Davenport IA 52801

563-326-6172 - wtw@ci.davenport.ia.us

563-326-7765 - planning@ci.davenport.ia.us

[Click here for more information about the Zoning Ordinance Rewrite](#). Spread the Word!



CITY OF DAVENPORT
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT (CPED)
SUBDIVISION REFERENCE FILE

PRELIM / FINAL / PUD (circle the appropriate designation)

SUBDIVISION NAME: Windsor Meadows Commercial Park Third Addition

LOCATION: Elmore Avenue

DEVELOPER:

Name: ME Elmore I, LLC

Address: 3048 Village Park Road Drive

Phone: _____

FAX: _____

Mobile Phone: _____

Email: _____

ENGINEER:

Name: Townsend Engineering

Address: 2224 E. River Drive, Davenport, IA

Phone: (563) 386-4236

FAX: (563) 386-4231

Mobile Phone: _____

Email: Kevin@TownsendEngineering.net

ATTORNEY:

Name: Michael Gorsline

Address: 5119 Altan Ridge Rd Davenport, Ia 52807

Phone: (563) 324-0441

FAX: _____

Mobile Phone: _____

Email: _____

OWNER:

Name: ME Elmore I, LLC

Address: 3048 Village Park Drive

Phone: _____

FAX: _____

Mobile Phone: _____

Email: _____

NUMBER OF LOTS:

1 ACRES: 0.4644

SF

2F

MF & EST. UNITS

COMM

IND

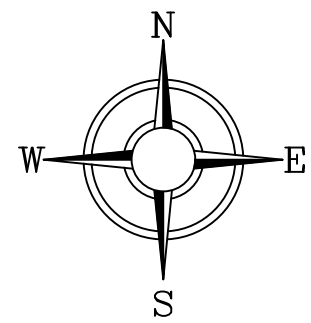
STREETS ADDED:

N/A LINEAR FEET

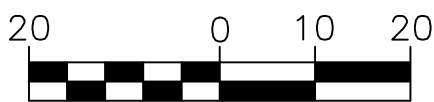
Does the plat contain a drainage way or floodplain area: Yes ☒ No

Fee per Plat		Fee
Ten or fewer lots	(< 10 lots)	\$400 plus \$25/lot
Eleven to twenty-five lots	(≥ 11 lots ≤ 25 lots)	\$700 plus \$25/lot
More than twenty-five lots	(> 25 lots)	\$1,000 plus \$25/lot
Reforestation fee	(submit to Land Use Office Prior to City Council review)	\$150 per 50 feet of lineal lot frontage

NOTE: THE PLAT WILL NOT BE PROCESSED UNTIL THE FEE AND COMPLETED REFERENCE FILE ARE RECEIVED BY THE PLANNING AND LAND DEVELOPMENT OFFICE.



GRAPHIC SCALE



(IN FEET)

1" = 20' (18x24)

FOUND #5 REBAR AT THE
NE CORNER OF WINDSOR MEADOWS
COMMERCIAL PARK 2ND ADD.

(10') UTILITY
EASEMENT

(25') BUILDING
SETBACK LINE

WESTERLY
R.O.W. LINE

R.O.W. LINE

ELMORE AVENUE (VARIABLE R.O.W.)

LOT 1

N90° 00' 00"E 150.92'

134.01'

S00° 00' 00"W (SOUTH) 134.00'

LOT 1
20,229 SQ.FT.

S89° 59' 45"W (EAST) 151.00' (151.01')

P.O.B.
FOUND #5 REBAR
AT THE NE CORNER
OF LOT 2, WINDSOR
MEADOWS COMM. PARK
SECOND ADDITION

NW CORNER, LOT 2,
WINDSOR MEADOWS COMM.
PARK 3RD ADD.

LOT 1

AD JOINER:
ME ELMORE LLC 2

LOT 2
AD JOINER:
ME ELMORE LLC 2

LEGEND:

DEED DIMENSION = (0.00')

FIELD DIMENSION = 0.00'

MONUMENTS FOUND

#5 REBAR, UNLESS NOTED = ●

CHISELED "X" = X

MONUMENTS SET:

#4 REBAR W/ RED CAP #23503 = ○

BOUNDARY LINE = —————

ROAD CENTER LINE = - - - - -

EASEMENT LINE = - . - . -

SETBACK LINE = - - - - -

SECTION LINE = - - - - -

PLAT INFORMATION

- Owner**
ME ELMORE 1 LLC
3048 Village Park Drive
Plover, WI 54467
- Surveyor**
Michael Richmond:
Townsend Engineering
2224 East 12th Street
Davenport, Iowa 52803
Ph: (563) 386-4236

- Attorney**
Michael Gorsline
5119 Utica Ridge Road
Davenport, Iowa 52807
(563) 324-0441

CURRENT ZONING:
PDD PLANNED DEVELOPMENT DISTRICT

FINAL PLAT
WINDSOR MEADOWS COMMERCIAL
PARK THIRD ADDITION

BEING PART OF THE WEST HALF OF SECTION 17
TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M. CITY
OF DAVENPORT, SCOTT COUNTY, IOWA

APPROVAL SIGNATURES:

CITY OF DAVENPORT _____ DATE: _____

PLANNING AND ZONING COMMISSION _____ DATE: _____

MEDIACOM _____ DATE: _____

CENTURYLINK _____ DATE: _____

IOWA - AMERICAN WATER COMPANY _____ DATE: _____

MIDAMERICAN ENERGY _____ DATE: _____
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.

NOTES:

SIDEWALKS SHALL BE CONSTRUCTED ALONG STREET RIGHT OF WAYS WHEN SO ORDERED BY THE CITY.

NO ADDITIONAL WATER RETENTION REQUIREMENTS ARE PROPOSED WITH THIS SUBDIVISION.

DIMENSIONS ALONG CURVES ARE ARC DISTANCES.

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

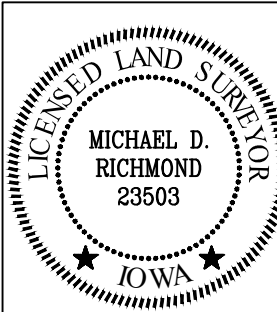
ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE
T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

FRONT SETBACK SHOWN LINE HEREON IS AS ESTABLISHED BY FINAL PLAT OF WINDSOR MEADOWS
COMMERCIAL PARK SECOND ADDITION.

ALL EASEMENTS, RESTRICTIONS AND COVENANTS ESTABLISHED IN FINAL PLAT OF WINDSOR MEADOWS
COMMERCIAL PARK SECOND ADDITION WILL APPLY TO FINAL PLAT OF WINDSOR MEADOWS COMMERCIAL PARK
THIRD ADDITION. NO NEW ACCESS POINTS WILL BE ESTABLISHED FOR THIS SUBDIVISION.



I hereby certify that this land surveying document was prepared and
the related survey work was performed by me or under my direct
personal supervision and that I am a duly licensed Land Surveyor
under the laws of the State of Iowa.

MICHAEL D. RICHMOND
Iowa License Number: 23503
My license renewal date is December 31, 2017.
Pages or sheets covered by this seal: 1



DATE: 00/00/00 TE PROJECT NO: 000000.00

563 386.4236 office 386.4231 fax
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: KLC
CHECKED BY: MDR

DRAWING LOCATION
S: \LOKRE.DWG

NO.	REVISIONS:	DATE
	DESCRIPTION	

PROJECT
FINAL PLAT
GORDMAN'S LOT
DAVENPORT, IOWA

DEVELOPER
ME ELMORE 1 LLC
3048 VILLAGE PARK DRIVE
DAVENPORT, IOWA

SHEET NO.
1
OF
1

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development
Contact Info: Matt Flynn, 888-2286

Date
6/6/2017

Subject:

Case No. FDP17-04: Final Development Plan for a 17.88 acre tract located north of the intersection of Fairhaven Road to allow construction of a 156, 170 sq. ft. retail store and associated fuel island facility (Costco). [6th Ward]

Recommendation:

No action requested; this is a preview item.

Relationship to Goals:

Grow the tax base.

Background:

This is a final development plan, necessary to allow the construction of a new Costco Warehouse Club on E. 53rd Street.

ATTACHMENTS:

Type	Description
▣ Backup Material	Preview Staff Report and Attachments

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:51 PM



PLAN AND ZONING COMMISSION

Meeting Date: June 6, 2017
Request: Proposed Final Development Plan for a 156, 170 square foot retail building with fuel islands on approximately 17.88 acres, located north of the intersection of Fairhaven Rd. and E 53rd Street. [6th Ward]
Case No.: FDP-04
Applicant: Costco Wholesale Corporation
Contact: Matthew G. Flynn, AICP
Senior Planning Manager
matt.flynn@ci.davenport.ia.us
563-888-2286

Recommendation:

None; preview item only.

Introduction:

Costco Wholesale Corporation proposes to construct a 156,170 sq. ft. retail facility and associated fuel facility on this property.

Background:

This property must be rezoned to PDD – Planned Development District to proceed.

See the attached plans for development specifics.

Highlights:

- **Architecture:** Building envelope will be covered in architectural metal panels.
- **Landscaping:** A 50 foot landscape buffer and perm is indicated on the north side of the property, and 25 feet is indicated to the west. The variety and intensity of plantings shown exceeds the minimums required by the Zoning Ordinance. A pedestrian connection to the north has been suggested. A recommendation on this connection will be made at the June 20 Plan and Zoning Commission meeting.
- **Parking:** 715 parking spaces are shown. A raw calculation of required parking would indicate that 825 parking spaces would be required, however, reductions are allowed for the amount of space devoted to appliance and furniture sales as well as warehousing. Staff has deemed the amount of parking shown as adequate for the development.
- **Signage:** Wall signage within the maximum allowed within the district is proposed. No freestanding signage is contemplated.

Technical Review:

This property is located within the Urban Service Boundary and thus, all urban services are readily available. The site is located adjacent to Fire Station 8. Specific comments are as follows:

Of particular concern is the ability of 53rd street to accommodate additional traffic generated by the proposed development. Current proposal is to construct a full signalized intersection at the corner of Fairhaven Road and East 53rd Street, as well as an additional right-in-right-out access east of the signalized facility.

Onsite stormwater detention is also proposed.

Public Works staff is completing its review and will provide comments as part of final consideration of this project.

Public Input:

No public comment is solicited for final development plans. Comments have been requested for the rezoning request for the property.

- A public Informational meeting was held on April 20, 2017. Approximately 150 attended.
- Two signs have been posted on the property.
- Notice of this public hearing was published in the May 26th edition of the Quad City Times.
- Two separate notices were mailed out; one to those within the 200 foot legal protest area and one to those nearby, but outside of the 200 foot boundary.

As of this writing, there has been no formal opposition expressed.

PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: NEC OF E 53RD ST & ELMORE CIR
DAVENPORT, IA

SITE DATA:

TOTAL COSTCO SITE AREA: 17.88 ACRES (778,852 SF)

INCLUDES:

- DETENTION POND 0.87 ACRES (42,170 SF)
- LANDSCAPE BUFFER 0.78 ACRES (34,155 SF)

JURISDICTION:

CITY OF DAVENPORT

ZONING:

C-4

SETBACKS:

NORTH 50'

WEST 25'

BUILDING DATA:

TOTAL BUILDING FOOTPRINT AREA:

156,170 SF

INCLUDES:

WAREHOUSE MAIN LEVEL
ENCLOSED CANOPY
FIRE DEPT ROOM / MACHINE ROOM

150,129 SF
4,002 SF
2,039 SF

PARKING DATA:

TOTAL PARKING:

715 STALLS

INCLUDES:

MAIN LEVEL PARKING PROVIDED:

- 10' WIDE STALLS
- ACCESSIBLE STALLS

688 STALLS
17 STALLS

NUMBER OF STALLS PER 1000 SF OF BUILDING AREA:

4.57 STALLS

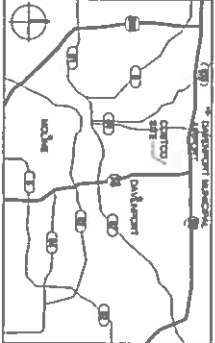
NOTES:

EXISTING CONDITIONS TO BE FIELD VERIFIED.

VICINITY MAP



REGIONAL MAP



0 25' 50' 100'
1" = 50.0'



COSTCO WHOLESALE

DAVENPORT, IOWA

CONCEPT SITE PLAN

MAY 10, 2017

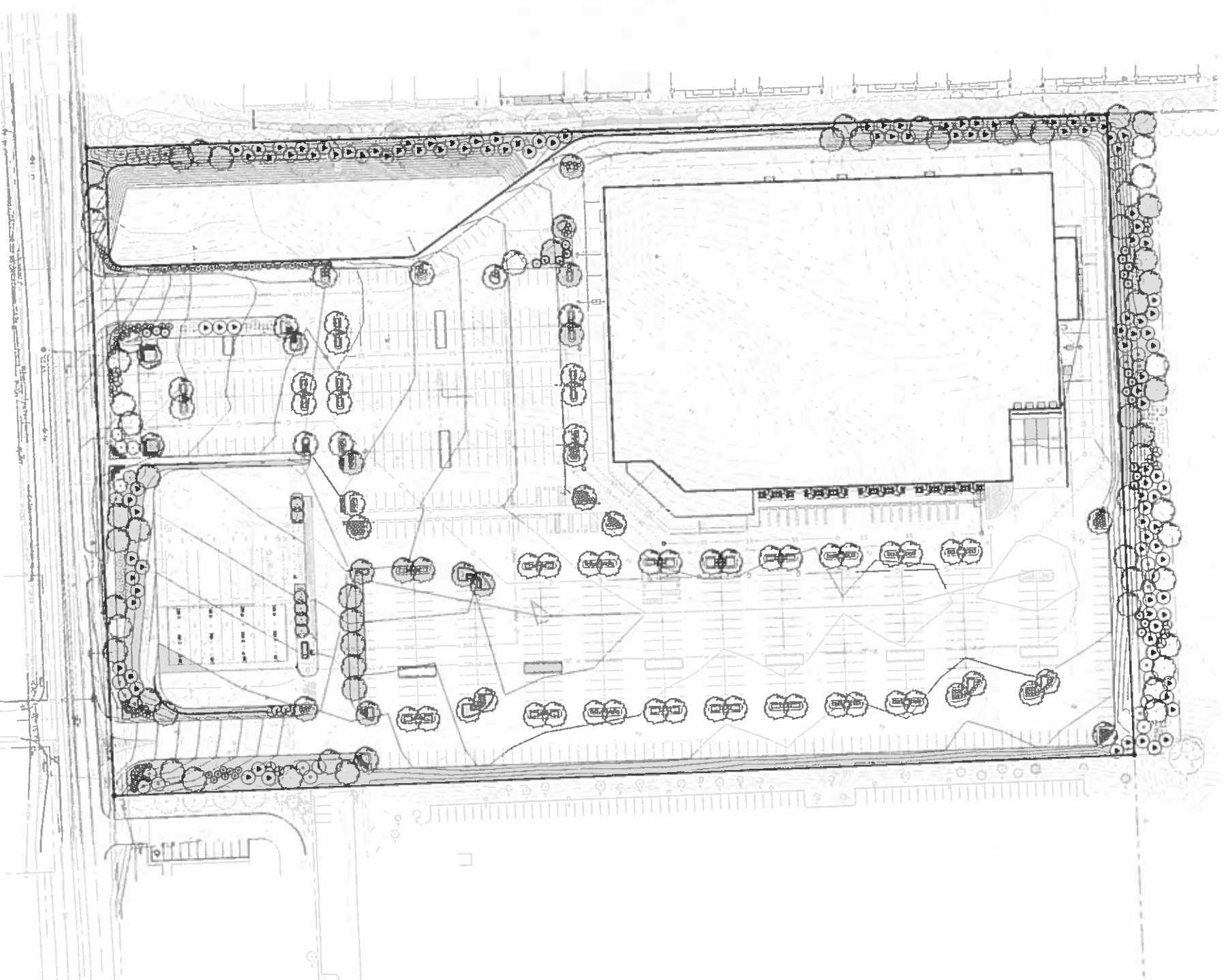
DD11-03

COSTCO WHOLESALE

DAVENPORT, IOWA

CONCEPT LANDSCAPE PLAN

MAY 10, 2017

[illegible]

LABORATORY REQUIREMENTS
 BOTTLED LANDFILL
 INCLOSURE: 1 TIER FOR 8 PARKING SPACES ON PAVEMENT; 84 PARKING LIFT AND
 120 PARKING LIFT SPACES
 TOTAL PAVED LOT SPACES: 124 SPACES
 PARKING TRUCKS INCLOSURE: 48
 PARKING TRUCKS INCLOSURE: 48
 TOTAL SPACES: 172

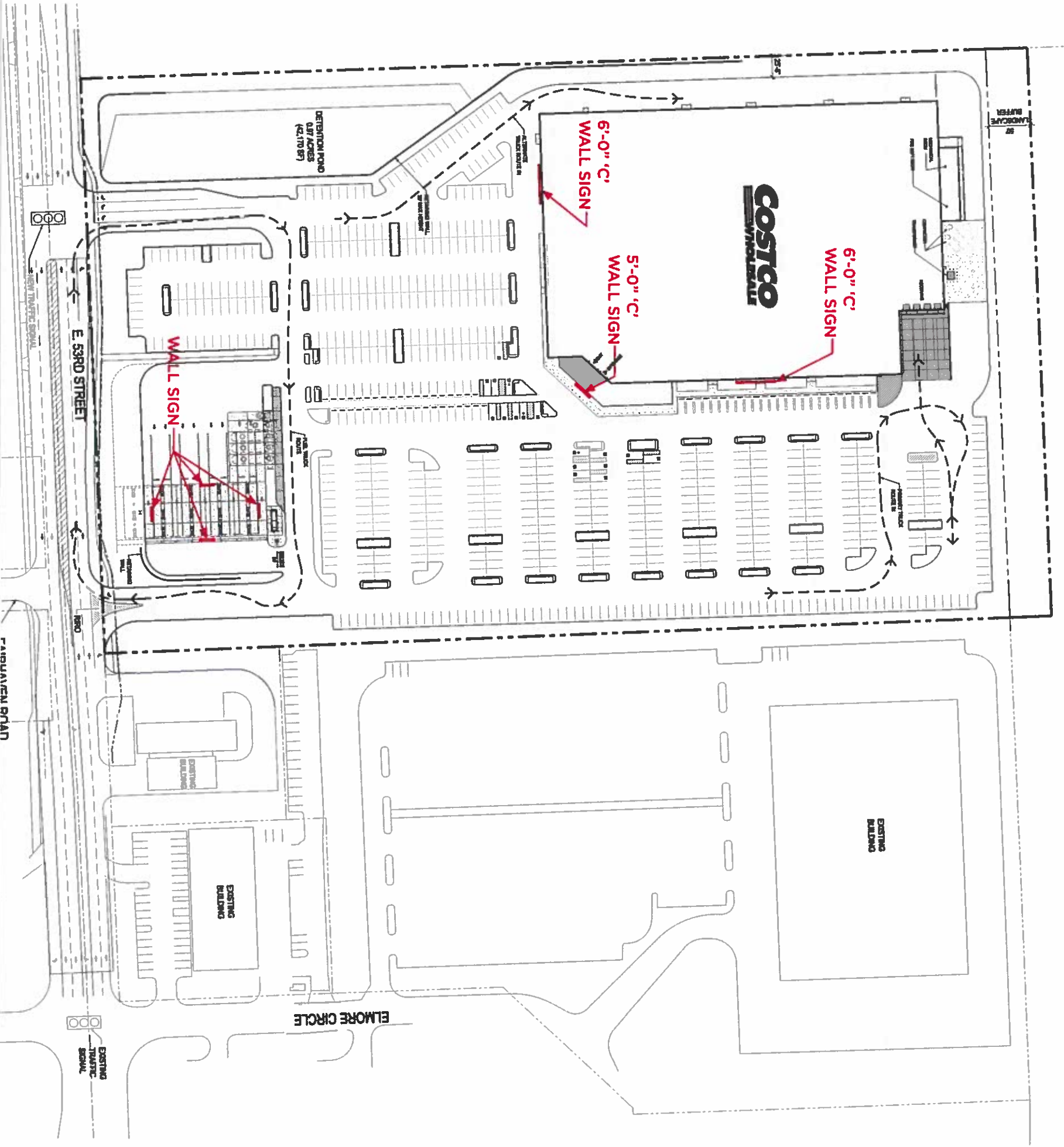


COSTCO
WHOLESALE
DAVENPORT, IA

SMITHGROUP JR

201 DEPOT STREET
ANN ARBOR, MI 48106
734 662 4457
www.stefy.org

93257.000
MAY 10, 2017
CONCEPT
LANDSCAPE
PLAN
L-1





MG2

MAY 11TH, 2017
PROJECT # 16-5532-01 V.#1.2
DAVENPORT, IA

ENTRY PERSPECTIVE

Costco
WHOLESALE

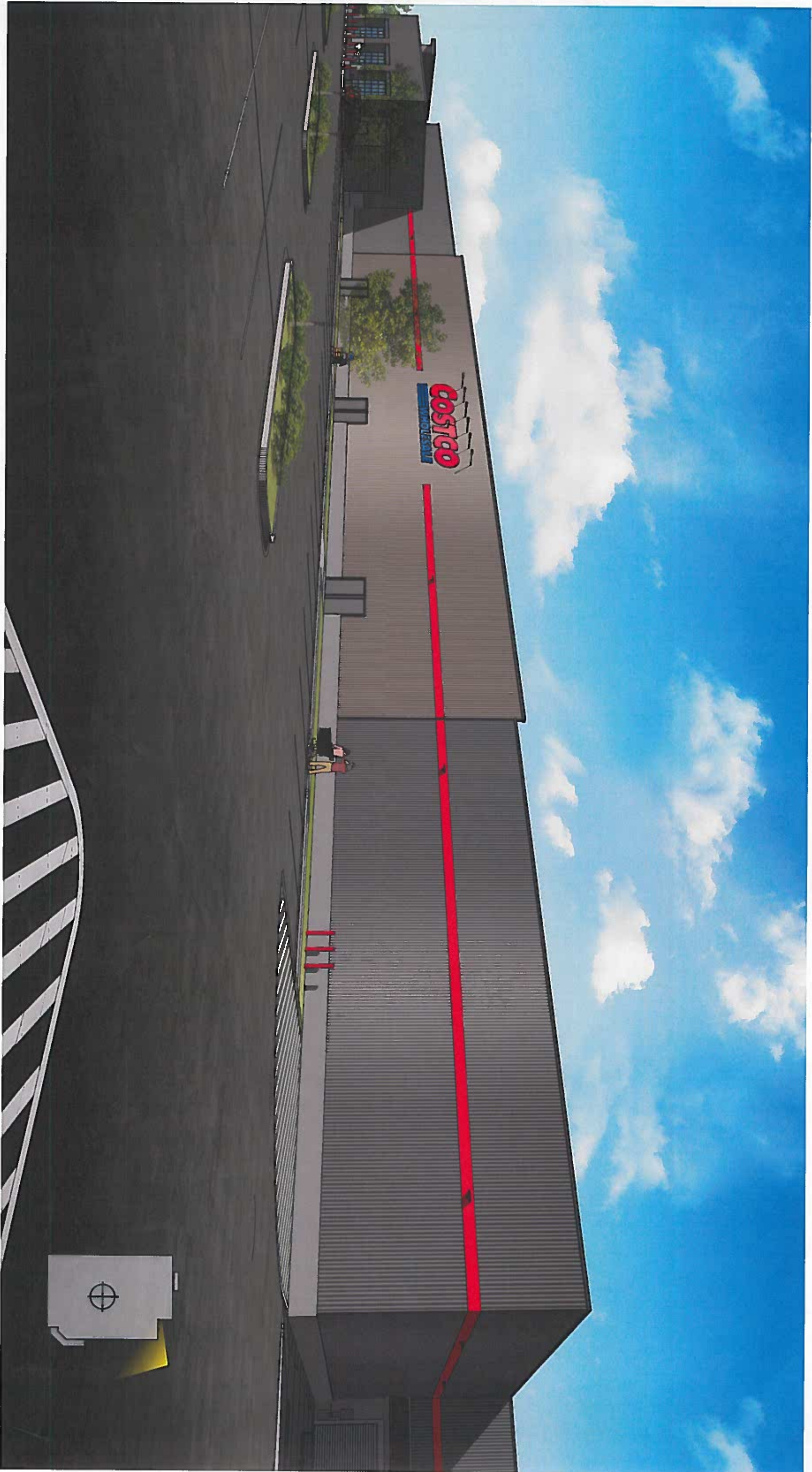


MG2

MAY 11TH, 2017
PROJECT # 16-5532-01 V. #12
DAVENPORT, IA

SOUTHWEST PERSPECTIVE

COSTCO
WHOLESALE

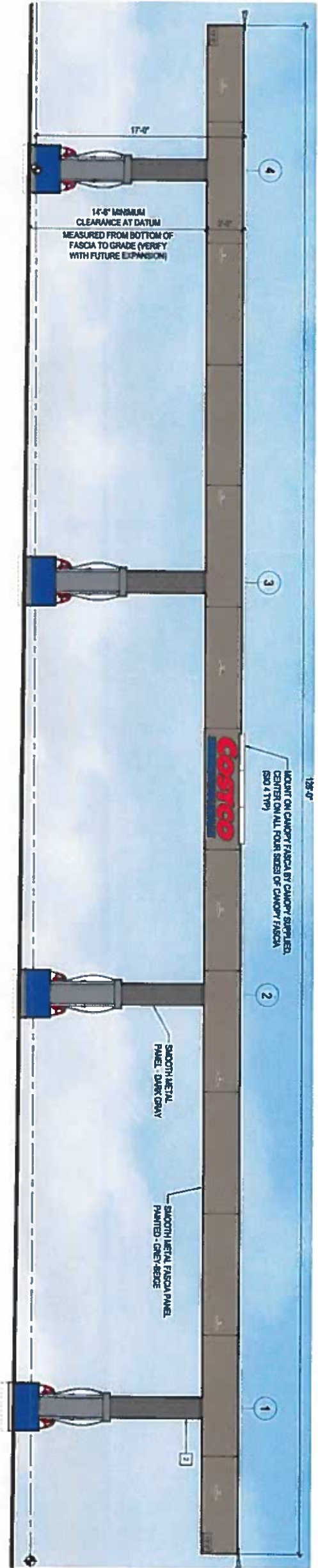


MG2

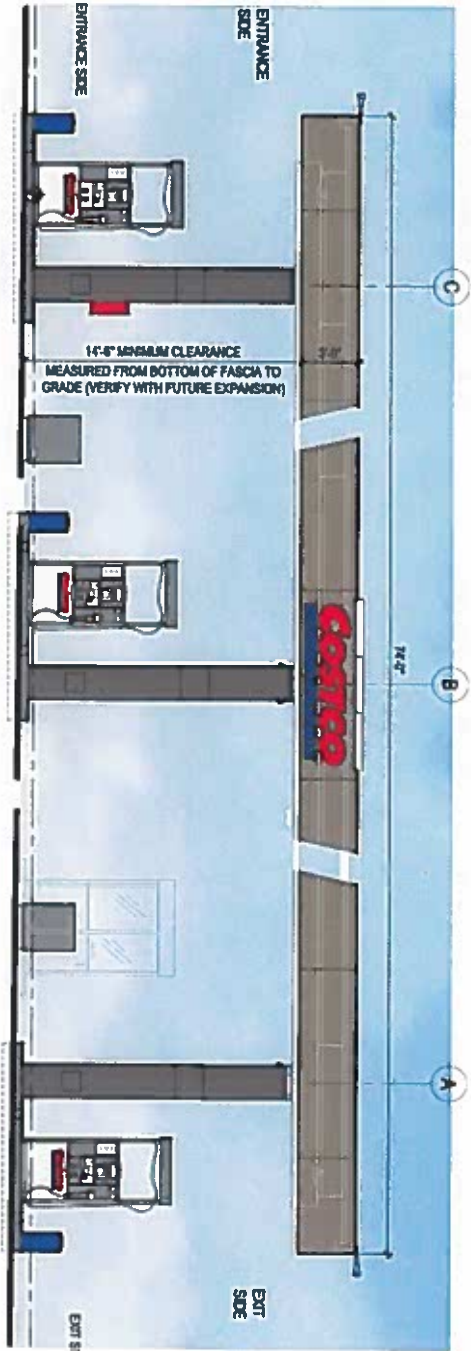
MAY 11TH, 2017
PROJECT # 16-5532-01 V #1.2
DAVENPORT, IA

NORTHEAST PERSPECTIVE

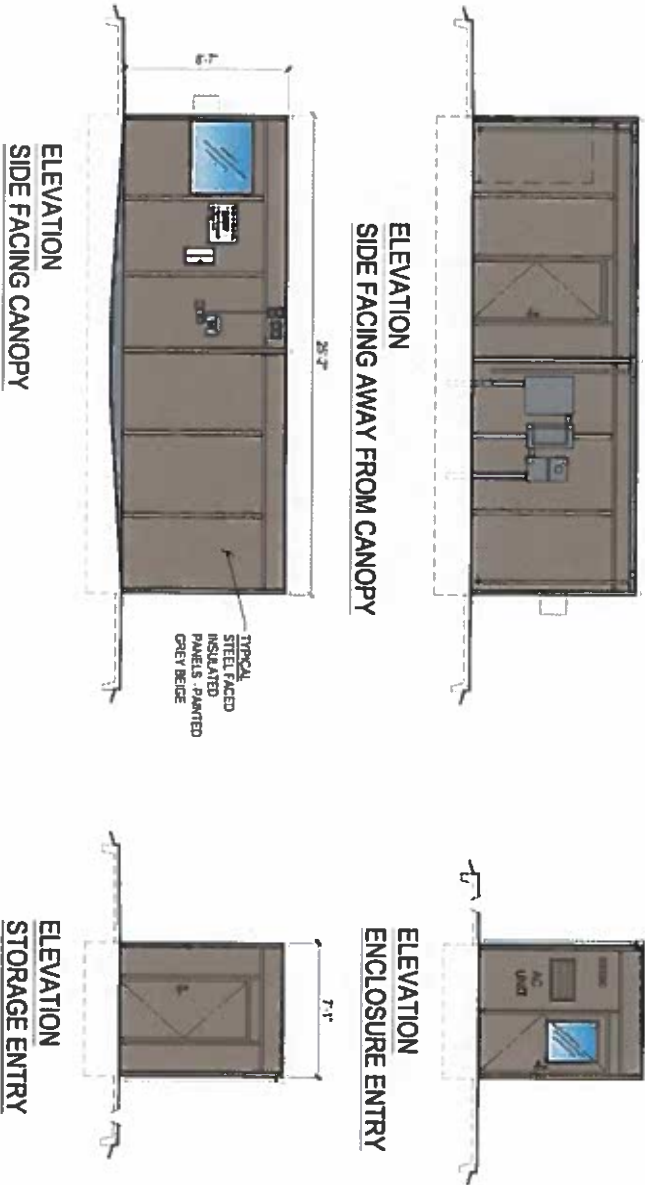
Costco
WHOLESALE



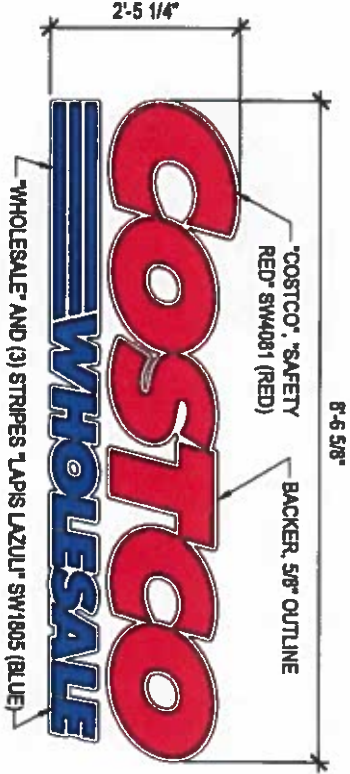
1 EAST & WEST ELEVATIONS
SCALE: 1/4" = 1'-0"



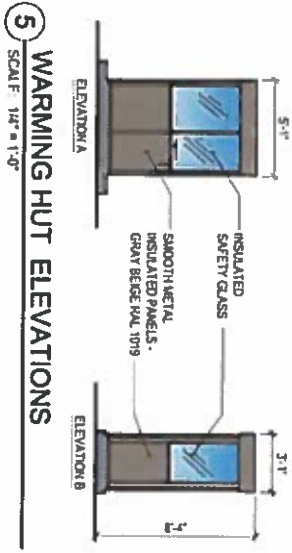
2 NORTH & SOUTH ELEVATIONS
SCALE: 1/4" = 1'-0"



3 CONTROLLER ENCLOSURE
SCALE: 1/4" = 1'-0"



SIGNAGE AREA TABULATION (WALL SIGNS)				
QTY	SIGN	SIZE	AREA (SF) EA	TOTAL SF
4	COSTCO WHOLESALE	2'-5 1/4" X 8'-6 5/8"	22	88 SF
			TOTAL SIGNAGE AREA	
			88 SF	

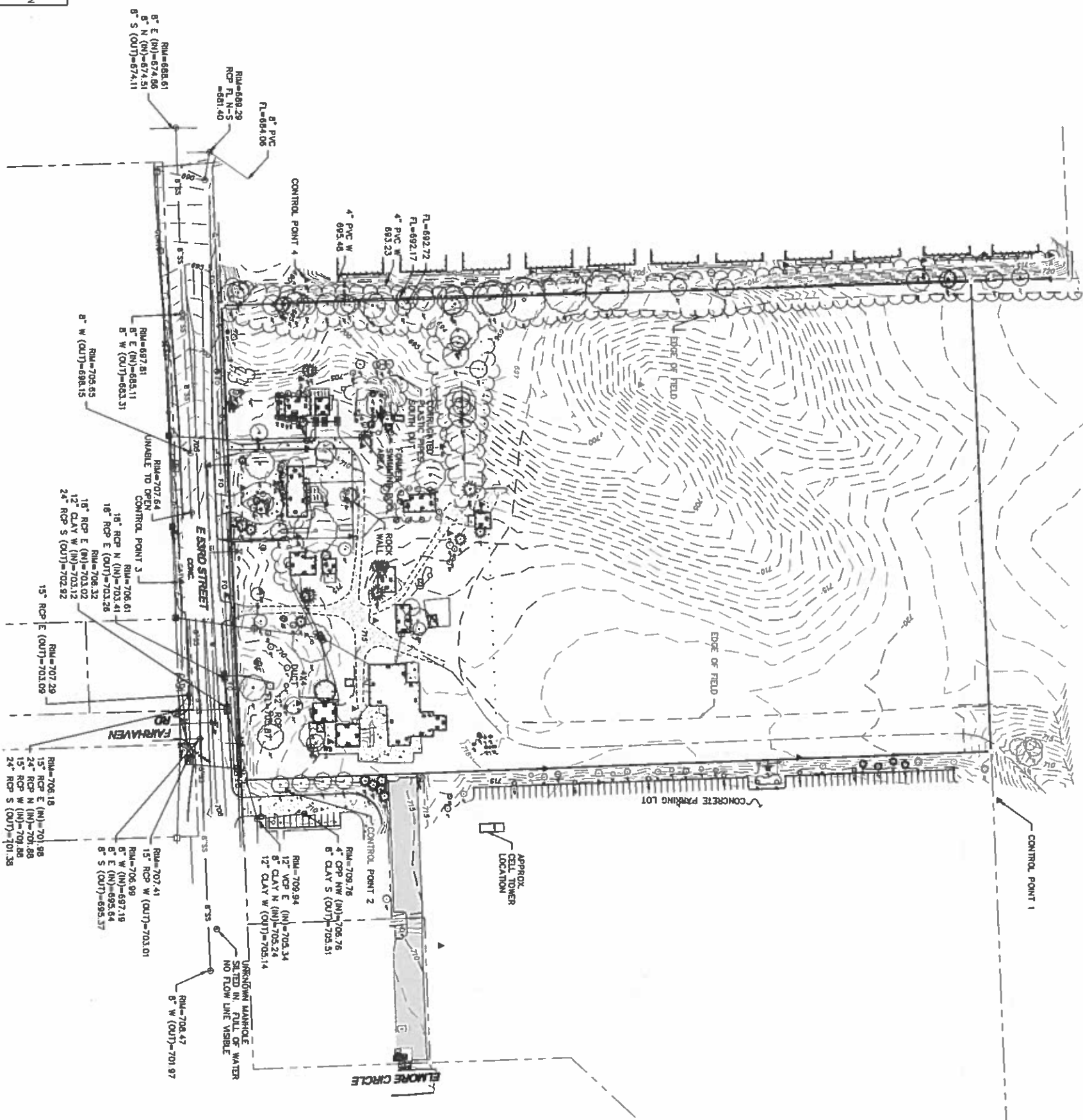


5 WARMING HUT ELEVATIONS
SCALE: 1/4" = 1'-0"

NOTE:

[illegible]

BOUNDARY LINE	BOUNDARY LINE
ADJACENT PROPERTY LINE	ADJACENT PROPERTY LINE
PERMANENTLY PLANTED LOT LINES	PERMANENTLY PLANTED LOT LINES
CONVAD DELINEATION	CONVAD DELINEATION
RETAINING LINES	RETAINING LINES
EDGE OF FIELD	EDGE OF FIELD
WATER LINE	WATER LINE
STORM SEWER PIPE	STORM SEWER PIPE
SAINTARY SEWER PIPE	SAINTARY SEWER PIPE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
UNDERGROUND POWER	UNDERGROUND POWER
DRAINAGE POWER	DRAINAGE POWER
UNDERGROUND GAS	UNDERGROUND GAS
WORKS OF BURNED WIRE FENCE	WORKS OF BURNED WIRE FENCE
WINDMILL POLE OR CHALKLINE POLE	WINDMILL POLE OR CHALKLINE POLE
WOOD FENCE	WOOD FENCE
BRIT BENCH MARK/CONTROL	BRIT BENCH MARK/CONTROL
FOUND CHASED "X"	FOUND CHASED "X"
GRAVE MILET	GRAVE MILET
SEWER CLEANOUT	SEWER CLEANOUT
STORM MANHOLE	STORM MANHOLE
SAINTARY MANHOLE	SAINTARY MANHOLE
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
UNKNOWN MANHOLE	UNKNOWN MANHOLE
POWER POLE WITH LIGHT	POWER POLE WITH LIGHT
TRAFFIC SIGNAL BASE	TRAFFIC SIGNAL BASE
POWER POLE	POWER POLE
GAS VALVE	GAS VALVE
ELECTRIC METER	ELECTRIC METER
GAS METER	GAS METER
TELEVISION PEDIMENTAL	TELEVISION PEDIMENTAL
TELEPHONE PEDIMENTAL	TELEPHONE PEDIMENTAL
GAS RISER	GAS RISER
FIBER OPTIC MANHOLE	FIBER OPTIC MANHOLE
GAS MANHOLE	GAS MANHOLE
ROOF DRAIN	ROOF DRAIN
GLASS WIRE	GLASS WIRE
TRANSFORMER	TRANSFORMER
MAIL BOX	MAIL BOX
SOIL BORING	SOIL BORING
TYPE AND DIAMETER	TYPE AND DIAMETER
LEGATED DISTANCE	LEGATED DISTANCE
RECORDED DISTANCE	RECORDED DISTANCE
TABLE "X" ITEM NOTE	TABLE "X" ITEM NOTE
BOULEVARD "Y" ITEM NOTE	BOULEVARD "Y" ITEM NOTE
BETWEEN NOTE	BETWEEN NOTE
BUILDING MATCH	BUILDING MATCH
LANDSCAPE MATCH	LANDSCAPE MATCH
CONCRETE MATCH	CONCRETE MATCH
GRAVEL MATCH	GRAVEL MATCH
ASPHALT MATCH	ASPHALT MATCH
WOOD DECK	WOOD DECK
BRICK MATCH	BRICK MATCH



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



0 40 80 160
SCALE IN FEET

EXISTING CONDITIONS

COSTCO WHOLESALE
53RD STREET & ELMORE CIRCLE

DAVENPORT, IOWA

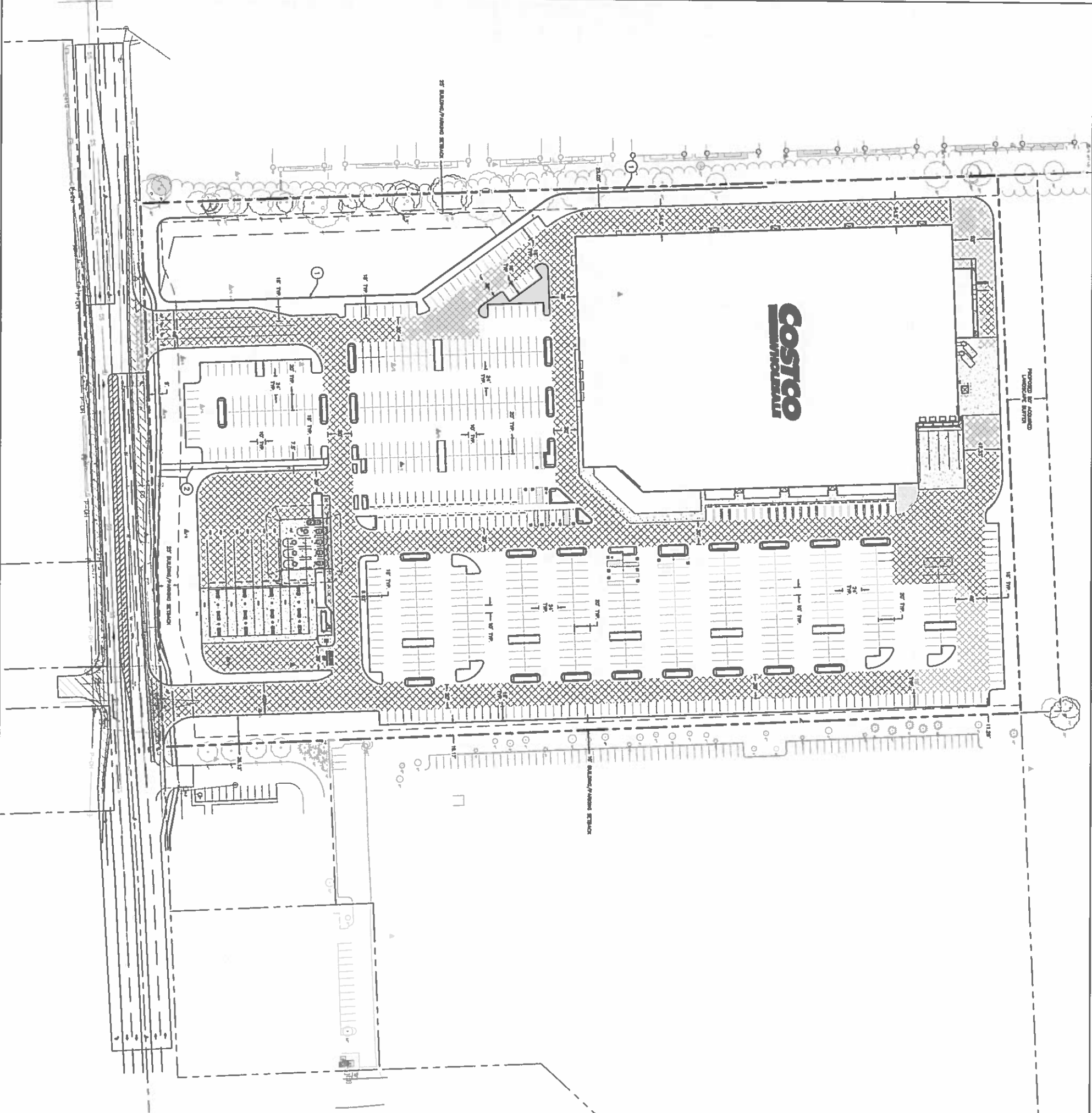
2017

REVISIONS

OLSSON
ASSOCIATES

7137 Vesta Drive
West Des Moines, IA 50339

TEL 012.331.8617
FAX 012.331.8619 www.chinamachinery.com



LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- PROPERTY SETBACK
- CONCRETE PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- GENERALLY DEFINED PUBLIC IMPROVEMENT AREA

- KEYNOTES:**
- ① INSTALL RETAINING WALL (SEE ALSO GRADING PLAN)
 - ② INSTALL CONCRETE SIDEWALK, WIDTH PER PLAN

0 30' 60' 120'
SCALE IN FEET

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

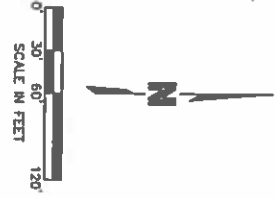
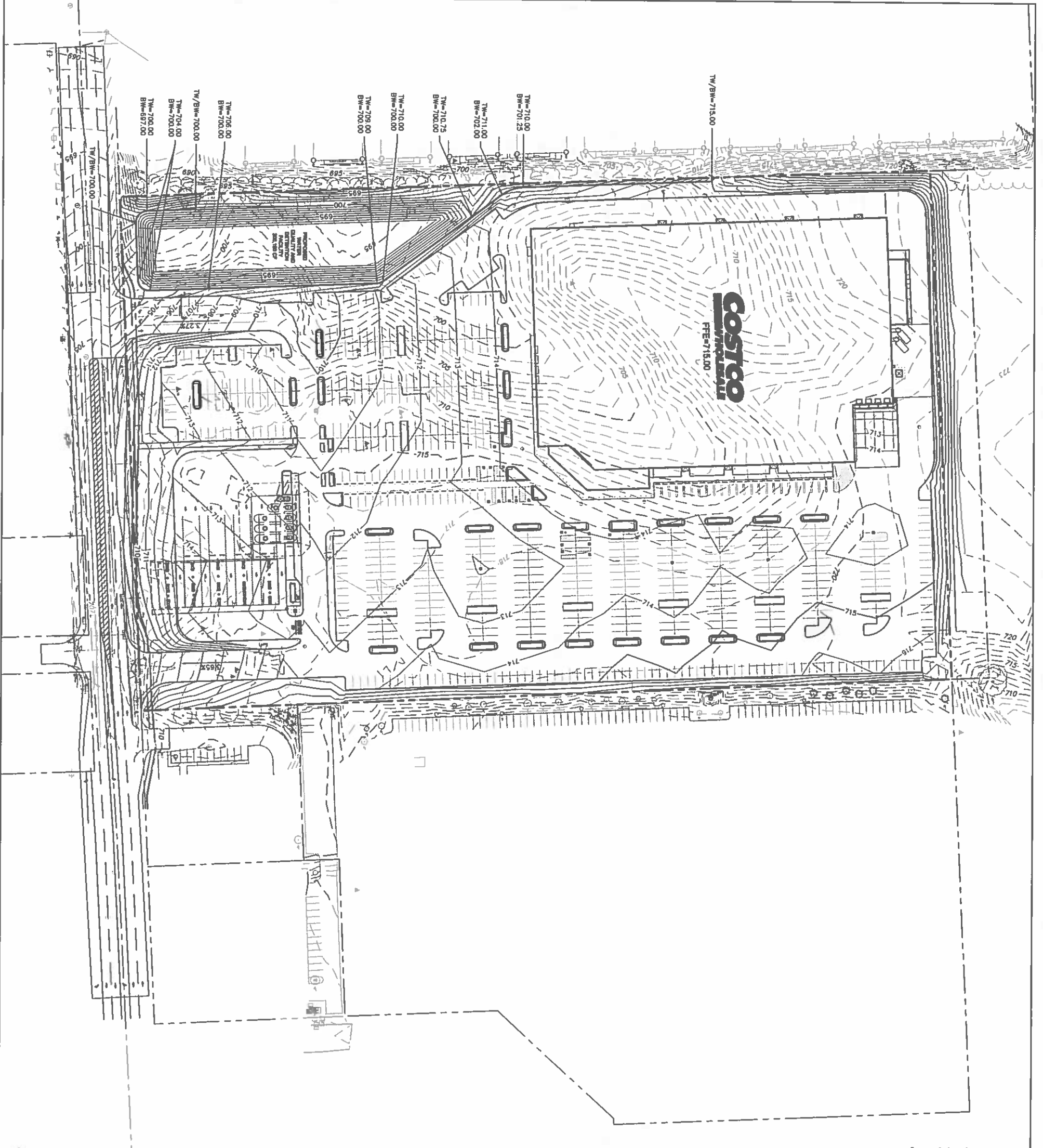
SITE PLAN		REVISIONS	
COSTCO WHOLESALE 53RD STREET & ELMORE CIRCLE		REV. NO.	DATE
DAVENPORT, IOWA			
2017			

7187 Volo Drive
West Des Moines, IA 52255

Tel: 515.321.0517
Fax: 515.321.0519
www.molssonassociates.com

Drawn by: [blank]
Checked by: [blank]
Project No.: 017-0610
Drawing No.: 0502022

SHEET
C2



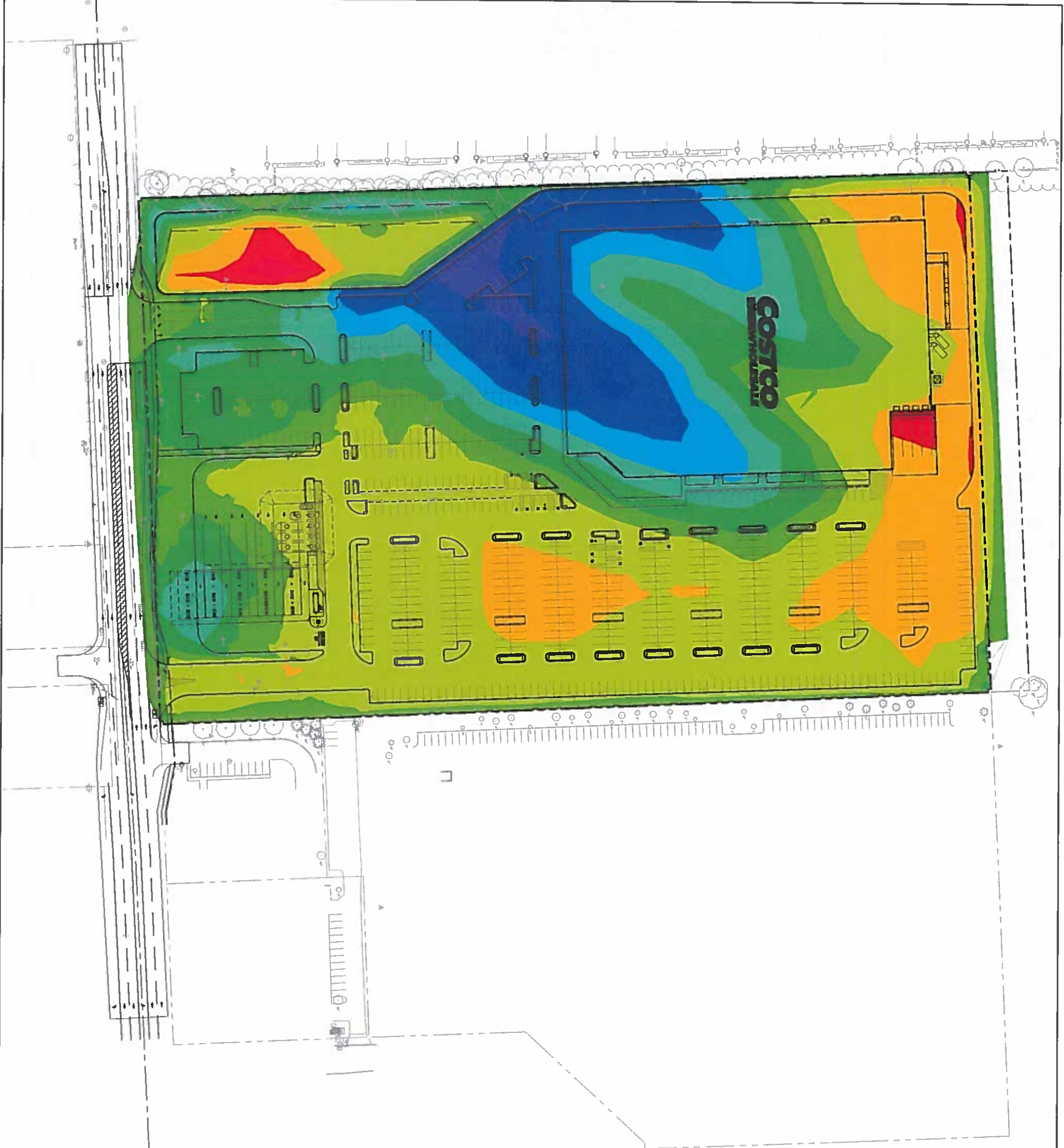
LEGEND

- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- RETAINING WALL

PRELIMINARY PLANS
NOT FOR CONSTRUCTION
04/28/2017

GRADING PLAN		REV. NO.	DATE	REVISIONS DESCRIPTION
COSTCO WHOLESALE 53RD STREET & ELMORE CIRCLE DAVENPORT, IOWA				
		2017		REVISIONS

7187 Vista Drive
West Des Moines, IA 50268
TEL 515.331.8617
FAX 515.331.8518
www.molssonassociates.com



LEGEND
PROPOSED PROPERTY
RETAINING WALL

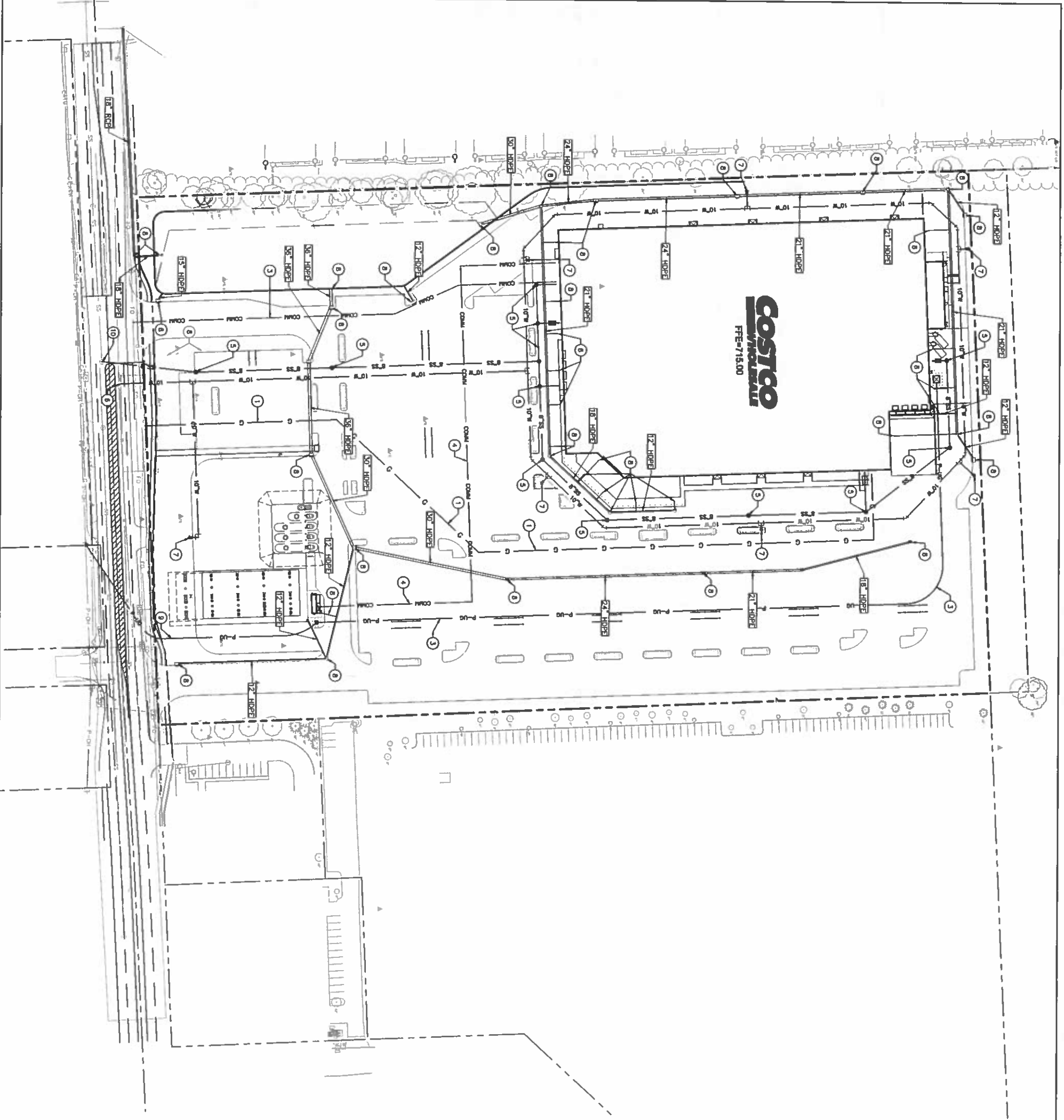
ELEVATIONS			
NUMBER	MIN. ELEV.	MAX. ELEV.	COLOR
1	-14.09	-11.00	
2	-11.00	-8.00	
3	-8.00	-5.00	
4	-5.00	-2.00	
5	-2.00	0.00	
6	0.00	3.00	
7	3.00	6.00	
8	6.00	9.00	
9	9.00	12.00	
10	12.00	15.00	
11	15.00	17.00	

FILL CUT

- NOTES:
1. EARTHWORK FIGURES ARE APPROXIMATE
 2. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION
 3. CUT AND FILL FIGURES IN COLOR TABLE REPRESENT
 4. A SHRINKAGE FACTOR OF 2.15 WAS USED
 5. SURCHARGE NOT INCLUDED FOR BUILDING PAD

- EARTHWORK TOTALS:
1. TOTAL HEAVY DUTY ASPHALT = 163,550 SF = 7,931 CY (CUT)
 2. TOTAL LIGHT DUTY ASPHALT = 225,778 SF = 7,317 CY (CUT)
 3. TOTAL CONCRETE PAVEMENT = 23,825 SF = 997 CY (CUT)
 4. TOTAL BUILDING = 173,243 SF = 8,417 CY (CUT)
 5. TOTAL SPOIL = 2,455 CY (CUT)
 6. TOTAL FUEL TANK PIT = 3,228 CY (CUT)
 7. TOTAL SURFACE CUT = 66,788 CY
 8. TOTAL SURFACE FILL = 70,351 CY
 9. NET = 24,782 CY (CUT)

0' 30' 60' 120'
SCALE IN FEET
PRELIMINARY PLANS
NOT FOR CONSTRUCTION
04/26/2017



- LEGEND**
- EXISTING BOUNDARY
 - PROPOSED BOUNDARY
 - WATERLINE
 - STORM SEWER LINE
 - SANITARY SEWER LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND POWER LINE
 - EXISTING FIBER LINE
 - EXISTING SANITARY LINE
 - EXISTING WATER LINE
 - EXISTING STORM SEWER LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING UNDERGROUND POWER
 - EXISTING OVERHEAD POWER
 - EXISTING GAS LINE
 - EXISTING CABLE LINE

- KEYNOTES:**
1. INSTALL GAS SERVICE AND CONNECT TO SOURCE
 2. INSTALL PRIMARY ELECTRICAL SERVICE TO WAREHOUSE TRANSFORMER
 3. INSTALL CONDUIT FOR TELEPHONE SERVICE TO WAREHOUSE
 4. INSTALL CONDUIT FOR TELEPHONE SERVICE FROM WAREHOUSE TO GAS STATION
 5. INSTALL SANITARY SEWER AND MANHOLES, HOUSE AND SAND/OIL SEPARATORS SHOWN ON MEP PLANS
 6. TAP EXISTING WATER MAIN AND INSTALL FIRE LINE AND DOMESTIC SERVICE TO WAREHOUSE WITH METER INSIDE BUILDING
 7. INSTALL PRIVATE FIRE LINE TO BACKFLOW PREVENTION VAULT AND FIRE HYDRANT
 8. INSTALL CONCRETE STORM STRUCTURES, ROOF DRAIN PIPING AND STORM DRAIN PIPING
 9. INSTALL PRIMARY ELECTRICAL SERVICE TO GAS STATION TRANSFORMER
 10. CONNECT SANITARY SERVICE TO EXISTING MAIN IN E. 53RD STREET.

0 30 60 120
SCALE IN FEET

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

UTILITY & STORM SEWER PLAN

COSTCO WHOLESALE
53RD STREET & ELMORE CIRCLE

DAVENPORT, IOWA

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION

2017

MOLSSON ASSOCIATES

7157 Wade Drive
West Des Moines, IA 50266

TEL 515.331.8517
FAX 515.331.8519

www.molssonassociates.com



226 West Fourth Street • Davenport, Iowa 52801
Telephone: 563-326-7711 TDD: 563-326-6145
www.cityofdavenportiowa.com

PUBLIC HEARING NOTICE

May 26, 2017

Dear Property Owner:

You may be aware of plans by Costco Wholesale Corporation to construct a new store north of the intersection of Fairhaven Road and E. 53rd Street (see attached map).

In order for this project to proceed, the property must be rezoned from A-1 Agricultural District and R-1, Low Density Residential District to PDD, Planned Institutional District.

The next step in the process is for the Davenport Plan and Zoning Commission to conduct a public hearing. The public hearing will be held:

Tuesday, June 6, 2017, 5:00 p.m.
City Council Chambers, City Hall
226 West 4th Street

You are welcome to attend and provide comments. If you cannot attend this meeting and have questions or concerns, feel free to contact me directly using the contact information below.

Sincerely,

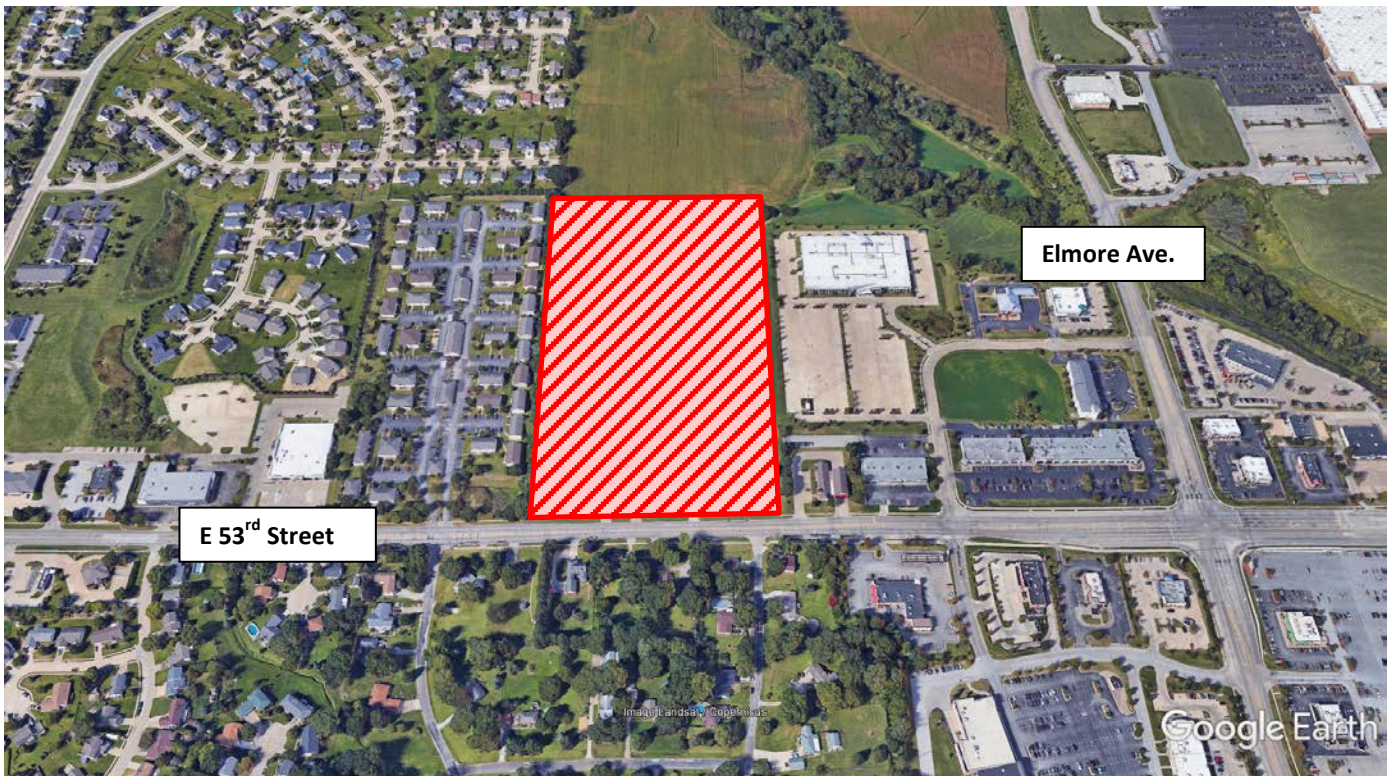
Matthew G. Flynn, AICP
Senior Planning Manager
City of Davenport
mflynn@ci.davenport.ia.us
563-326-7743



Case No. REZ 17-04

Costco Rezoning

Location Map



City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
6/6/2017

Subject:

Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

ATTACHMENTS:

Type	Description
▣ Cover Memo	REZ17-05 Preview

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:53 PM



City of Davenport
Community Planning & Economic Development Department
PREVIEW STAFF REPORT

Meeting Date: June 06, 2016
Request: Rezone 0.65 acre from R-1 to R-3 PUD
Address: 5135 Marquette Street
Case No.: REZ17-05
Applicant: Steven & Merideth Hirsch

Recommendation:

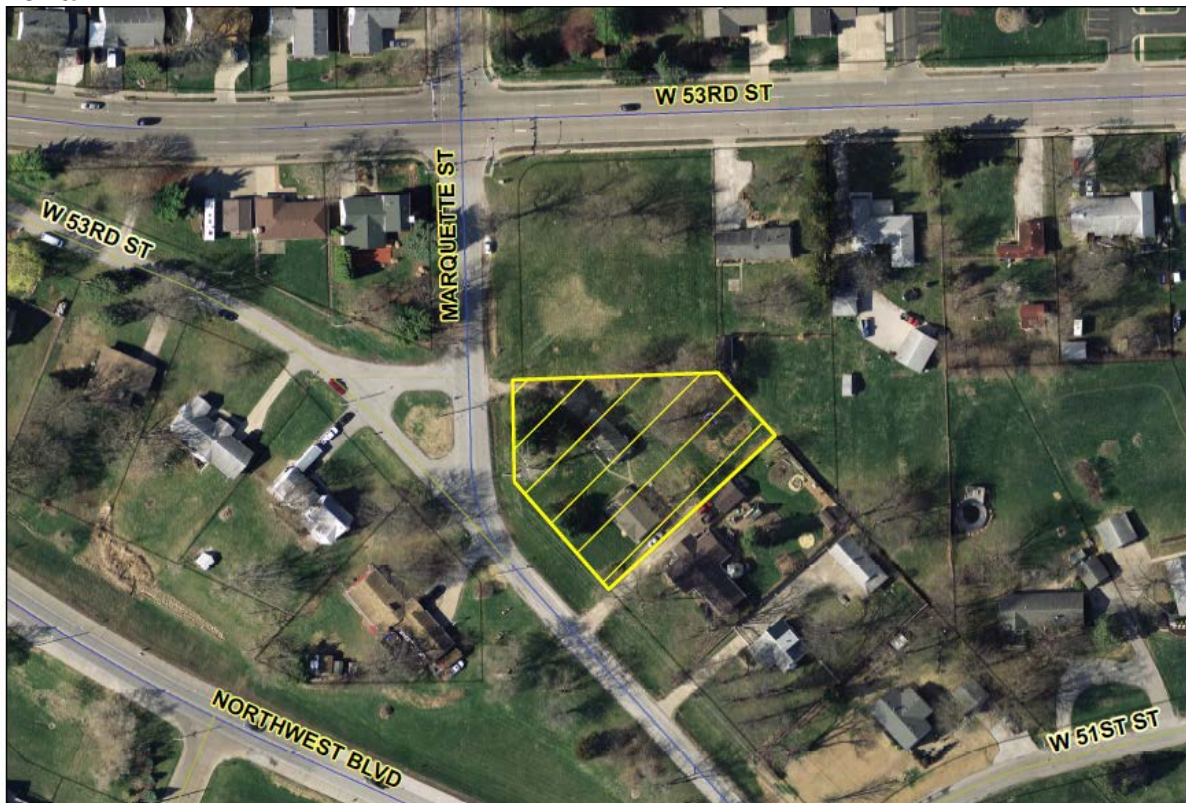
There is no recommendation at this time.

Introduction:

Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

AREA CHARACTERISTICS:

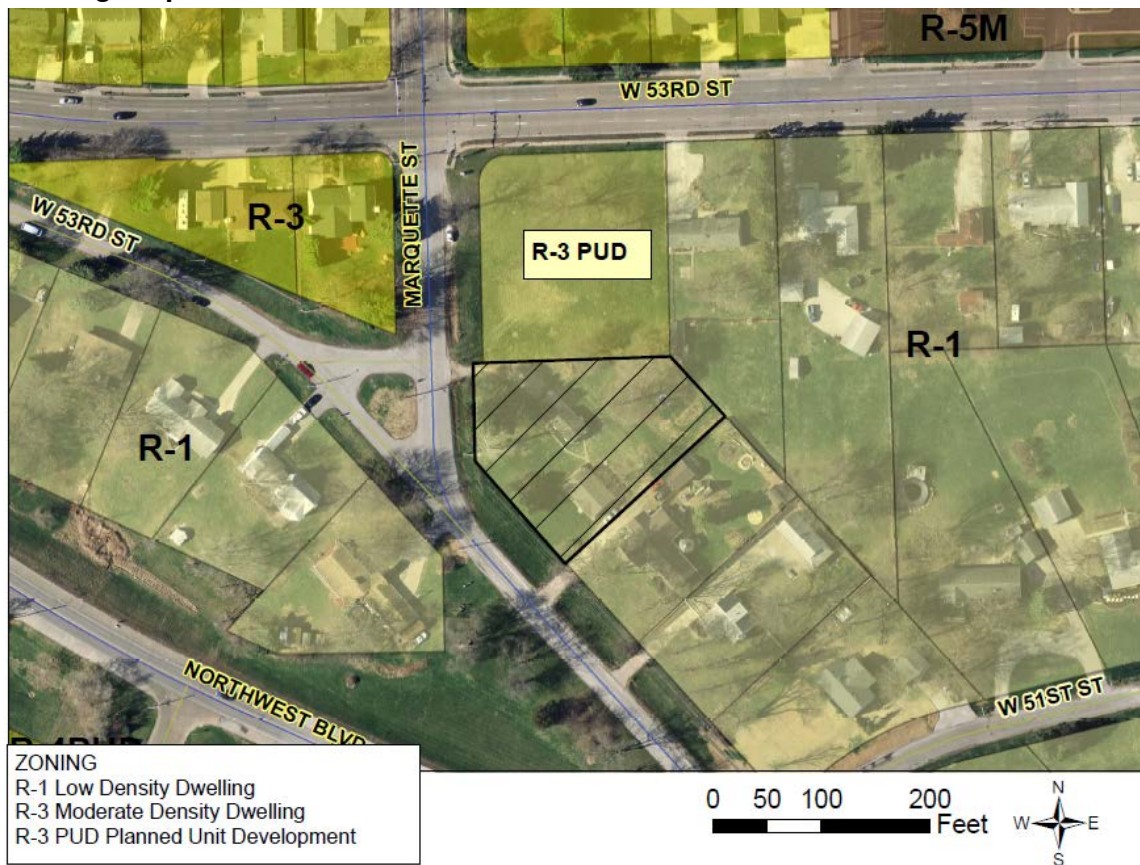
Aerial



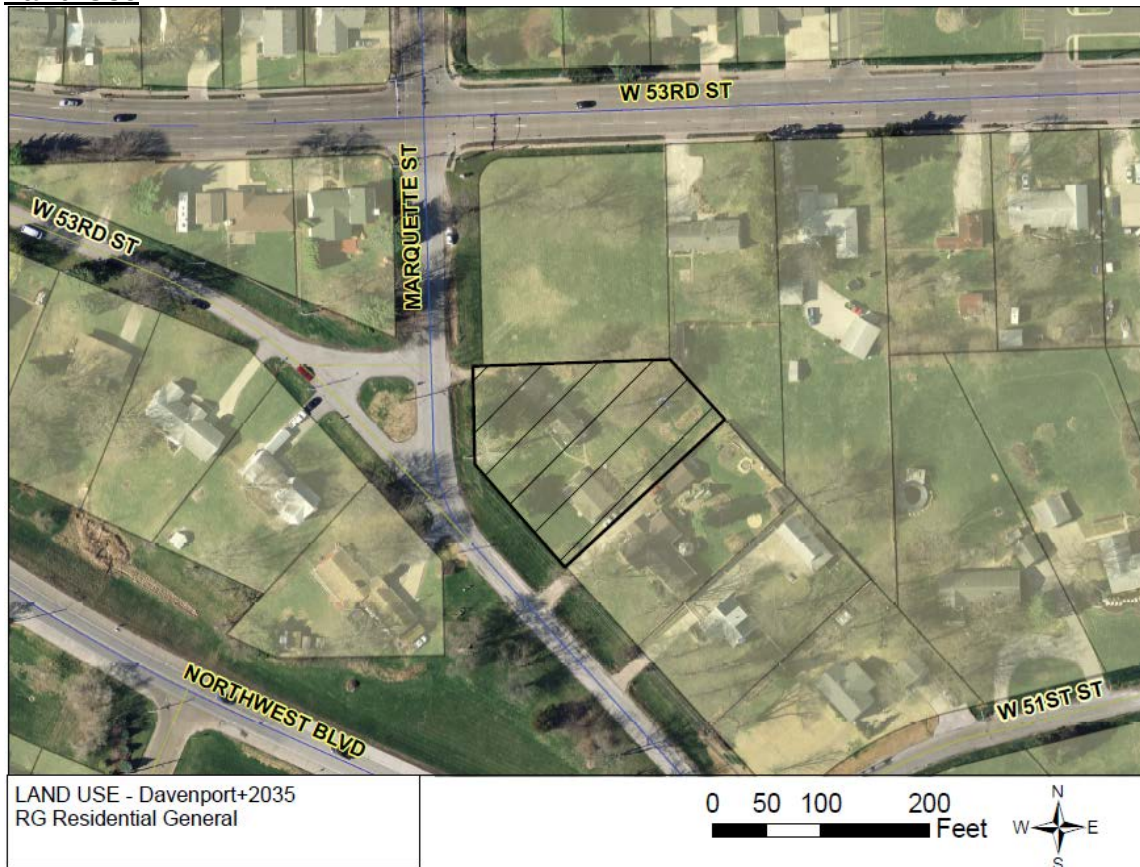
Aerial Photo 2014



Zoning Map



Land Use



Background:**Comprehensive Plan:**

Within Existing Urban Service Area: Yes

Within Urban Service Boundary +2035: Yes

Future Land Use Designation: *Residential General (RG)* - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant Goals to be considered in this Case:

Identify and reserve land for current and future development – *encourage a full range of development.*

Zoning:

The property is currently zoned “R-1” Low Density Dwelling District.

Technical Review:

Streets. The property is located on Marquette Street south of its intersection with West 53rd Streets, 5135 Marquette Street. Access is to Marquette Street

Storm Water. Stormwater infrastructure appears to be by overland flow of surface run-off.

Sanitary Sewer. Sanitary sewer service is located in Marquette Street adjacent to the property (8-inch line).

Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located approximately 1-1/2 miles from both Fire Stations No. 3 at 3506 Harrison Street and No. 7 at 2302 West 67th Street.

Parks/Open Space. The proposed rezoning does not impact any existing or planned parks or public open spaces.

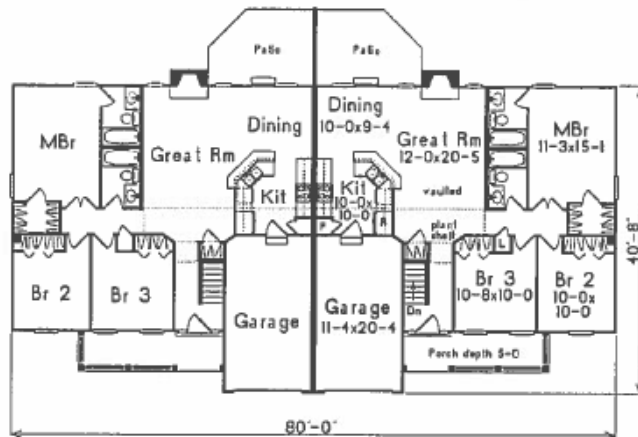
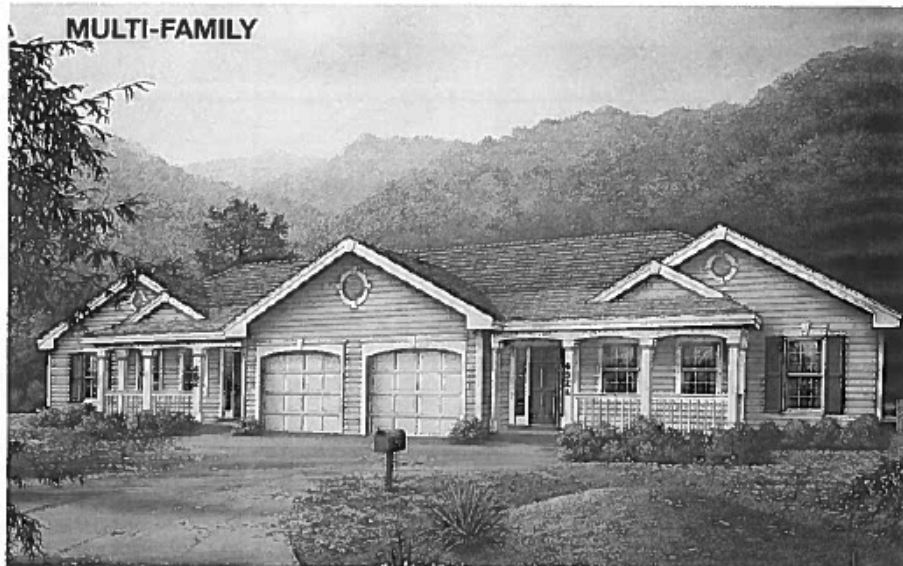
Public Input:

A public hearing before the Plan and Zoning Commission is scheduled for June 20th. Staff is not yet aware of when the neighborhood meeting would be scheduled.

Discussion:

The property to the north was zoned to the same designation as requested here, R-3 PUD in December of 2016. Four single family units are proposed in two buildings. Below is the proposal for the building type.

**H007D-0020 SHADYDALE
OLD NUMBER HDA0452 SHADYDALE**



**FIRST LEVEL
FLOOR PLAN**

Staff Recommendation:

There is no recommendation at this time.

Prepared by:

Wayne Wille, CFM
Planner II
Community Planning Division

REZONING REQUEST NO. _____
OFFICE OF PLANNING AND LAND USE
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT
CITY OF DAVENPORT

City Hall * Second floor
Phone: (563) 326-7765
Fax: (563) 328-6714
planning@ci.davenport.ia.us

Legal Description:

ADDRESS OF PROPERTY: 5135 Marquette St.

EXISTING ZONING: R-1

REQUESTED ZONING: R-3 PUD

TOTAL AREA: 22,180

PETITIONER:

Name: Steven Hirsch & Merideth Hirsch

Address: 2408 Willow Brook Dr, Dubuque IA 52002

Phone: 563-556-6654 FAX: 563-556-6654

Mobile Phone: 563-542-6448 Email: IAMBHirsch@Gmail.com

Interest in land: _____ title holder _____ other **

** if petitioner is other than title holder, documentation will be required to show control of property – accepted offer to purchase, offer, option, etc.

TITLE HOLDER:

Name: Steven Hirsch & Merideth Hirsch

Address: 2408 Willow Brook Dr, Dubuque IA 52002

Phone: 563-556-6654 FAX: 563-556-6654

Mobile Phone: 563-542-6448 Email: IAMBHirsch@Gmail.com

CONTACT PERSON:

Name: Steven Hirsch & Merideth Hirsch

Address: 2408 Willow Brook Dr - Dubuque, IA 52002

Phone: 563-556-6654 FAX: 563-556-6654

Mobile Phone: 563-542-6448 Email: IAMBHirsch@Gmail.com

EXPLANATION OF REZONING (for Public Hearing Notice) To request a zoning change for multiple residences.

Does the property contain a drainageway or floodplain area: Yes ☒ No

Signature of Petitioner: Steven Hirsch

Date: 5-29-17

Rezoning Fee Schedule:

Land Area	Fee
Less than 1 acre (< 1 acre)	\$400
One acre to less than ten acres (≥ acre < 10 acres)	\$750 plus \$25/acre *
Ten acres or more (≥ 10 acres)	\$1,000 plus \$25/acre *

* plus \$10.00 per sign; 1 or more signs required depending upon the size of the subject property

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
6/6/2017

Subject:

Case No. F17-12: Final plat of Riverview Collective on Sixth, being a replat of Lots 1-6 and the East 33 feet of Lot 7 of Block 147 of LeClaire's 12th Addition, located on the north side of East 6th Street between Sylvan and Grand Avenues, containing six (6) residential lots on 1.47 acres, more or less.

ATTACHMENTS:

Type	Description
▣ Cover Memo	F17-12 Packet

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:53 PM



City of Davenport
Community Planning & Economic Development Department
PREVIEW REPORT

PLAN AND ZONING COMMISSION

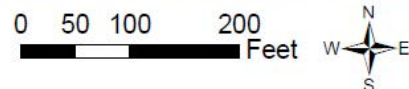
Preview Date: June 06, 2017
Request: Final Plat - Riverview Collective on Sixth
Address: E 6th Street btw Sylvan and Grand Avenues
Case No.: F17-12
Applicant: Build by Architects LLC

INTRODUCTION

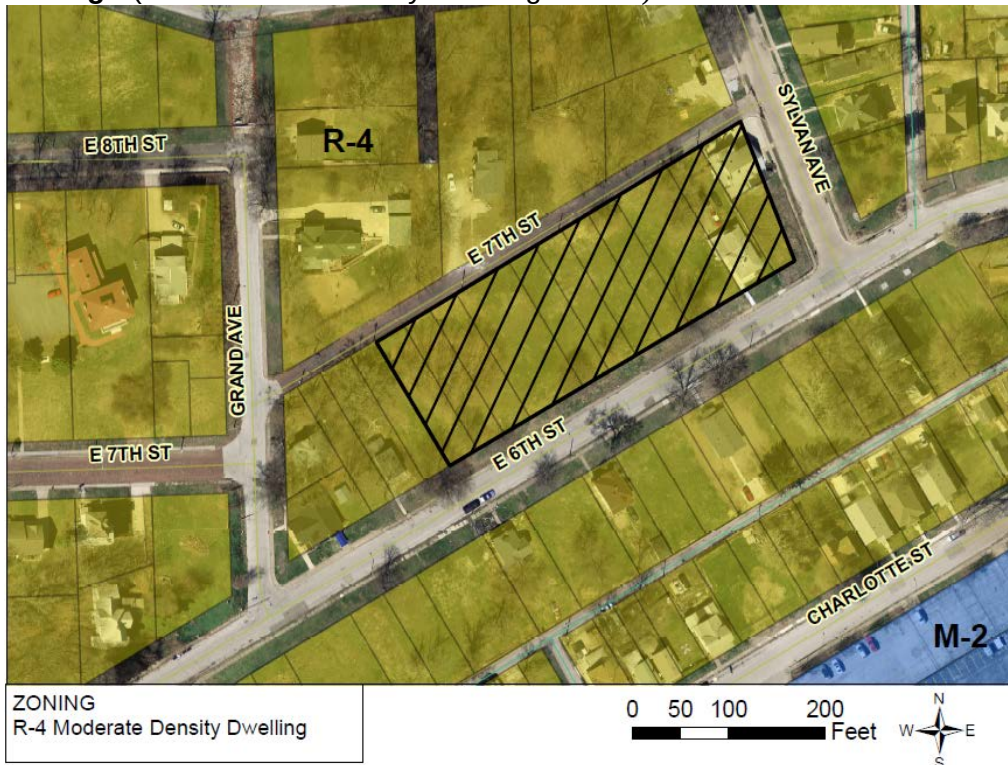
Request of Build by Architects for a final plat of 1.46 acres, more or less, located on the north side of East 6th Street between Sylvan and Grand Avenues, containing six (6) residential lots. The property is zoned "R-4" Moderate Density Dwelling District.

Recommendation: This is a preview report. No recommendation is made at this time.

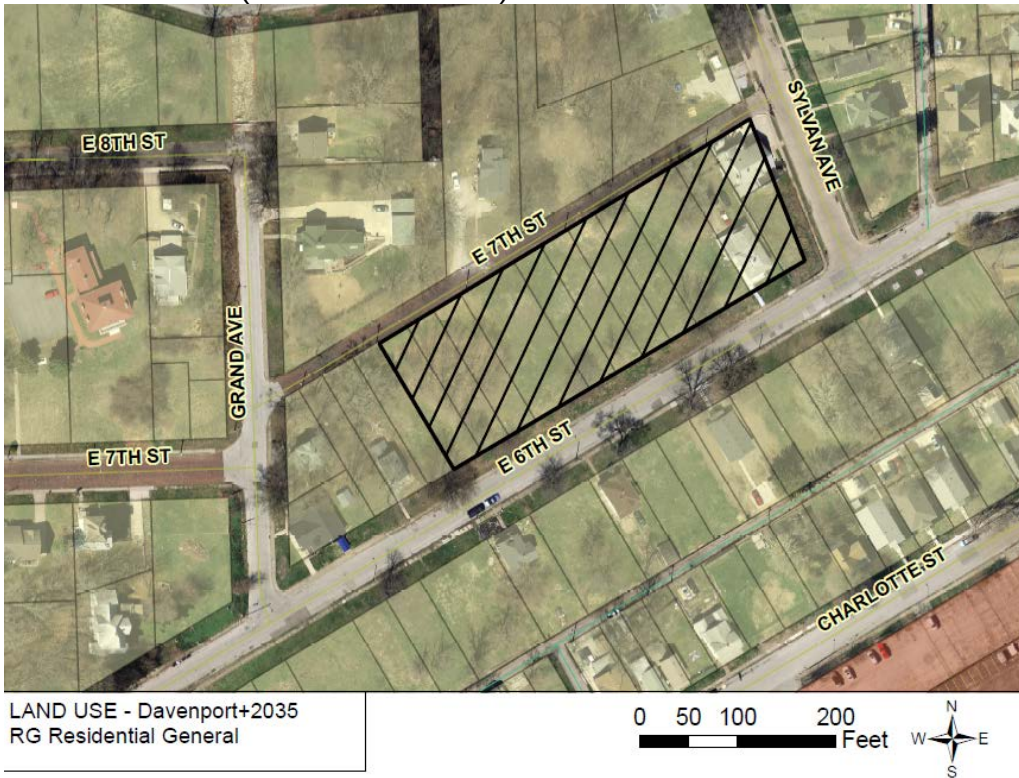
Aerial Photo:



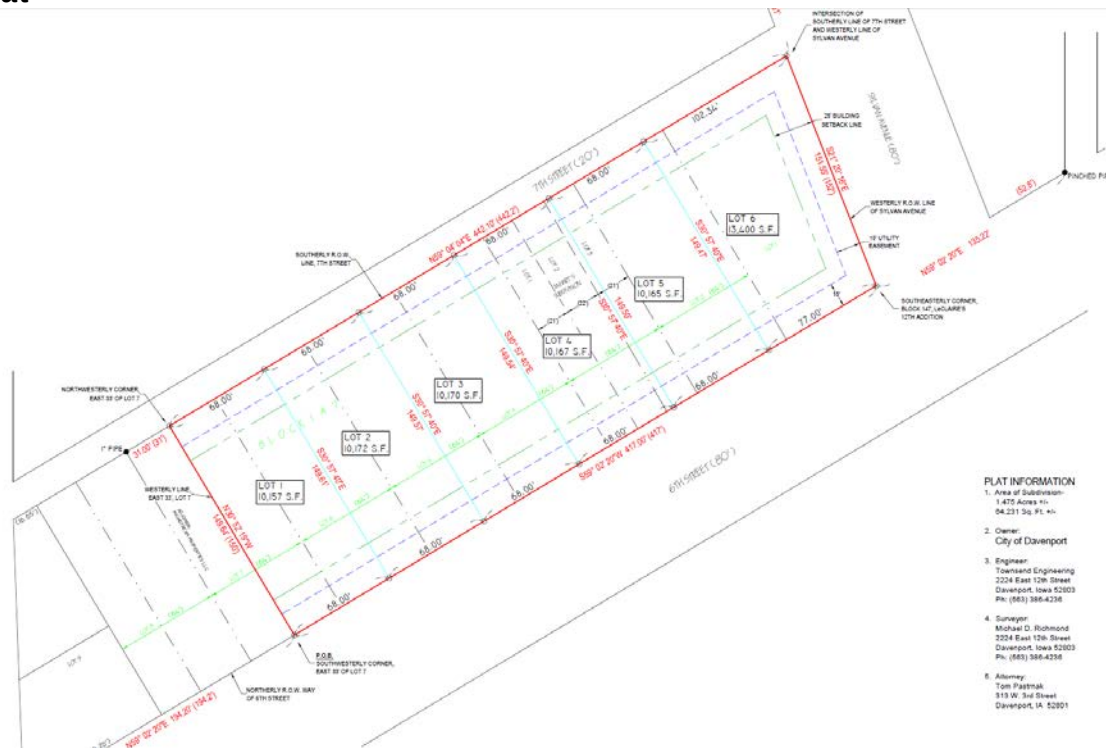
Zoning (R-4 Moderate Density Dwelling District)



Land Use 2035 (Residential General)



Plat



BACKGROUND

Comprehensive Plan:

Within Urban Service Area: Yes
Within Existing Service Area: Yes
Proposed Land Use Designation: Residential General - RG

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant *Davenport 2025* Goals and Objectives:

1. *Strengthen the existing built environment.*
 - b. *Reduce the number of underoccupied, abandoned, or vacant buildings / properties through adaptive reuse and infill.*

Iowa Smart Planning Principles:

Revitalization

Planning, zoning, development, and resource management should facilitate the revitalization of established town centers and neighborhoods by promoting development that conserves land, protects historic resources, promotes

pedestrian accessibility, and integrates different uses of property. Remediation and reuse of existing sites, structures, and infrastructure is preferred over new construction in undeveloped areas.

Technical Review:

Streets. No new streets are proposed with this request.

Storm Water. There is existing stormwater infrastructure in the local street system.

Sanitary Sewer. Sanitary sewer service is located at this site.

Other Utilities. This is an urban area and normal utility services are available.

Parks/Open Space. The proposed plat does not impact any existing or planned parks or public open spaces.

PUBLIC INPUT This is a subdivision plat. No notification is required.

DISCUSSION

The plat reconfigures several smaller lots into six single family building sites.

STAFF RECOMMENDATION

This is a preview report. No recommendation is made at this time.

Prepared by:

Wayne Wille, CFM – Planner II
Community Planning Division

City – NR - Billy Fisher, CPMSM - Urban Conservationist

Natural Resources will need to see a full construction set to give complete comments but until then, the developers should keep in mind that both of these plats will require detention. The Crow Valley Plaza will require infiltration and the 6th Street development may depending on what they plan on doing.

IA AM Water - Julie S. Allender - Senior Engineering Tech

Riverview Collective has a 6" water main favoring the south side of the street

Crow Valley Plaza 10th has water available for all lots off of Utica or E 56th (there is no water main in that section of E 58th)

**CITY OF DAVENPORT
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT (CPED)
SUBDIVISION REFERENCE FILE**

PRELIM / FINAL / PUD (circle the appropriate designation)

SUBDIVISION NAME: Riverview Collective on Sixth

LOCATION: SW 1/4, Sec. 25, T78N, R3E

DEVELOPER:

Name: [build] by architects, LLC

Address: 318 E. 3rd St Davenport, Ia 52801

Phone: (563) 345-3724

FAX: _____

Mobile Phone: _____

Email: andrew@buildbyarchitects.com

ENGINEER:

Name: Townsend Engineering

Address: 2224 E. 12th St. Davenport, Ia 52803

Phone: (563) 386-4236

FAX: (563) 386-4231

Mobile Phone: _____

Email: Kevin@Townsendengineering.net

ATTORNEY:

Name: Tom Pasternak

Address: 313 W. 3rd St. Davenport, Ia 52801

Phone: (563) 323-7737

FAX: _____

Mobile Phone: _____

Email: _____

OWNER:

Name: City of Davenport

Address: _____

Phone: _____

FAX: _____

Mobile Phone: _____

Email: _____

NUMBER OF LOTS: 6

SF

2F

MF & EST. UNITS

COMM

IND

ACRES: _____

STREETS ADDED: N/A

LINEAR FEET

Does the plat contain a drainage way or floodplain area: ____ Yes X No

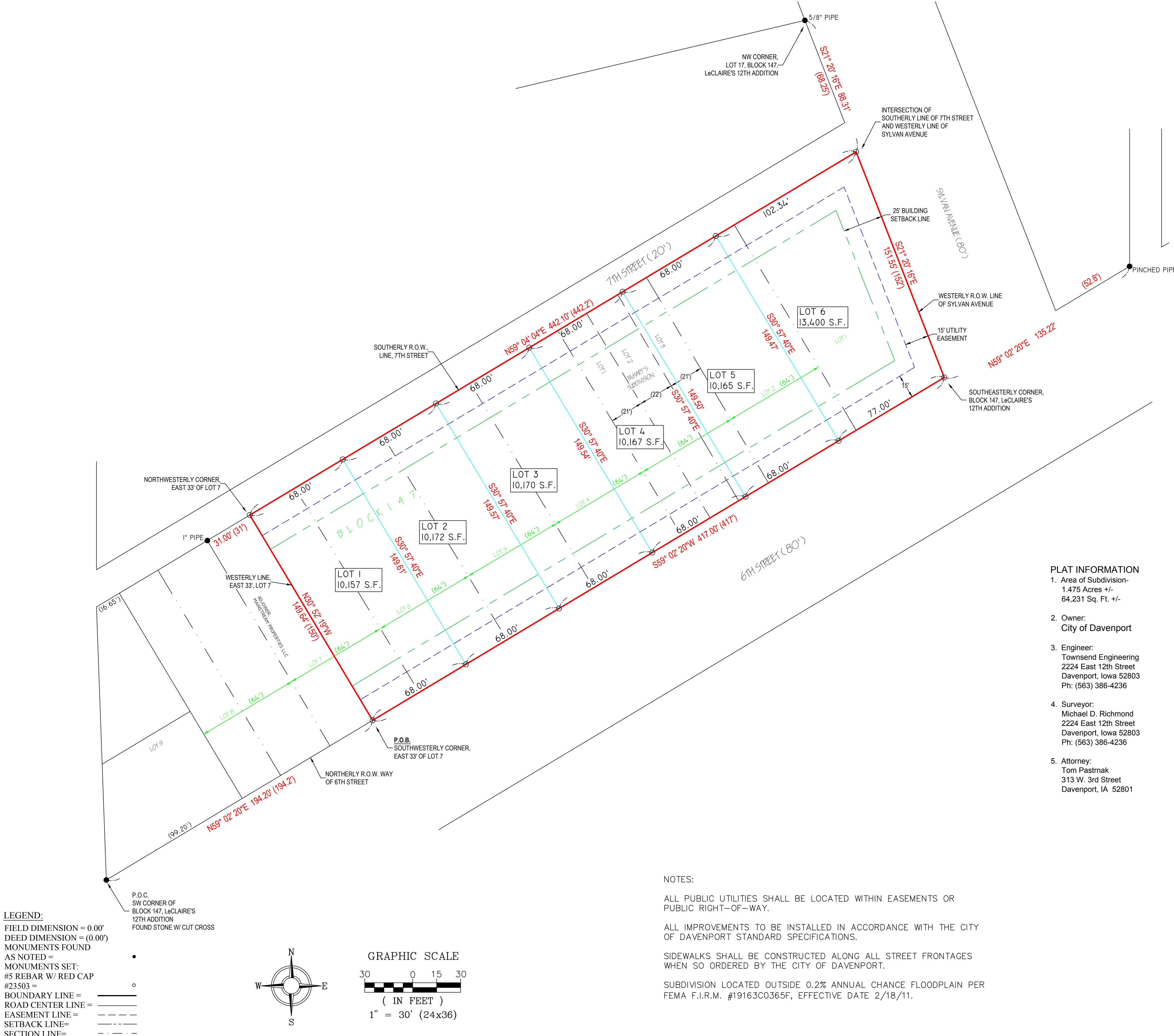
Fee per Plat		Fee
Ten or fewer lots (< 10 lots)		\$400 plus \$25/lot <u>\$550.00</u>
Eleven to twenty-five lots (≥ 11 lots ≤ 25 lots)		\$700 plus \$25/lot
More than twenty-five lots (> 25 lots)		\$1,000 plus \$25/lot
Reforestation fee (submit to Land Use Office Prior to City Council review)		\$150 per 50 feet of lineal lot frontage

NOTE: THE PLAT WILL NOT BE PROCESSED UNTIL THE FEE AND COMPLETED REFERENCE FILE ARE RECEIVED BY THE PLANNING AND LAND DEVELOPMENT OFFICE.

FINAL PLAT

RIVERVIEW COLLECTIVE ON SIXTH

AN ADDITION TO THE CITY OF DAVENPORT, IOWA,
BEING A REPLAT OF PART OF BLOCK 147 IN
LeCLAIRE'S 12TH ADDITION, LOCATED IN THE
SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP
78 NORTH, RANGE 3 EAST OF THE 5TH P.M., SCOTT
COUNTY, IOWA.



- PLAT INFORMATION
- Area of Subdivision-
1.475 Acres +/-
64,231 Sq. Ft. +/-
 - Owner:
City of Davenport
 - Engineer:
Townsend Engineering
2224 East 12th Street
Davenport, Iowa 52803
Ph: (563) 386-4236
 - Surveyor:
Michael D. Richmond
2224 East 12th Street
Davenport, Iowa 52803
Ph: (563) 386-4236
 - Attorney:
Tom Pastnak
313 W. 3rd Street
Davenport, IA 52801

NOTES:

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF DAVENPORT STANDARD SPECIFICATIONS.

SIDEWALKS SHALL BE CONSTRUCTED ALONG ALL STREET FRONTAGES WHEN SO ORDERED BY THE CITY OF DAVENPORT.

SUBDIVISION LOCATED OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA F.I.R.M. #19163C0365F, EFFECTIVE DATE 2/18/11.

_____ DATE: _____

MEDIACOM

_____ DATE: _____

IOWA - AMERICAN WATER COMPANY

_____ DATE: _____

CENTURY LINK

_____ DATE: _____

MIDAMERICAN ENERGY

APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY MIDAMERICAN

APPROVED BY:

CITY OF DAVENPORT, IOWA

BY: _____

DATE: _____ ATTEST: _____

CITY PLAN & ZONE COMMISSION

BY: _____ DATE: _____

LEGEND:

FIELD DIMENSION = 0.00'

DEED DIMENSION = (0.00')

MONUMENTS FOUND AS NOTED =

MONUMENTS SET: #5 REBAR W/ RED CAP

#23503 =

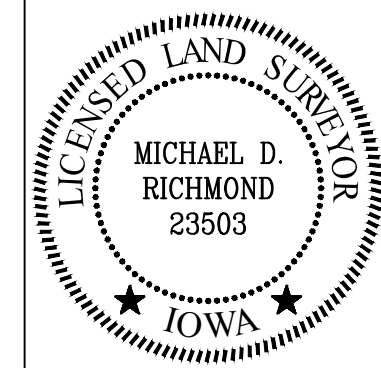
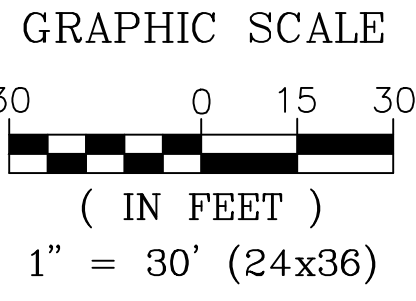
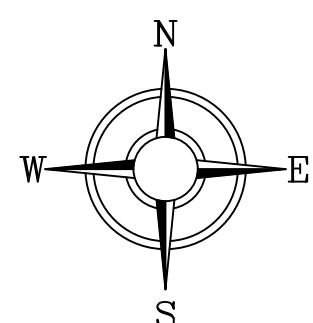
BOUNDARY LINE =

ROAD CENTER LINE =

EASEMENT LINE =

SETBACK LINE =

SECTION LINE =



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

MICHAEL D. RICHMOND
Iowa License Number: 23503
My license renewal date is December 31, 2017
Pages or sheets covered by this seal: ONE

TOWNSEND ENGINEERING CIVIL • STRUCTURAL • LAND DEVELOPMENT	DATE: 5-23-2017 TE PROJECT NO: 00000.00		DRAWN BY: KLC	CHECKED BY: MDR		REVISIONS:			PROJECT	DEVELOPER	SHEET NO.
					NO.	DESCRIPTION		DATE	6TH STREET DEVELOPMENT DAVENPORT, IOWA	ANDREW DASSO 318 E. 3rd Street DAVENPORT, IOWA	1 OF 1
	563 386.4236 office 386.4231 fax		DRAWING LOCATION								
	2224 East 12th Street, Davenport, IA 52803		S:\DASSO-ANDREW\6TH STREET DEVELOPMENT\FINAL PLAT.DWG								

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
6/6/2017

Subject:

Case No. F17-13: Final plat of Crow Valley Plaza Tenth Addition, being in part a replat of Lot 1 of Midland Group Addition, Lot 1 of Crow Valley Plaza Second Addition and Lot 1 of Crow Valley Plaza Seventh Addition, located north of East 56th Street and east of Utica Ridge Road, containing four (4) commercial lots on 35.30 acres, more or less.

ATTACHMENTS:

Type	Description
▣ Backup Material	F17-13 Packet

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:53 PM



City of Davenport
Community Planning & Economic Development Department
PREVIEW REPORT

PLAN AND ZONING COMMISSION

Preview Date: June 06, 2017
Request: Final Plat Crow Valley Plaza Tenth Addition
Address: North of East 56th St and East of Utica Ridge Rd
Case No.: F17-13
Applicant: McCarthy Improvement Co & Linwood Stone Products

INTRODUCTION

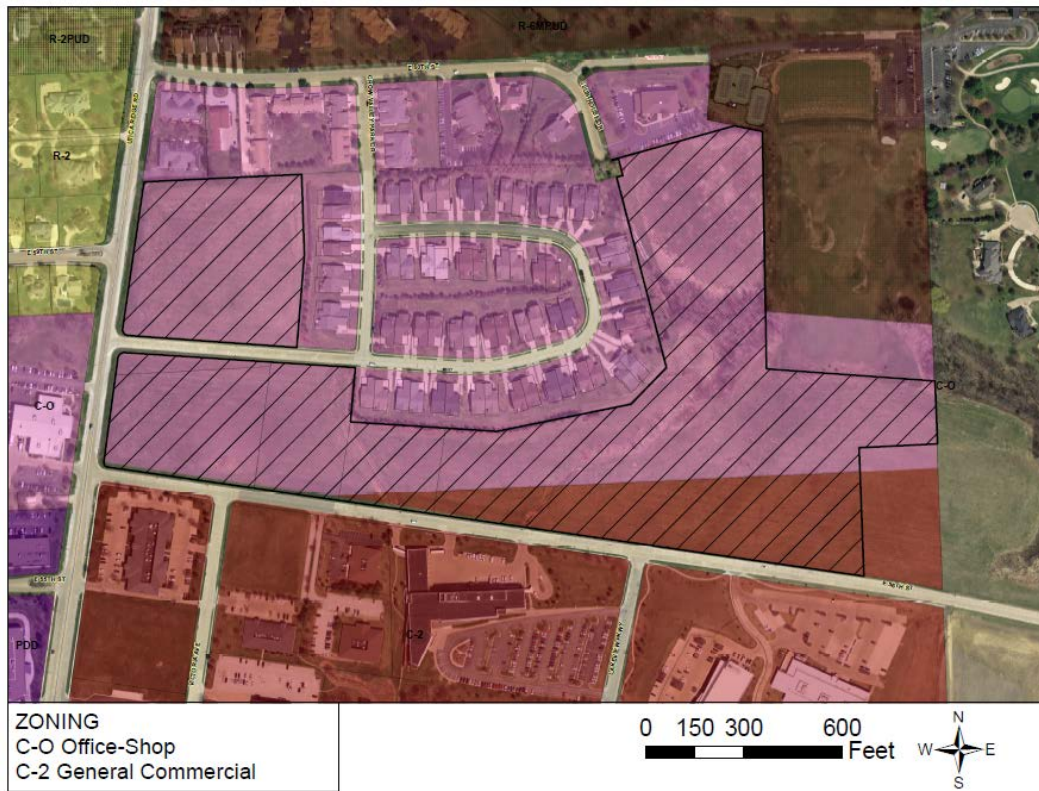
Request of McCarthy Improvement Co & Linwood Stone Products for a four (4) lot final plat on 35.09 acres, more or less, located north of East 56th Street and east of Utica Ridge Road. The proposed addition replats three lots and plats the remaining unplatted ground in this area. The property is zoned "R-4" Moderate Density Dwelling District.

Recommendation: This is a preview report. No recommendation is made at this time.

Aerial Photo:



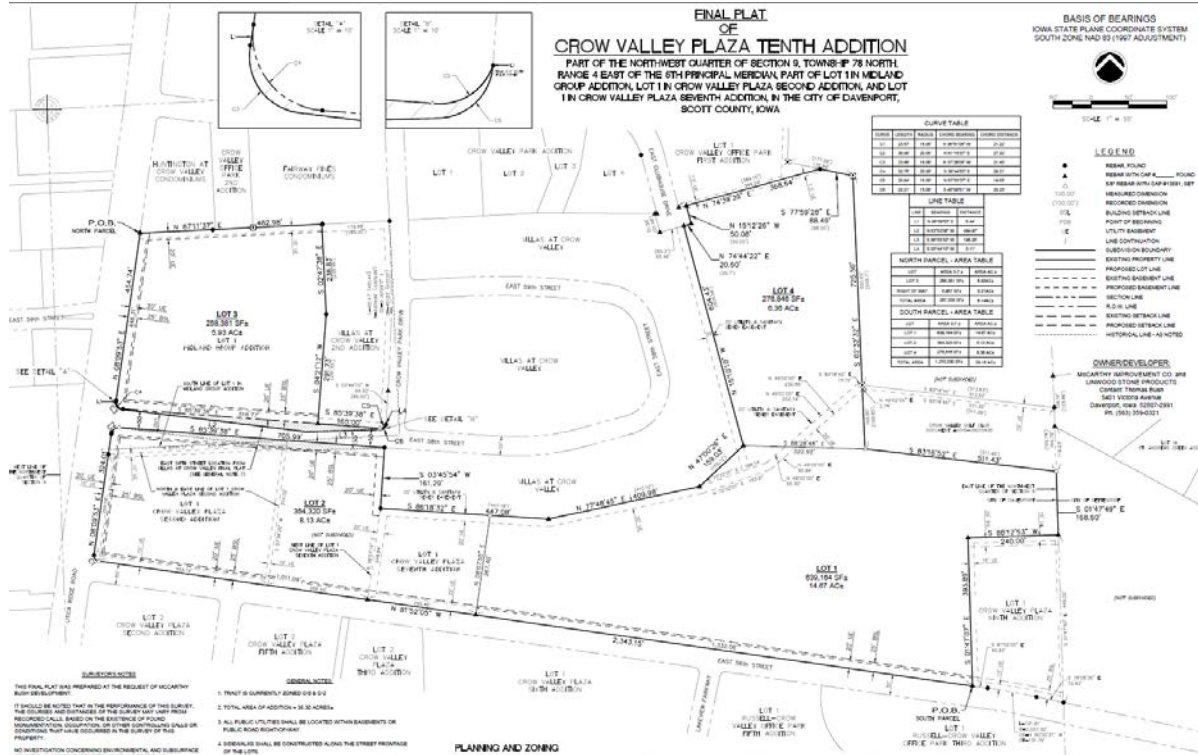
Zoning (R-4 Moderate Density Dwelling District)



Land Use 2035 (Residential General)



Plat



BACKGROUND

Comprehensive Plan:

Within Urban Service Area: Yes
 Within Existing Service Area: Yes
 Proposed Land Use Designation: Residential General - RG

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant *Davenport 2025* Goals and Objectives:

1. *Strengthen the existing built environment.*
 - b. *Reduce the number of underoccupied, abandoned, or vacant buildings / properties through adaptive reuse and infill.*

Iowa Smart Planning Principles:

Revitalization

Planning, zoning, development, and resource management should facilitate the revitalization of established town centers and neighborhoods by promoting development that conserves land, protects historic resources, promotes

pedestrian accessibility, and integrates different uses of property. Remediation and reuse of existing sites, structures, and infrastructure is preferred over new construction in undeveloped areas.

Technical Review:

Streets. No new streets are proposed with this request.

Storm Water. There is existing stormwater infrastructure in the local street system. New development will need to meet retention and detention requirements.

Sanitary Sewer. Sanitary sewer service is located at this site.

Other Utilities. This is an urban area and normal utility services are available.

Parks/Open Space. The proposed plat does not impact any existing or planned parks or public open spaces.

PUBLIC INPUT This is a subdivision plat. No notification is required.

DISCUSSION

The plat combines previous lots and subdivides previously unplatted ground.

STAFF RECOMMENDATION

This is a preview report. No recommendation is made at this time.

Prepared by:

Wayne Wille, CFM- Planner II
Community Planning Division

**CITY OF DAVENPORT
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT (CPED)
SUBDIVISION REFERENCE FILE**

PRELIM / **FINAL** / PUD (circle the appropriate designation)

SUBDIVISION NAME: Crow Valley Plaza Tenth Addition

LOCATION: 56th Street East of Utica Ridge

DEVELOPER: Name: McCarthy Improvement Co. and Linwood Stone Products (Greg Bush)
Address: 5401 Victoria Avenue, Davenport, IA 52807
Phone: 563-359-0321 FAX: 563-344-3792
Mobile Phone: _____ Email: gj_bush@mcb-corp.com

ENGINEER: Name: Jason Holdorf, P.E.
Address: 1717 State Street, Suite 201, Bettendorf, IA 52722
Phone: 563-344-0260 FAX: 563-344-0263
Mobile Phone: _____ Email: jasonh@missman.com

ATTORNEY: Name: Sam Skorepa
Address: 220 N. Main Street, Suite 600, Davenport, IA 52801
Phone: 563-333-6646 FAX: 563-324-1616
Mobile Phone: _____ Email: sskorepa@L-Wlaw.com

OWNER: Name: McCarthy Improvement Co. and Linwood Stone Products (Greg Bush)
Address: 5401 Victoria Avenue, Davenport, IA 52807
Phone: 563-359-0321 FAX: 563-344-3792
Mobile Phone: _____ Email: gj_bush@mcb-corp.com

NUMBER OF LOTS: 4 ACRES: 35.3
SF 2F MF & EST. UNITS COMM IND

STREETS ADDED: 0 LINEAR FEET

Does the plat contain a drainage way or floodplain area: Yes No

Fee per Plat	Fee
Ten or fewer lots (< 10 lots)	\$400 plus \$25/lot
Eleven to twenty-five lots (≥ 11 lots ≤ 25 lots)	\$700 plus \$25/lot
More than twenty-five lots (> 25 lots)	\$1,000 plus \$25/lot
Reforestation fee (submit to Land Use Office Prior to City Council review)	\$150 per 50 feet of lineal lot frontage

**NOTE: THE PLAT WILL NOT BE PROCESSED UNTIL THE FEE AND COMPLETED REFERENCE FILE
ARE RECEIVED BY THE PLANNING AND LAND DEVELOPMENT OFFICE.**

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
6/6/2017

Subject:

Case No. F17-14: Final plat of Falcon Pointe First Addition, being a replat of Lot 3 of Eagle's Crest First Addition, located south of West Locust Street and west of Emerald Drive, containing 39 residential lots and one (1) outlot on 22.16 acres, more or less. Detention is on a separate outlot south of the plat on 3.39 acres, more or less.

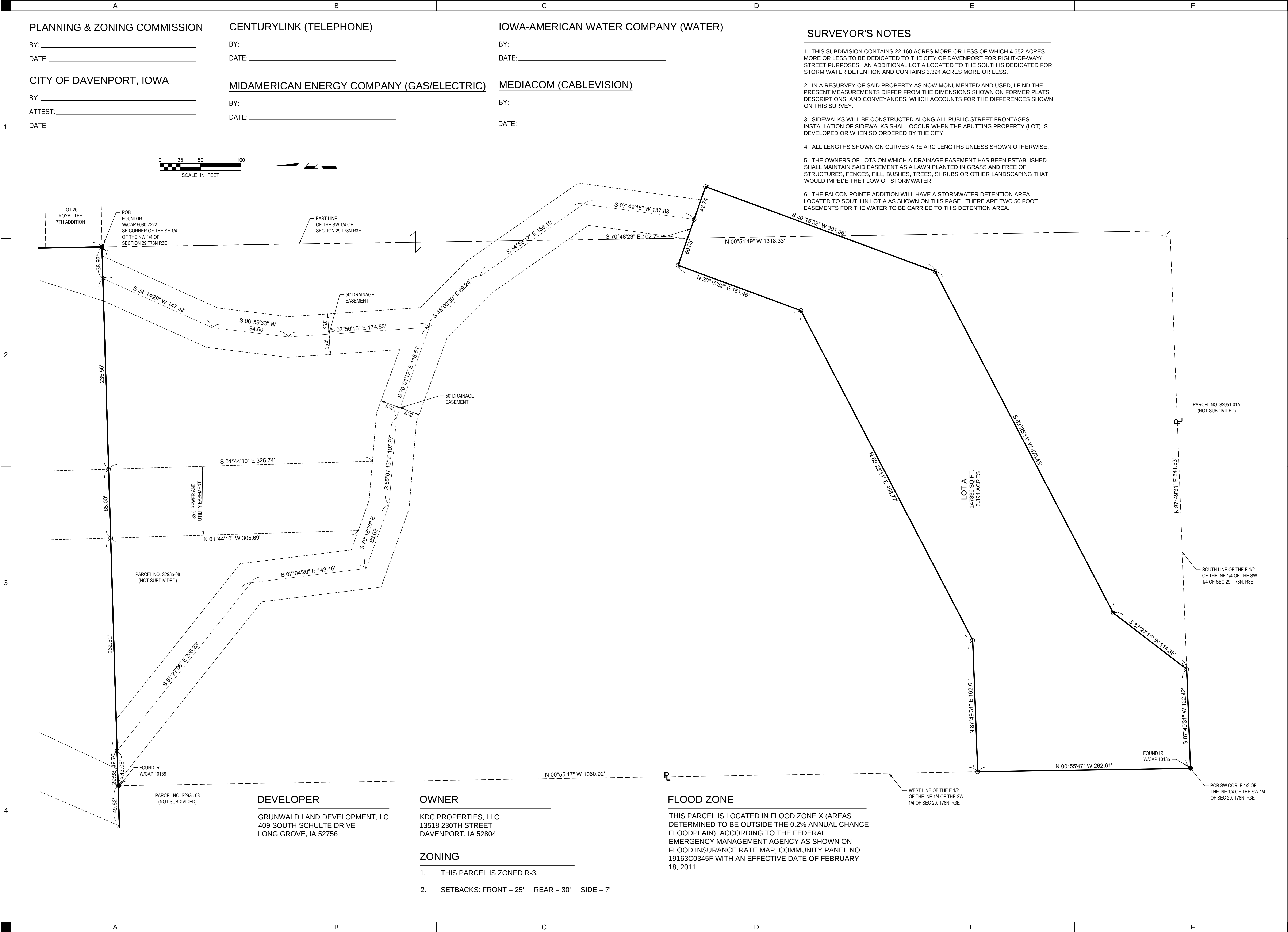
ATTACHMENTS:

Type	Description
Backup Material	F17-14 Plat

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 1:54 PM

P:\Projects\MO2156500\Delaware\Delaware\HLS_Survey\FB-1.dwg
Printed: 5/26/2017 9:11:19 AM



SHIVE-HATTERY
ARCHITECTURE+ENGINEERING
1701 River Drive, Suite 200 | Moline, Illinois 61205
309.764.7650 | fax: 309.764.8816 | www.shive-hattery.com
Iowa | Illinois | Indiana

SEAL

FINAL PLAT FOR FALCON POINTE
FIRST ADDITION

DRAWN:	JUB
APPROVED:	GDG
ISSUED FOR:	REVIEW
DATE:	5/26/2017
PROJECT NO.:	116594-0
FIELD BOOK:	609
CLIENT NO.:	-

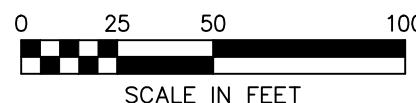
FINAL PLAT

B1.02

FINAL PLAT
FOR
FALCON POINTE
ADDITION

TO THE CITY OF DAVENPORT, IOWA
(BEING A REPLAT OF LOT 3, EAGLE'S CREST FIRST ADDITION
AND PART OF THE NE 1/4 OF THE SW 1/4 AND PART OF THE
NW 1/4 OF THE SE 1/4 OF SEC 29, T78N, R3E OF THE 5TH P.M.)

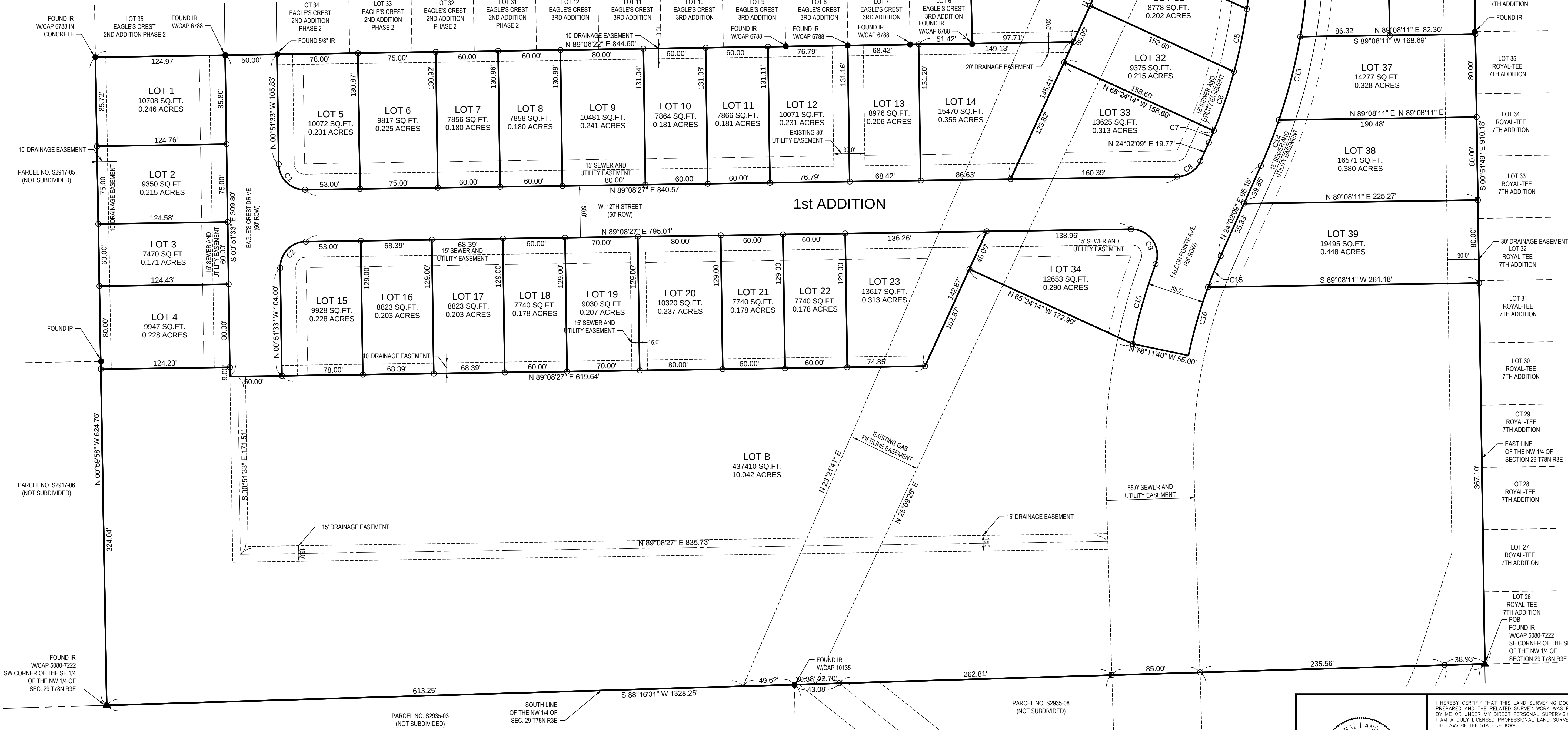
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C1	39.27'	25.00'	S 45°51'33" E	35.36
C2	39.27'	25.00'	N 44°08'27" E	35.36
C3	39.32'	25.00'	S 45°03'28" E	35.39
C4	71.03'	472.50'	S 03°26'44" W	70.96
C5	61.65'	472.50'	S 11°29'23" W	61.60
C6	60.34'	472.50'	N 18°53'09" E	60.30
C7	12.30'	472.50'	N 23°17'24" E	12.30
C8	28.41'	25.00'	N 56°35'18" E	26.90
C9	48.58'	25.00'	S 35°11'36" E	41.29
C10	79.90'	527.50'	S 16°08'02" W	79.82
C11	39.19'	25.00'	N 43°57'15" E	35.30
C12	99.63'	527.57'	N 04°27'30" E	99.48
C13	83.00'	527.51'	N 14°22'37" E	82.92
C14	47.42'	527.33'	N 22°04'22" E	47.41
C15	32.37'	470.72'	N 22°04'22" E	32.37
C16	68.58'	474.08'	S 15°57'00" W	68.52



LEGEND

SURVEY	
PLAN MARK	DESCRIPTION
●	IRON ROD - FOUND
○	IRON ROD - SET
▲	SECTION CORNER FOUND
POB	POINT OF BEGINNING

1st ADDITION



	SIGNATURE: _____
	NAME: GARY D. GROSS
	DATE: _____ LICENSE NUMBER: 16850
	MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2018
	PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: B1.01, B1.02

FINAL PLAT FOR FALCON POINTE
FIRST ADDITION

FINAL PLAT

B1.01

DRAWN: JUB
APPROVED: GOG
ISSUED FOR: REVIEW
DATE: 5/26/2017
PROJECT NO: 3165940
FIELD BOOK: 609
CLIENT NO: 1

GRUNWALD LAND DEVELOPMENT, L.C.
DAVENPORT, IOWA

SEAL

1

2

3

4

1

B1.01

SHIVE-HATTERY
ARCHITECTURE+ENGINEERING
1701 River Drive, Suite 200 | Moline, Illinois 61205
309.764.4650 | fax: 309.764.8816 | www.shive-hattery.com
Iowa | Illinois | Indiana

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
6/6/2017

Subject:

(Time open for citizens wishing to address the Commission on matters not on the established agenda)

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 2:10 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn, 888-2286

Date
6/6/2017

Subject:

- Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
- Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
- A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

•
Next Public Hearing/Regular Plan & Zoning Meeting: Tuesday, June 20, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	5/31/2017 - 2:13 PM