

PLAN AND ZONING COMMISSION MEETING

CITY OF DAVENPORT, IOWA

TUESDAY, MAY 16, 2017; 5:00 PM

CITY HALL 226 W 4TH ST DAVENPORT IOWA

COMBINED PUBLIC HEARING AND REGULAR MEETING AGENDAS

PUBLIC HEARING AGENDA

I. Next Public Hearing

- A. Tuesday, June 06, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REGULAR MEETING AGENDA

I. Roll Call

II. Report of the City Council Authority

- A. Report of the City Council Activity

III. Secretary's Report

- A. May 02, 2017 meeting minutes

IV. Report of the Comprehensive Plan Committee

V. Zoning Activity

A. Old Business

B. New Business

- i. Case No. ROW17-02: Request of Genesis Health System for the right-of-way vacation (abandonment) of 0.38 acre (16,800 square feet), more or less, of public right-of-way known as East Lombard Street between College Avenue and the west line extended of the north-south alley east of formerly vacated Esplanade Avenue. The request is to facilitate campus expansion.
- ii. Case No. ROW17-03: Request of Genesis Health System for the right-of-way vacation (abandonment) of 0.26 acre (11,400 square feet), more or less, of public right-of-way known as Denison Avenue between the west line of Adams Street and the railroad. The request is to facilitate securing the property.
- iii. Case No. FDP17-02: Request of Genesis Health System for a PDD Final Development Plan approval for a medical office building located on 2.92 acres, more or less, of property located at 3200 West Kimberly Road.
- iv. Case No. FDP17-03 Request of Build to Suit Inc. on behalf of Family Care

Solutions for a PDD final development plan for offices on 1.2 acres, more or less, being Lot 9 of Utica Corners 6th Subdivision located east of Utica Ridge Road and north of Crow Creek Road.

VI. Subdivision Activity

A. Old Business

B. New Business

- i. Case No. F17-10: Final plat of Interstate 80 Airport Industrial Park 10th Addition, being in part a replat of Lot 2 of Interstate 80 Airport Industrial Park 4th Addition, located at the northeast corner of Hillandale Road and Research Parkway, containing two industrial lots on 29.43 acres, more or less.
- ii. Case No. P17-02: the preliminary plat of Inverness Estates located east of Division Street and south of West 76th Street, containing 246 residential lots and 51 outlots on 123 acres, more or less.

VII. Future Business

- A. Case No. F17-11: Final plat of Windsor Meadows Commercial Park Third Addition, being a replat of Lot 1 Windsor Meadows Commercial Park Second Addition, located on the west side of Elmore Avenue north of Kimberly Road, containing one (1) commercial lot on 0.46 acre, more or less.

VIII. Communications

- A. **(Time open for citizens wishing to address the Commission on matters not on the established agenda)**

IX. Other Business

X. Adjourn

- A.
 - Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
 - Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
 - A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting: Tuesday, June 06, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:

PUBLIC HEARING AGENDA

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:30 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:

Tuesday, June 06, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:49 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:
Report of the City Council Activity

ATTACHMENTS:

Type	Description
Backup Material	Report of Council Activity

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:49 PM

REPORT of CITY COUNCIL ACTIVITY

April 24, 2017 Meeting –

Approved Resolution 2017-170 concurring with the City of Eldridge's voluntary annexation of property owned by the City of Davenport into Eldridge and authorizing the City Administrator and/or her designee to sign any documents necessary to accomplish this.

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:
May 02, 2017 meeting minutes

ATTACHMENTS:

Type	Description
▯ Cover Memo	May 02,2017 meeting minutes

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:44 PM

**CITY PLAN AND ZONING COMMISSION
CITY OF DAVENPORT, IOWA**

**TUESDAY MAY 02, 2017 • 5:00 PM
COUNCIL CHAMBERS – DAVENPORT CITY HALL
226 W 4TH STREET DAVENPORT, IA**

MINUTES

By this reference all reports, documents, presentations and the meeting video record are made a part of the minutes.

PUBLIC HEARING AGENDA

The public hearing was opened at 5:00 P.M. and the following public hearing was held:

OLD BUSINESS – None

NEW BUSINESS –

- Case No. ROW17-02: Request of Genesis Health System for the right-of-way vacation (abandonment) of 0.81 acres (35,410 square feet), more or less, of public right-of-way known as East Lombard Street between College Avenue and the west line extended of the north-south alley east of Esplanade Avenue; Esplanade Avenue located between Rusholme and Lombard Streets; and Denison Avenue between the west line of Adams Street and the railroad. The request is to facilitate campus expansion and secure the property.

The public hearing was closed at 5:15 P.M.

Next Public Hearing:

Tuesday, May 16, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REGULAR MEETING AGENDA

The regular meeting was called to order at 5:12 P.M. following the public hearing

I. Roll Call of the Membership

Present: Connell, Hepner, Inghram, Lammers, Maness, Martinez, Quinn, Reinartz and Tallman.

Excused: Kelling and Medd

Absent: None

Staff: Rusnak, Wille, Leabhart and attorney Heyer.

II. Report of the City Council Activity – as presented

III. Secretary's Report April 18, 2017 meeting minutes were approved

IV. Report of the Comprehensive Plan Committee - no report

V. Zoning Activity

A. Old Business – None

B. New Business -

- 1. Case No. REZ17-03:** Request of the City of Davenport for the rezoning of 64.6 acres, more or less, of real property located west of Division Street and south of Interstate 80, from “A-1” Agricultural District to “M-1” Light Industrial District.

Findings:

The proposed rezoning is consistent with the Comprehensive Plan, which designates this property as “Industry”.

Recommendation:

Staff recommends the Plan and Zoning Commission forward Case No REZ17-03 to the City Council for approval.

On a motion by Lammers, seconded by Connell, the City Plan and Zoning Commission accepted the finding and forwards Case No. REZ17-03 to the City Council with a recommendation for approval on a vote of 8-yes, 0-no and 0-abstention.

VI. Subdivision Activity

A. Old Business – None

B. New Business –

- 1. Case No. F17-09:** the final plat of Riverview on 6th, being a replat of a part of Lots 8, 9, and Lot 10 of Block 146 and Lot 7 and a part of Lot 6 of Block 125 of LeClaire’s 12th Addition, located west of Grand Avenue on either side of East 6th Street, containing 0.84 acres, more or less, and three (3) residential lots.

Findings:

- The plat conforms to the Comprehensive Plan Davenport 2035
- The plat promotes infill development

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. F17-06 the final plat of Riverview on 6th Subdivision to the City Council for approval subject to the following conditions:

1. At least two of the found property pins used in the survey are identified by corresponding existing lot corner or the plat is tied to two quarter corners.
2. For clarity the existing lot lines within new lots 2 and 3 should be dashed.
3. That the northerly forty-six (46) feet as measured from the property line (60 feet from the curb line) of the driveway access should be dedicated as a public alley.

On a motion by Quinn, seconded by Connell, the City Plan and Zoning Commission accepted the findings and forwards Case No. F17-09 to the City Council for approval subject to the above stated conditions on a vote of 8-yes, 0-no and 0-abstention.

VII. Other Business –

VIII. Future Business – Preview of items for the May 16th public hearing and/or regular meeting (*note-not all items to be heard may be listed*):

1. Case No. F17-10: Request of Greater Davenport Redevelopment Corporation for a two lot final plat on 29.43 acres, more or less, located at the northeast corner of Hillandale Road and Research Parkway. The proposed plat is a replat of Lot 2 of Interstate 80 Airport Industrial Park 4th Addition and unplatted land. The property is zoned “M-1” Industrial District.
2. Case No. FDP17-02: Request of Genesis Health System for a PDD Final Development Plan approval for a medical office building located on 2.92 acres, more or less, of property located at 3200 West Kimberly Road.
3. Case No. P17-02: the preliminary plat of Inverness Estates located east of Division Street and south of West 76th Street, containing 246 residential lots and 51 outlots.

VIII. Communications (Time open for citizens wishing to address the Commission on matters not on the established agenda)

IX. Adjourn – The meeting was adjourned at 5:22 P.M.

- *Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days’ time this agenda item is to be construed as approved by the Commission.*
- *Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.*
- *A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.*

Next Public Hearing/Regular Plan & Zoning Meeting:

Tuesday, May 16, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

Report of City Council Activity

April 24, 2017 Meeting –

Approved Resolution 2017-170 concurring with the City of Eldridge's voluntary annexation of property owned by the City of Davenport into Eldridge and authorizing the City Administrator and/or her designee to sign any documents necessary to accomplish this.

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development
Department
Contact Info: Ryan Rusnak (563) 888-2022
rrusnak@ci.davenport.ia.us

Date
5/16/2017

Subject:

Case No. ROW17-02: Request of Genesis Health System for the right-of-way vacation (abandonment) of 0.38 acre (16,800 square feet), more or less, of public right-of-way known as East Lombard Street between College Avenue and the west line extended of the north-south alley east of formerly vacated Esplanade Avenue. The request is to facilitate campus expansion.

Recommendation:

Findings:

1. The proposed right of way vacation would not impact adjacent property owners since Genesis Health System owns property on both sides of East Lombard Street in the location of the right of way vacation; and
2. A utility easement would preserve the rights for utility providers maintaining utilities within the East Lombard Street right-of-way.

Staff recommends the City Plan and Zoning Commission forward Case No. ROW17-02 to the City Council with a recommendation for approval subject to the following condition:

1. A utility easement be dedicated for the preservation and maintenance of public utilities within the East Lombard Street right-of-way. Alternatively, Genesis Health System could abandon the public utilities.

ATTACHMENTS:

Type	Description
Backup Material	ROW17-02 - Staff Report

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:44 PM



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: May 16, 2017
Request: Right-of-way vacation (abandonment) of public right-of-way known as
Location: East Lombard Street between College Avenue and the west line extended of the north-south alley east of Esplanade Avenue.
Case No.: ROW17-02
Applicant: Genesis Health System

Update:

Genesis Health System vacated Esplanade Avenue located between East Rusholme Street and East Lombard Street in 2014 (ORD2014-178). College Avenue between High Street and East Rusholme Street was also vacated at that time. Therefore, the portion of the request pertaining to Esplanade Avenue has been deleted from the request.

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the listed findings and forward Case No. ROW17-02 to the City Council with a recommendation for approval subject to the listed condition.

Introduction:

Genesis Health System is petitioning to vacate the East Lombard Street right-of-way to facilitate campus expansion. At this time, the intent is for the property to be green space.

LOCATION:



 Subject Property



Background:

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Zoning:

The adjacent properties are zoned “PDD” Planned Development District and “R-4” Moderate Density Dwelling District.



 Subject Property



 Subject Property

 Properties owned by Genesis Health System



Technical Review:

Streets. East Lombard Street is improved with roadways and sidewalks.

Storm Water. There is no existing stormwater infrastructure within the East Lombard Street right of way.

Sanitary Sewer. Sanitary sewer service is located within the East Lombard Street right of way.



 Subject Property



Other Utilities. Electric does not appear to be located within the East Lombard Street right of way. However, a natural gas main is located with the East Lombard Street right of way.

Emergency Services. This request would not affect Emergency services.

Parks/Open Space. This request does not impact any existing or planned parks or public open spaces.

Public Input:

Public Hearing notices were sent to property owners within 200 feet of the proposed right-of-way vacation in advance of the May 2, 2017 Plan and Zoning Commission Public Hearing. No one spoke other than the applicant at the public hearing. To date, staff has not received any objections to the request.

Discussion:

Genesis Health System is petitioning to vacate the East Lombard Street right-of-way to facilitate campus expansion. At this time, the intent is for the property to be green space. Genesis Health System owns the property on both sides of East Lombard Street between College Avenue and the alley west of Mississippi Avenue. There is a sanitary sewer main and natural gas main located within the East Lombard Street right of way. A public utility easement would need to be provided or Genesis Health System would need to abandon the utilities.

Staff Recommendation:**Findings:**

1. The proposed right of way vacation would not impact adjacent property owners since Genesis Health System owns property on both sides of East Lombard Street in the location of the right of way vacation; and
2. A utility easement would preserve the rights for utility providers maintaining utilities within the East Lombard Street right-of-way.

Staff recommends the City Plan and Zoning Commission forward Case No. ROW17-02 to the City Council with a recommendation for approval subject to the following condition:

1. A utility easement be dedicated for the preservation and maintenance of public utilities within the East Lombard Street right-of-way. Alternatively, Genesis Health System could abandon the public utilities.

Prepared by:



Ryan Rusnak, AICP
Planner III

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development
Department
Contact Info: Ryan Rusnak (563) 888-2022
rrusnak@ci.davenport.ia.us

Date
5/16/2017

Subject:

Case No. ROW17-03: Request of Genesis Health System for the right-of-way vacation (abandonment) of 0.26 acre (11,400 square feet), more or less, of public right-of-way known as Denison Avenue between the west line of Adams Street and the railroad. The request is to facilitate securing the property.

Recommendation:

Findings:

1. The proposed right of way vacation would not impact adjacent property owners since Genesis Health System owns the adjacent property to the north; and A utility easement would preserve the right of the utility provider maintaining the sanitary sewer within the Denison Avenue right-of-way.

Staff recommends the City Plan and Zoning Commission forward Case No. ROW17-03 to the City Council with a recommendation for approval subject to the following condition:

1. A utility easement be dedicated for the preservation and maintenance of the public utility within the Denison Avenue right-of-way. Alternatively, Genesis Health System could abandon the public utility.

ATTACHMENTS:

Type	Description
▢ Backup Material	ROW17-03 - Staff Report

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:44 PM



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: May 16, 2017
Request: Right-of-way vacation (abandonment) of public right-of-way known as
Location: Denison Avenue between the west line extended of Adams Street and the railroad.
Case No.: ROW17-03
Applicant: Genesis Health System

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the listed findings and forward Case No. ROW17-03 to the City Council with a recommendation for approval subject to the listed condition.

Introduction:

Genesis Health System is petitioning to vacate the Denison Avenue right-of-way to secure the campus from trespassers.

LOCATION:



 Subject Property



Background:

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Zoning:

The adjacent properties are zoned “PDD” Planned Development District, “R-4” Moderate Density Dwelling District and “C-2” General Commercial District.



 Subject Property



 Subject Property

 Properties owned by Genesis Health System



Technical Review:

Streets. Denison Avenue is not improved with a roadway or sidewalks.

Storm Water. There is no existing storm water infrastructure within the Denison Avenue right of way.

Sanitary Sewer. Sanitary sewer service is located at the western portion of Denison Avenue.



Other Utilities. Other utilities do not appear to be located within the Denison Avenue right of way.

Emergency Services. This request would not affect Emergency services.

Parks/Open Space. This request does not impact any existing or planned parks or public open spaces.

Public Input:

Public Hearing notices were sent to property owners within 200 feet of the proposed right-of-way vacation in advance of the May 2, 2017 Plan and Zoning Commission Public Hearing. No one spoke other than the applicant at the public hearing. To date, staff has not received any objections to the request.

Discussion:

Genesis Health System is petitioning to vacate the Denison Avenue right-of-way to secure the campus from trespassers. Genesis Health System owns the adjacent property to the north. There is a sanitary sewer main at the western portion of the right-of-way. A public utility easement would need to be provided or Genesis Health System would need to abandon the utility.

Staff Recommendation:

Findings:

1. The proposed right of way vacation would not impact adjacent property owners since Genesis Health System owns the adjacent property to the north; and
2. A utility easement would preserve the right of the utility provider maintaining the sanitary sewer within the Denison Avenue right-of-way.

Staff recommends the City Plan and Zoning Commission forward Case No. ROW17-03 to the City Council with a recommendation for approval subject to the following condition:

1. A utility easement be dedicated for the preservation and maintenance of the public utility within the Denison Avenue right-of-way. Alternatively, Genesis Health System could abandon the public utility.

Prepared by:



Ryan Rusnak, AICP
Planner III

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development
Department
Contact Info: Ryan Rusnak (563) 888-2022
rrusnak@ci.davenport.ia.us

Date
5/16/2017

Subject:

Case No. FDP17-02: Request of Genesis Health System for a PDD Final Development Plan approval for a medical office building located on 2.92 acres, more or less, of property located at 3200 West Kimberly Road.

Recommendation:

Finding:

1. The proposed Final Development Plan would achieve consistency with adopted ORD2014-423 if the building and parking lot setback deficiencies are resolved (either through the granting of a hardship variance by the Zoning Board of Adjustment or the building and parking lot be adjusted on the site to accommodate the required setbacks) and the dumpster and enclosure is relocated to achieve consistency with the required 30 foot buffer adjacent to the north property line adjacent to the residences.

Staff recommends the Plan and Zoning Commission accept the listed condition and forward Case FDP17-02 to the City Council with a recommendation for approval subject to the following conditions:

1. Prior to the City Council's consideration of the proposed Final Development Plan, the building setback and parking deficiencies be resolved (either through the granting of a hardship variance by the Zoning Board of Adjustment or building and parking lot be adjusted on the site to accommodate the required setbacks) and the dumpster and enclosure be relocated to achieve consistency with the required 30 foot buffer adjacent to the north property line adjacent to the residences; and
2. Prior to issuance of Certificate of Occupancy, the portion of the existing sanitary sewer easement within the proposed building foot print shall be vacated. A new sanitary manhole shall be constructed in place of the depicted sewer cleanout shown. The lateral shall be connect to the the sewer with a wye connection and not brought into the manhole.

ATTACHMENTS:

Type	Description
▣ Backup Material	FDP17-02 Staff Report
▣ Backup Material	FDP17-02 - Final Development Plan
▣ Backup Material	ORD2014-423

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:45 PM



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: May 16, 2017
Request: Final Development Plan for a medical office
Address: 3200 West Kimberly Road (Lot 1 of Genesis West Kimberly Medical Office Building)
Case No.: FDP17-02
Applicant: Genesis Health System

Recommendation:

Staff recommends the Plan and Zoning Commission accept the listed condition and forward Case FDP17-02 to the City Council with a recommendation for approval subject to the listed conditions.

Introduction:

Request of Genesis Health System for a PDD Final Development Plan approval for a medical office building located on 2.92 acres, more or less, of property located at 3200 West Kimberly Road.

AREA CHARACTERISTICS:

Zoning Map



Land Use Map



Background:**Comprehensive Plan:**

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Future Land Use Designation: Regional Commercial (RC) – Are the most intense commercial areas that have service boundaries that extend beyond the City limits of Davenport. Areas designated RC should be located at the intersections of major streets and have good access to interstate and other highways. Typical uses include big box retail and large office complexes; although some residential, service and institutional uses may also be located within RC. Most people will drive or take transit to areas designated RC. However, good pedestrian systems should serve these areas and focus on connectivity from the street, through parking lots and between individual uses. Connectivity to nearby neighborhoods is desirable but less important.

Relevant Goals to be considered in this Case: Strengthen the Existing Built Environment.

The proposed use would comply with the Davenport 2035 proposed land use section.

Zoning:

The property is currently zoned “PDD” Planned Development District (Ordinance 2014-423). The adopted ordinance contains the following conditions:

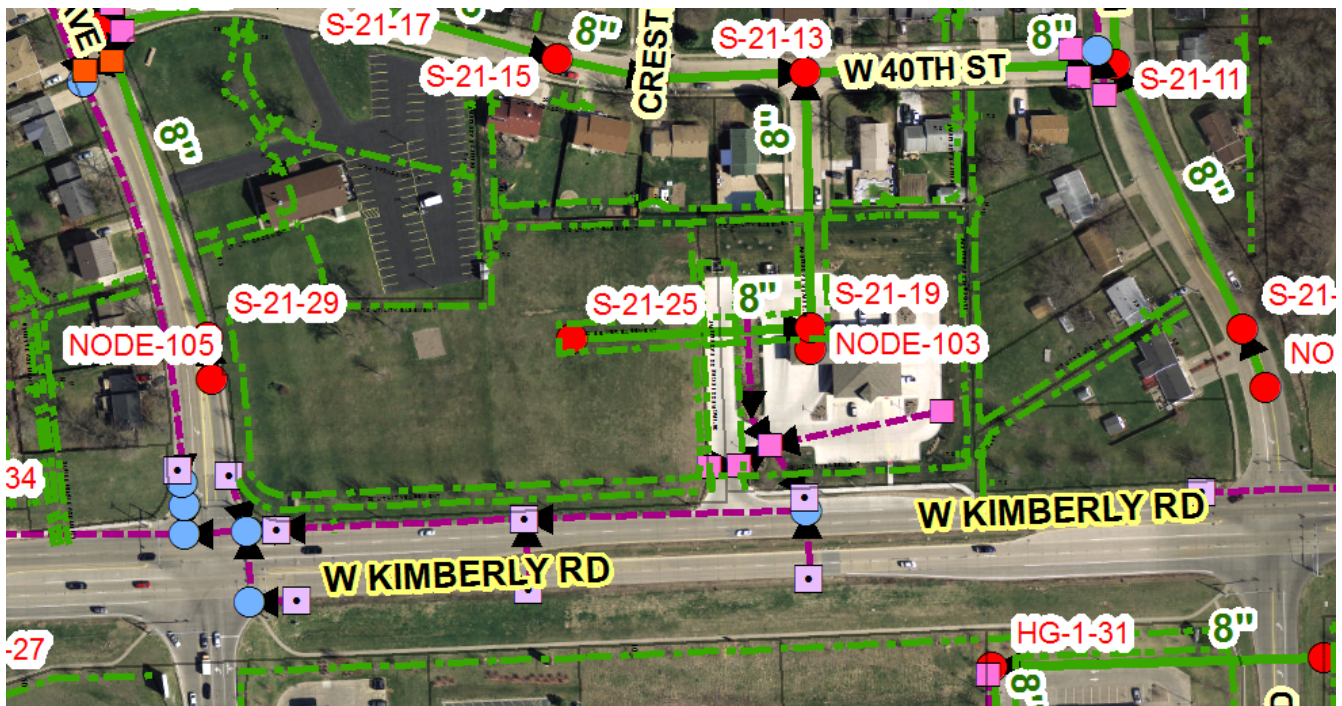
1. That the proposed use of the property be limited to a medical office and ancillary medical uses;
2. That the development of the property be in general accordance with the adopted Land Use Plan;
3. That Development Plan approval be obtained pursuant to Chapter 17.32 of the Davenport Municipal Code prior to the construction of any of the improvements depicted on the approved Land Use Plan;
4. That a final plat for the reconfiguration of the property be approved and recorded prior to the construction of any of the improvements depicted on the approved Land Use Plan;
5. That the development of the property be subject to the Highway Corridor Overlay District pursuant to Chapter 17.41 and 17.45 of the Davenport Municipal Code;
6. That the parking area adjacent to the proposed north property line adjacent to the Grace Brethren Church of Davenport achieve consistency with the required 25 foot setback or a hardship variance be obtained to reduce this setback;
7. That the building achieve consistency with required additional setback for buildings over 25 feet in height or a hardship variance be obtained to reduce this setback
8. That a dedicated pedestrian sidewalk be provided from the West Kimberly Road sidewalk to the entrance of the proposed building;
9. That all building mounted and parking lot lighting be completely shielded so that the emitted light source cannot be seen from the adjacent residential properties to west, north and east;
10. That a three foot high berm be constructed within a 30 foot wide landscape buffer along the north line adjacent to the residences; and
11. That the location, amount and type of landscaping be reviewed in conjunction with the Development Plan to ensure that it adequately mitigates the negative impacts of commercial development with the surrounding residential properties to the north.

Technical Review:

Streets. The property is located at the northeast corner of West Kimberly Road and North Elsie Avenue. The Final Plat for Genesis West Kimberly Medical Office Building First Addition contains a condition that there be no driveway access to West Kimberly Road.

Storm Water. Storm water detention and water quality treatment are required with the proposed development.

Sanitary Sewer. Sanitary sewer service is located within the subject property. The portion of the existing sanitary sewer easement within the building foot print shall be vacated. In place of the cleanout shown a new City manhole is to be constructed. The lateral should be connected to the sewer with a wye connection and not brought into the manhole.



Other Utilities. Other utilities are located within this area.

Emergency Services. Station 6 is located 2.4 miles from the proposed development.

Parks/Open Space. This request does not impact any existing or planned parks or public open spaces.

Public Input:

No public hearing is required for a Final Development Plan.

Discussion:

The proposal is to construct a medical office building. The property was rezoned from “R-3” Moderate Density Dwelling District and “PDD” Planned Development District to all “PDD” Planned Development District in 2014 to accommodate the proposed development.

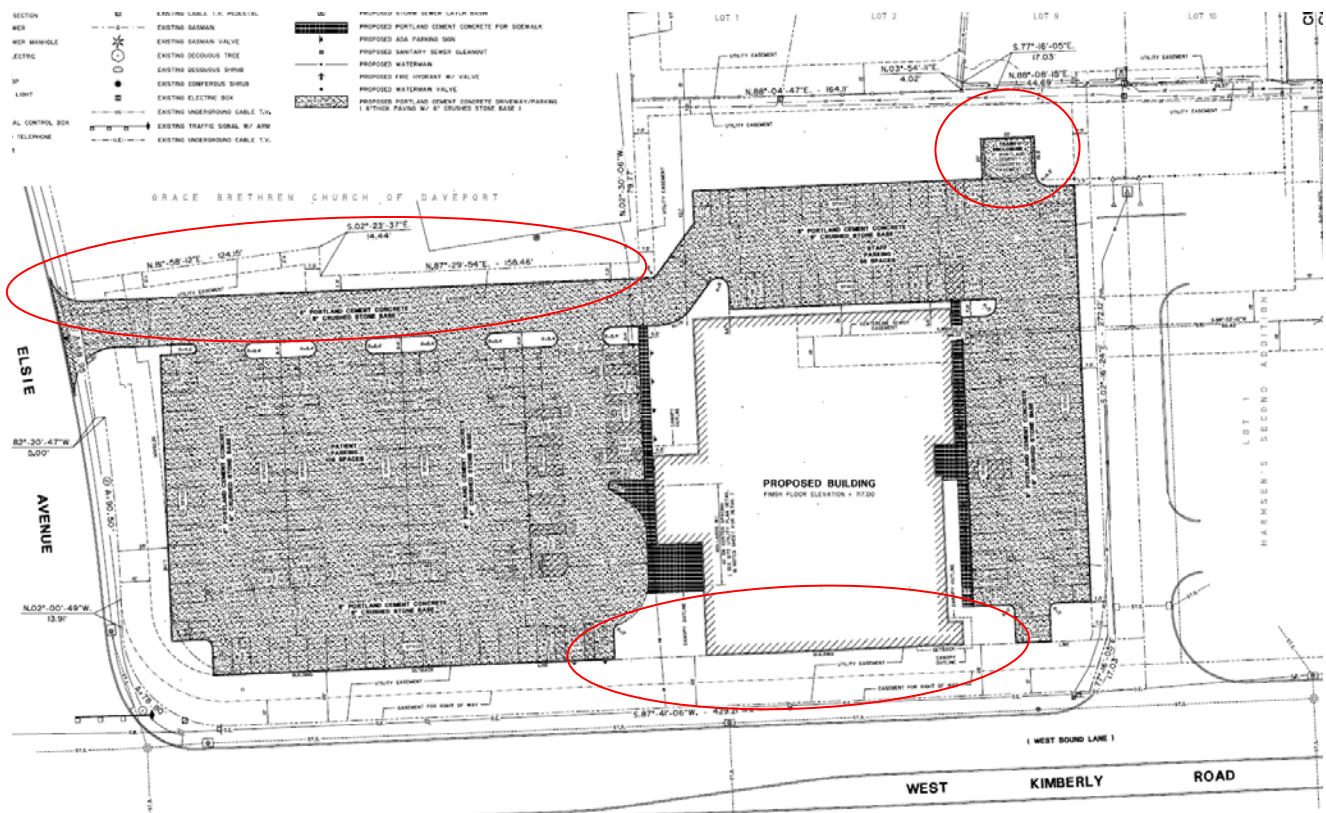
The PDD concept plan approved with the 2014 rezoning is depicted below:



In 2014, staff recognized one setback deficiency and one potential setback deficiency (areas circled in red). As such, two of the 11 Ordinance conditions articulated existing PDD setback requirements:

- That the parking area adjacent to the proposed north property line adjacent to the Grace Brethren Church of Davenport achieve consistency with the required 25 foot setback or a hardship variance be obtained to reduce this setback; and
- That the building achieve consistency with required additional setback for buildings over 25 feet in height or a hardship variance be obtained to reduce this setback.

The proposed PDD Final Development Plan is depicted below:



The submitted final development does not address those setback deficiencies. Correspondence from the petitioner revealed that the proposed building height is two-stories and 39 feet to parapet wall (code measurement is to the flat roof). It also appears that the dumpster and enclosure location encroaches into the required 30 foot wide landscape buffer along the north line adjacent to the residences (condition 10 of Ord2014-423).

The petitioner indicated that a variance application would be submitted for the Zoning Board of Adjustment to reduce the building front yard setback and parking lot rear yard setback.

In that light, staff suggests the Plan and Zoning Commission recommend approval of the Final Development Plan, subject to the building and parking lot setback deficiencies being resolved (either through the granting of a hardship variance by the Zoning Board of Adjustment or building and parking lot be adjusted on the site to accommodate the required setbacks). The 30 foot buffer adjacent to the north line adjacent to the residences is a requirement of ORD2014-23.

Staff Recommendation

Finding:

1. The proposed Final Development Plan would achieve consistency with adopted ORD2014-423 if the building and parking lot setback deficiencies are resolved (either through the granting of a hardship variance by the Zoning Board of Adjustment or the building and parking lot be adjusted on the site to accommodate the required setbacks) and the dumpster and enclosure is relocated to achieve consistency with the required 30 foot buffer adjacent to the north property line adjacent to the residences.

Staff recommends the Plan and Zoning Commission accept the listed condition and forward Case FDP17-02 to the City Council with a recommendation for approval subject to the following conditions:

1. Prior to the City Council's consideration of the proposed Final Development Plan, the building setback and parking deficiencies be resolved (either through the granting of a hardship variance by the Zoning Board of Adjustment or building and parking lot be adjusted on the site to accommodate the required setbacks) and the dumpster and enclosure be relocated to achieve consistency with the required 30 foot buffer adjacent to the north property line adjacent to the residences; and
2. Prior to issuance of Certificate of Occupancy, the portion of the existing sanitary sewer easement within the proposed building foot print shall be vacated. A new sanitary manhole shall be constructed in place of the depicted sewer cleanout shown. The lateral shall be connect to the the sewer with a wye connection and not brought into the manhole.

Prepared by:

A handwritten signature in blue ink, appearing to read 'Ryan Rusnak', is written over a horizontal line.

Ryan Rusnak, AICP
Planner III

OWNER - DEVELOPER
GENESIS HEALTH SYSTEM
 1227 EAST RUSHOLME STREET
 DAVENPORT, IOWA 52806
 ATTN: MIKE SHARP

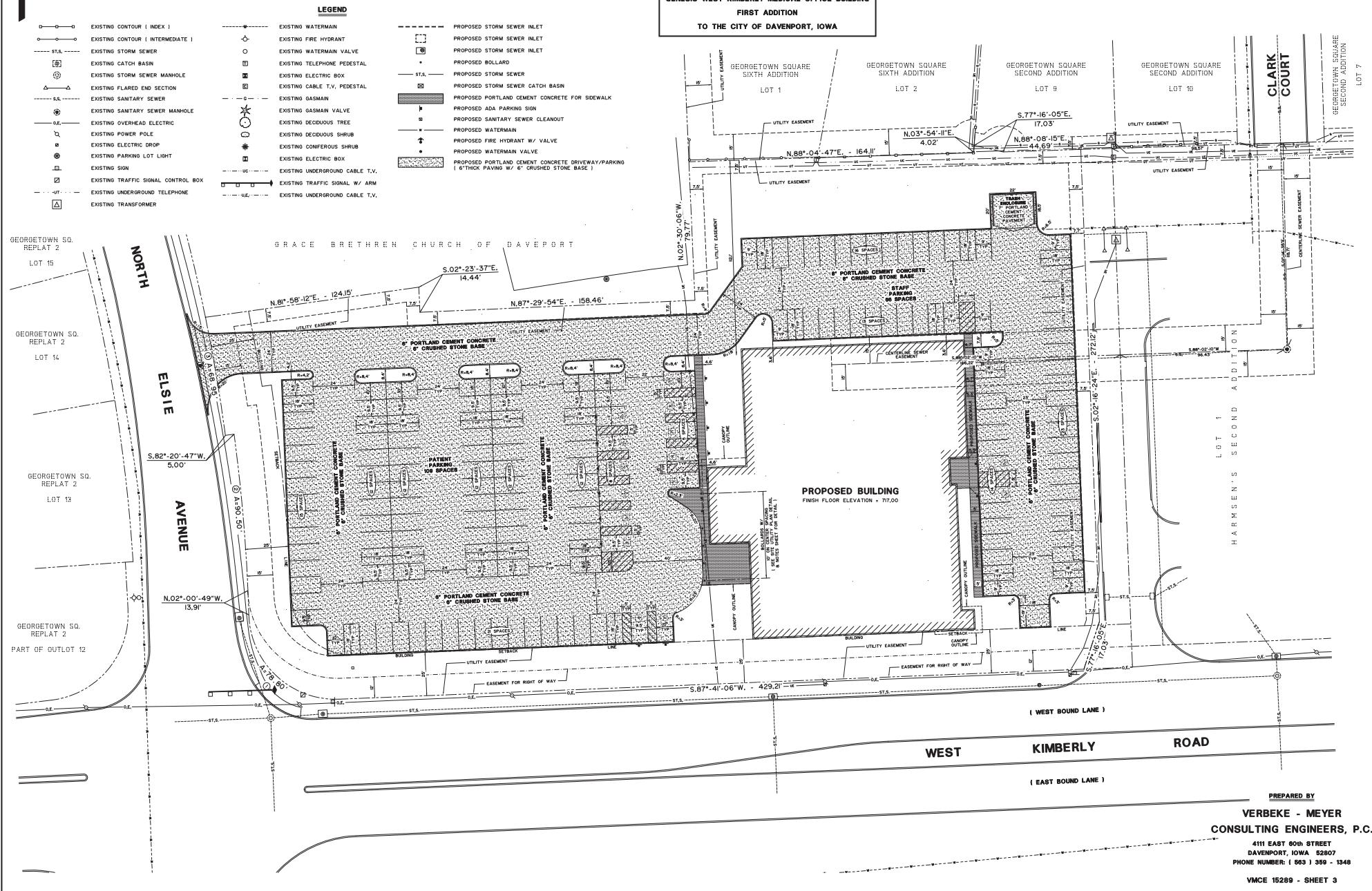
SITE INFORMATION

EXISTING ZONING	-	PD (PLANNED DEVELOPMENT DISTRICT)
LOT 1 AREA	-	97,381 SQUARE FEET, 2.82 ACRES, ±
TOTAL BUILDING AREA	-	21,616 SQUARE FEET
TOTAL HARD SURFACE AREA	-	68,840 SQUARE FEET
TOTAL OPEN SPACE AREA	-	37,280 SQUARE FEET
TOTAL PARKING	-	176 SPACES (INCLUDES 14 ADA SPACE)
TOTAL REQUIRED PARKING	-	176 SPACES

CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
2	50.00'	90°-43'-02"	79.0'	74.4'	S-44°-07'-47"W	50.63'
2	290.04'	09°-14'-08"	93.47'	93.44'	N-05°-00'-00"W	45.97'
3	985.04'	04°-00'-52"	69.02'	69.00'	N-09°-35'-07"W	34.52'

LEGAL DESCRIPTION
 LOT 1 OF
 GENESIS WEST KIMBERLY MEDICAL OFFICE BUILDING
 FIRST ADDITION
 TO THE CITY OF DAVENPORT, IOWA

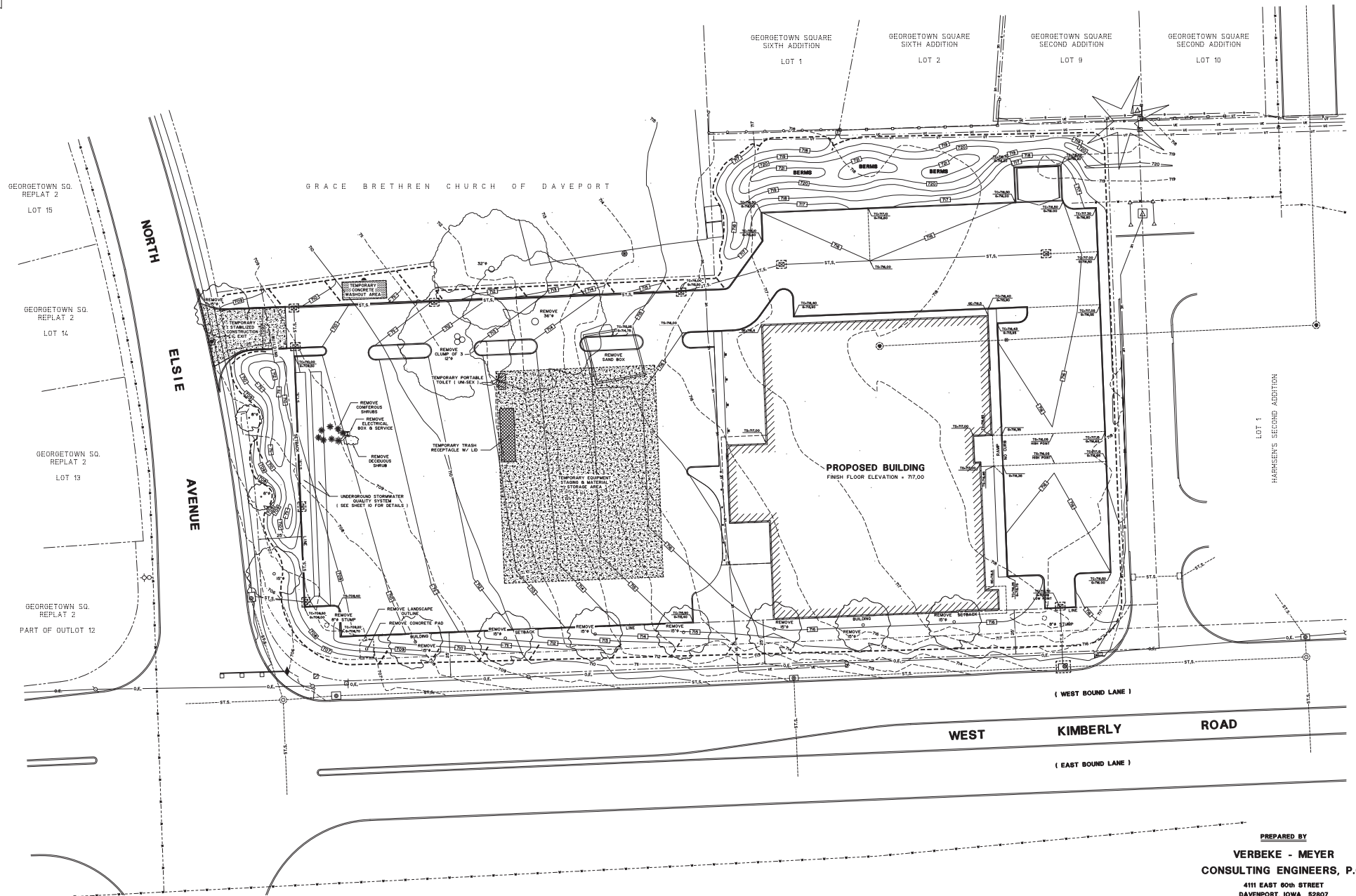
SITE PLAN
GENESIS DAVENPORT HEALTHPLEX
 DAVENPORT, IOWA



PREPARED BY
VERBEKE - MEYER
 CONSULTING ENGINEERS, P.C.
 4111 EAST 80th STREET
 DAVENPORT, IOWA 52807
 PHONE NUMBER: (563) 350 - 1348
 VMCE 15289 - SHEET 3

GRADING & EROSION CONTROL PLAN GENESIS DAVENPORT HEALTHPLEX DAVENPORT, IOWA

20 0 20
[SCALE: 1" = 20']



PREPARED BY
VERBEKE - MEYER
CONSULTING ENGINEERS, P.C.
4111 EAST 80th STREET
DAVENPORT, IOWA 52807
PHONE NUMBER: (563) 359 - 1348
VMCE 15289 - SHEET 5

ORDINANCE NO. 2014-423

An Ordinance for the rezoning of 3.09 acres, more or less of real property from "R-3" Moderate Density Dwelling District and "PDD" Planned Development District to all "PDD" Planned Development District. The property is located at the northeast corner of North Elsie Ave and West Kimberly Road and the purpose of the rezoning is to facilitate the development of the property as medical office (Genesis Health Systems, petitioner). [2nd Ward]

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

Section 1. The following described unit of Scott County, Iowa real estate is hereby rezoned. The property has the following legal description:

Lot 2 of Harmsen's Second Addition to the City of Davenport, Iowa together with the following described parcel:

Lot 9 and part of Lots 10 and 11 in Georgetown Square Replat 2 and part of the Northwest Quarter of Section 16, Township 78 North, Range 3 East of the 5th Principal Meridian, in the City of Davenport, County of Scott, State of Iowa, more particularly described as follows;

Beginning at the at the southwest corner of Lot 2 in Harmsen's Second Addition to the City of Davenport, Iowa; thence South 87 degrees 41 minutes 06 seconds West along the north right of way line of West Kimberly Road, a distance of 214.73 feet to the easterly right of way line of North Elsie Avenue; thence northwesterly 79.15 feet along said easterly right of way line and the arc of a curve to the right having a radius of 50.00 feet, a chord bearing of North 46 degrees 57 minutes 47 seconds West, and a chord distance of 71.14 feet; thence North 02 degrees 00 minutes 49 seconds West along said easterly right of way line, a distance of 13.91 feet; thence northerly 90.50 feet along said easterly right of way line and the arc of a curve to the left, having a radius of 990.04 feet, a chord bearing of North 05 degrees 02 minutes 05 seconds West, and a chord distance of 90.47 feet to the southerly line of said Lot 9; thence South 82 degrees 20 minutes 47 seconds West along said southerly line, a distance of 5.00 feet to the westerly line of said Lot 9; thence northerly 68.98 feet along said westerly line and the arc of a curve to the left, not tangent to the last described course, having a radius of 985.04 feet, a chord bearing of North 09 degrees 39 minutes 35 seconds West, and a chord distance of 68.96 feet to the northerly line of said Lot 9; thence North 81 degrees 58 minutes 12 seconds East along said northerly line, a distance of 124.15 feet to the east line of said Lot 9; thence South 02 degrees 23 minutes 37 seconds East along said east line, a distance of 14.44 feet; thence North 87 degrees 29 minutes 54 seconds East, a distance of 158.46 feet to the west line of said Lot 2 in Harmsen's Second

Addition; thence South 02 degrees 30 minutes 06 seconds East along said west line, a distance of 221.26 feet to the Point of Beginning. the above described parcel contains 59,870 square feet or 1.37 acres, more or less as shown by the attached Plat of Survey.

For the purpose of this description North is based on the Iowa State Plane Coordinate System, South Zone, North American Datum of 1983 (1997 Adjustment).

Said tract contains 3.09 acres, more or less.

The City Plan and Zoning Commission accepts the listed findings and forwarded Case No. REZ14-12 to the City Council with a recommendation for approval subject to the following conditions:

1. That the proposed use of the property be limited to a medical office and ancillary medical uses;
2. That the development of the property be in general accordance with the adopted Land Use Plan;
3. That Development Plan approval be obtained pursuant to Chapter 17.32 of the Davenport Municipal Code prior to the construction of any of the improvements depicted on the approved Land Use Plan;
4. That a final plat for the reconfiguration of the property be approved and recorded prior to the construction of any of the improvements depicted on the approved Land Use Plan;
5. That the development of the property be subject to the Highway Corridor Overlay District pursuant to Chapter 17.41 and 17.45 of the Davenport Municipal Code;
6. That the parking area adjacent to the proposed north property line adjacent to the Grace Brethren Church of Davenport achieve consistency with the required 25 foot setback or a hardship variance be obtained to reduce this setback;
7. That the building achieve consistency with required additional setback for buildings over 25 feet in height or a hardship variance be obtained to reduce this setback
8. That a dedicated pedestrian sidewalk be provided from the West Kimberly Road sidewalk to the entrance of the proposed building;
9. That all building mounted and parking lot lighting be completely shielded so that the emitted light source cannot be seen from the adjacent residential properties to west, north and east;
10. That a three foot high berm be constructed within a 30 foot wide landscape buffer along the north line adjacent to the residences; and
11. That the location, amount and type of landscaping be reviewed in conjunction with the Development Plan to ensure that it adequately mitigates the negative impacts of commercial development with the surrounding residential properties to the north.

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective after its final passage and publication as by law provided.

First Consideration November 25, 2014

Second Consideration December 10, 2014

Approved December 10, 2014



William E. Gluba
William E. Gluba
Mayor

Attest: Jackie E. Holecek
Jackie Holecek, CMC
Deputy City Clerk

Published in the *Quad City Times* on December 23, 2014

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:

Case No. FDP17-03 Request of Build to Suit Inc. on behalf of Family Care Solutions for a PDD final development plan for offices on 1.2 acres, more or less, being Lot 9 of Utica Corners 6th Subdivision located east of Utica Ridge Road and north of Crow Creek Road.

Recommendation:

Finding:

The proposed Final Development Plan meets consistency with adopted ORD99-494.

Staff recommends the Plan and Zoning Commission forward Case FDP17-03 to the City Council with a recommendation for approval.

Relationship to Goals:

Relevant Goals to be considered in this Case: Strengthen the Existing Built Environment.

The proposed use would comply with the Davenport 2035 proposed land use section.

Background:

The proposal is to construct an office/mixed use/condo building. There would be four (4) condo units, a chiropractic office, hair salon and other office space in the building.

Comprehensive Plan: Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Future Land Use Designation:

Regional Commercial (RC) – Are the most intense commercial areas that have service boundaries that extend beyond the City limits of Davenport. Areas designated RC should be located at the intersections of major streets and have good access to interstate and other highways. Typical uses include big box retail and large office complexes; although some residential, service and institutional uses may also be located within RC. Most people will drive or take transit to areas designated RC. However, good pedestrian systems should serve these areas and focus on connectivity from the street, through parking lots and between individual uses. Connectivity to nearby neighborhoods is desirable but less important.

Zoning: The property is currently zoned “PDD” Planned Development District (Ordinance 99-494). With respect to this property the following conditions apply:

That uses allowed shall be limited to office and similar uses and residential development including condominiums, independent living, assisted living, patio homes, townhouses and apartments;

Residential and office structures shall be limited to a maximum of two stories.

The proposed development meets these conditions.

Technical Review: Streets. No new streets shall be required or impacted.

Storm Water. Storm water detention and water quality treatment are already provided with this site.

Sanitary Sewer. Sanitary sewer service is located within the subject property.

Other Utilities. Other utilities are located within this area.

Emergency Services. Fire Station #8 is located approximately 1 mile from the proposed development.

Parks/Open Space. This request does not impact any existing/planned parks or public open spaces.

ATTACHMENTS:

Type	Description
▣ Exhibit	Staff Report
▣ Backup Material	Plan Set
▣ Backup Material	Application

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:46 PM



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: May 16, 2017
Request: Final Development Plan for office/medical/condo space
Address: 4893 Utica Ridge Rd (Lot 9, Utica Corners 6th)
Case No.: FDP17-03
Applicant: Build-to-Suit, INC

Recommendation:

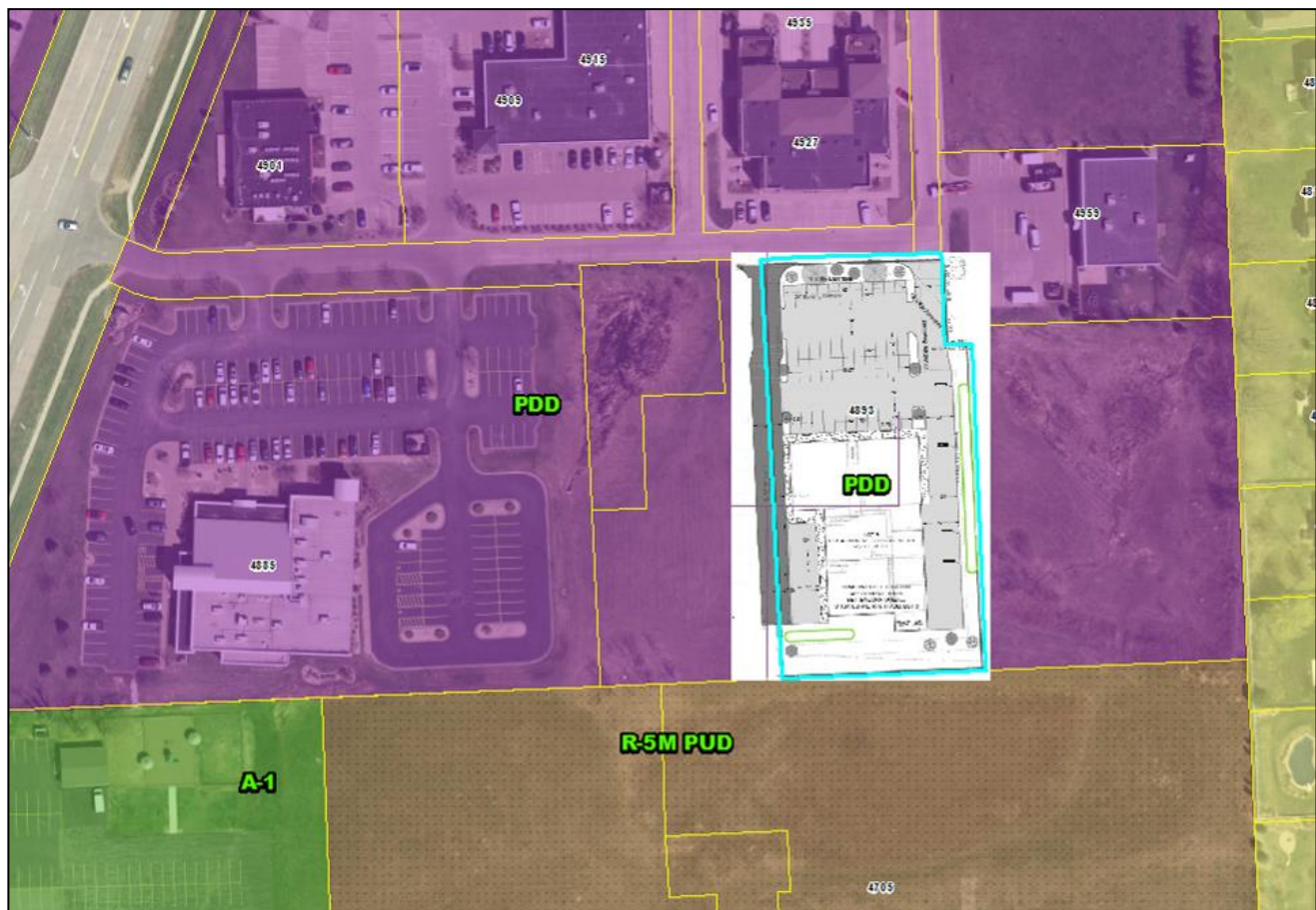
Staff recommends the Plan and Zoning Commission forward Case FDP17-03 to the City Council with a recommendation for approval.

Introduction:

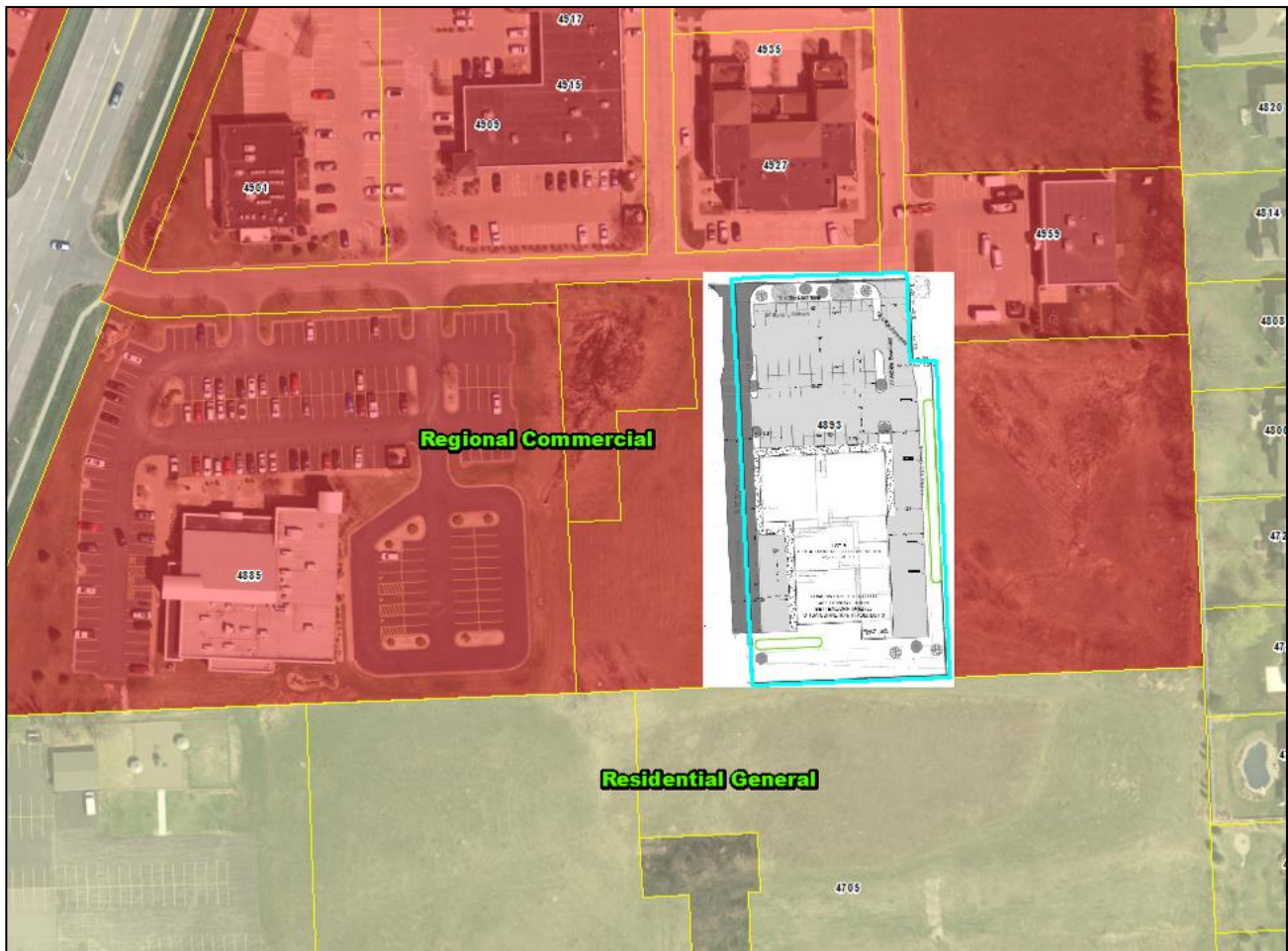
Request of Build to Suit Inc on behalf of Family Care Solutions for a PDD final development plan for offices on 1.2 acres, more or less, being Lot 9 of Utica Corners 6th Subdivision located east of Utica Ridge Road and north of Crow Creek Road.

AREA CHARACTERISTICS:

Zoning Map



Land Use Map



Background:

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Future Land Use Designation: Regional Commercial (RC) – Are the most intense commercial areas that have service boundaries that extend beyond the City limits of Davenport. Areas designated RC should be located at the intersections of major streets and have good access to interstate and other highways. Typical uses include big box retail and large office complexes; although some residential, service and institutional uses may also be located within RC. Most people will drive or take transit to areas designated RC. However, good pedestrian systems should serve these areas and focus on connectivity from the street, through parking lots and between individual uses. Connectivity to nearby neighborhoods is desirable but less important.

Relevant Goals to be considered in this Case: Strengthen the Existing Built Environment.

The proposed use would comply with the Davenport 2035 proposed land use section.

LONDON PROPERTIES

TWO STORY MIXED-USE DEVELOPMENT

LOT 9 - UTICA CORNERS 6TH SUBDIVISION
COVENTRY SOUTH
DAVENPORT, IA 52807

ISSUED FOR PERMIT
04-25-2017





Zoning:

The property is currently zoned "PDD" Planned Development District (Ordinance 99-494). With respect to this property the following conditions apply:

That uses allowed shall be limited to office and similar uses and residential development including condominiums, independent living, assisted living, patio homes, townhouses and apartments;

Residential and office structures shall be limited to a maximum of two stories.

The proposed development meets these conditions.

Technical Review:

Streets. No new streets shall be required or impacted.

Storm Water. Storm water detention and water quality treatment are already provided with this site.

Sanitary Sewer. Sanitary sewer service is located within the subject property.

Other Utilities. Other utilities are located within this area.

Emergency Services. Fire Station #8 is located approximately 1 mile from the proposed development.

Parks/Open Space. This request does not impact any existing/planned parks or public open spaces.

Public Input:

No public hearing is required for a Final Development Plan.

Discussion:

The proposal is to construct an office/mixed use/condo building. There would be four (4) condo units, a chiropractic office, hair salon and other office space in the building.

Staff Recommendation

Finding:

The proposed Final Development Plan meets consistency with adopted ORD99-494.

Staff recommends the Plan and Zoning Commission forward Case FDP17-03 to the City Council with a recommendation for approval .

Prepared by:



Ryan Rusnak, AICP
Planner II

GEIFMAN FOOD STORES INC
5025 UTICA RIDGE RD STE 105
DAVENPORT, IA 52807
4909 UTICA RIDGE RD
UTICA CORNERS 6TH ADD. LOT 2

CarriageHouse @CoventryCondos

Modify Existing Double Intake
Remove Curb opening & replace
With City of Dav. approved plate

HOMESTEAD AUTISM SERVICES
1625 ADVENTURELAND DR STE B
ALTOONA, IA 50009
4959 UTICA RIDGE RD
UTICA CORNERS 7TH ADD. LOT 4

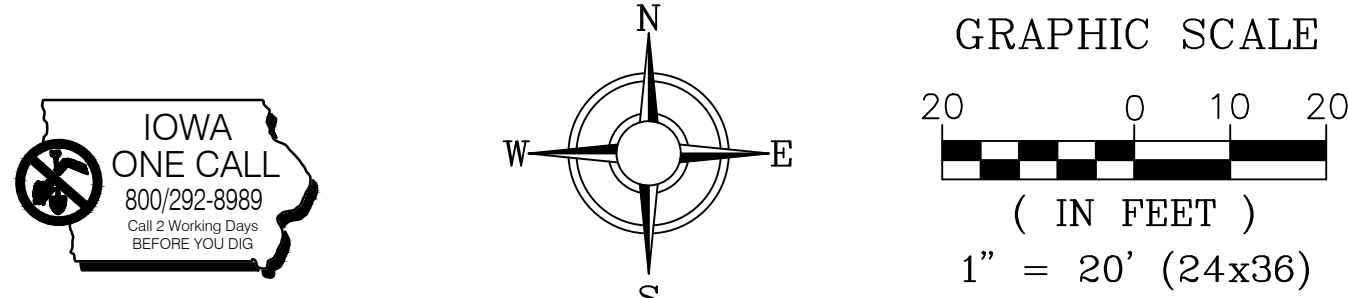
PDD Zoning Requirements

Front Yard: 25 Ft. Minimum
Building & Parking Lots
Side Yard: 10 Ft. Minimum
Building & Parking Lots
Rear Yard: 25 Ft. Minimum
Building & Parking Lots

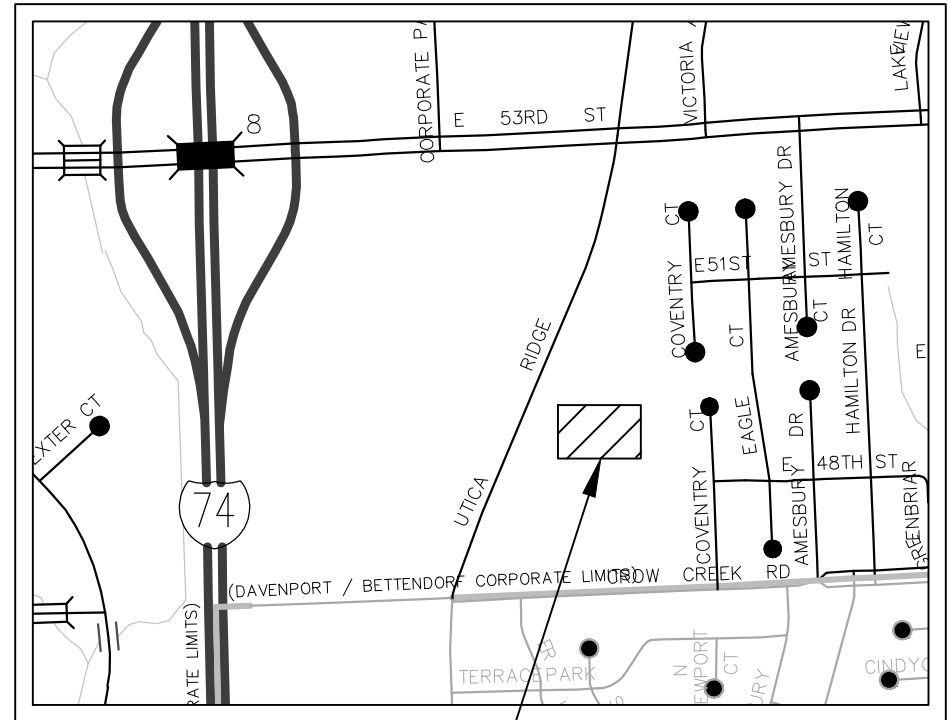
SITE PLAN

Family Care Solutions

Lot 9 - Utica Corners 6th Subdivision
Coventry South, Davenport, Iowa



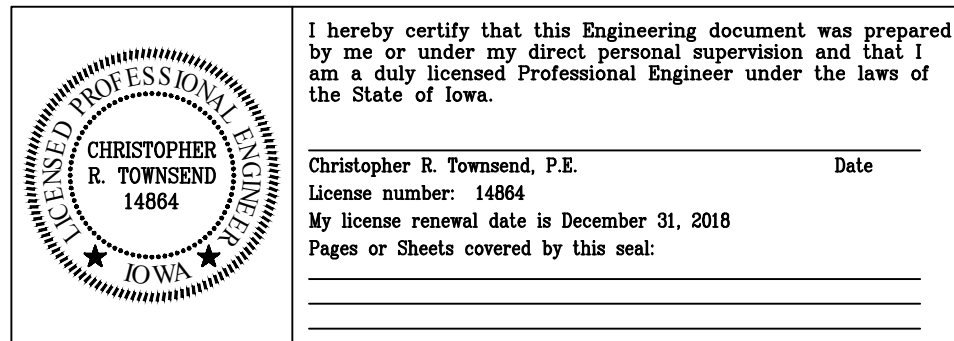
SITE LOCATION MAP



APPROXIMATE SITE LOCATION

GENERAL NOTES

- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF DAVENPORT STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
- LEGAL DESCRIPTION OF PROPERTY:
Parcel Number: N0855-09D
Alternate ID: N48054K
Legal Description: UTICA CORNERS 6TH ADD Lot: 009 UTICA CORNERS 6TH ADDLOT 9
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF DAVENPORT AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
- ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF DAVENPORT STANDARDS AND SPECIFICATIONS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
- NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.



EXISTING DETENTION
OUTLOT D
UTICA CORNERS 6TH SUBDIVISION
54,484 SQ. FT.

	Deciduous Overstory Tree. A shade-producing woody plant having a mature height and spread of at least 30 feet with one well-defined trunk and no branches at or near the base.
	Deciduous Understory Tree. A woody plant at least 10 feet tall at maturity with one or more well-defined trunks.
	Evergreen/Conifer Tree. An upright cone-bearing plant having green needle-like foliage throughout the year and at least 20 feet tall at maturity.

LANDSCAPING NOTES
PDD Landscaping requirements:
HCOO - Highway Corridor Overlay District
Along North Property Line = 6 Trees
Along South Property Line = 4 Trees
Vehicular Use Area (Islands) = 4 Trees

LEGEND:

	EASEMENT		EXISTING GAS VALVE		EXISTING CONTOUR LINE
	SETBACK LINE		EXISTING WATER VALVE		PROPOSED CONTOUR LINE
	CENTERLINE		EXISTING UTILITY POLE		SPOT ELEVATION TOP OF CURB
	PROPERTY BOUNDARY		EXISTING TREE		SPOT ELEVATION FL @ GUTTER
	EXISTING FENCE		EXISTING BUSH		SPOT ELEVATION SIDEWALK
	EXISTING SANITARY		EXISTING MANHOLE		FINISHED FLOOR ELEVATION
	PROPOSED SANITARY		EXISTING FIRE HYDRANT		
	EXISTING STORM SEWER		FOUND PROPERTY PIN		
	PROPOSED STORM SEWER		CONTROL POINT		
	EXISTING WATER				
	PROPOSED WATER				
	GAS				
	EXISTING GAS LINE				
	EXISTING ELECTRIC				

TY FAMILY YOUNG MENS
ISTIAN ASSOC
06 W 2ND ST
NPORT, IA 52801
UTICA RIDGE RD
ORNERS 2ND SUBD

LOT 10
UTICA CORNERS 6TH SUBDIVISION
35,849 SQ. FT.

LOT 9
UTICA CORNERS 6TH SUBDIVISION
52,276 SQ. FT.

LONDON PROPERTIES LLC
3411 DEVILS GLEN RD
BETTENDORF, IA 52722
UTICA CORNERS 6TH ADD. LOT 9

REAL ESTATE EQUITIES HOMES-CROW CREEK ROAD LLC
1400 CORPORATE CENTER CURVE STE 100
EAGAN, MN 55121
VILLAGE COOPERATIVE FIRST ADDITION Lot: 3

TOWNSEND
ENGINEERING
CIVIL • STRUCTURAL • LAND DEVELOPMENT

DATE: 3-20-2017

563 386.4236 office 386.4231 fax
2224 East 12th Street, Davenport, IA 52803

DRAWN BY:
CV

CHECKED BY:
CT

DRAWING LOCATION

S:\Dasso-Andrew\Family Care Solutions-Coventry Place

NO.	REVISIONS: DESCRIPTION	DATE

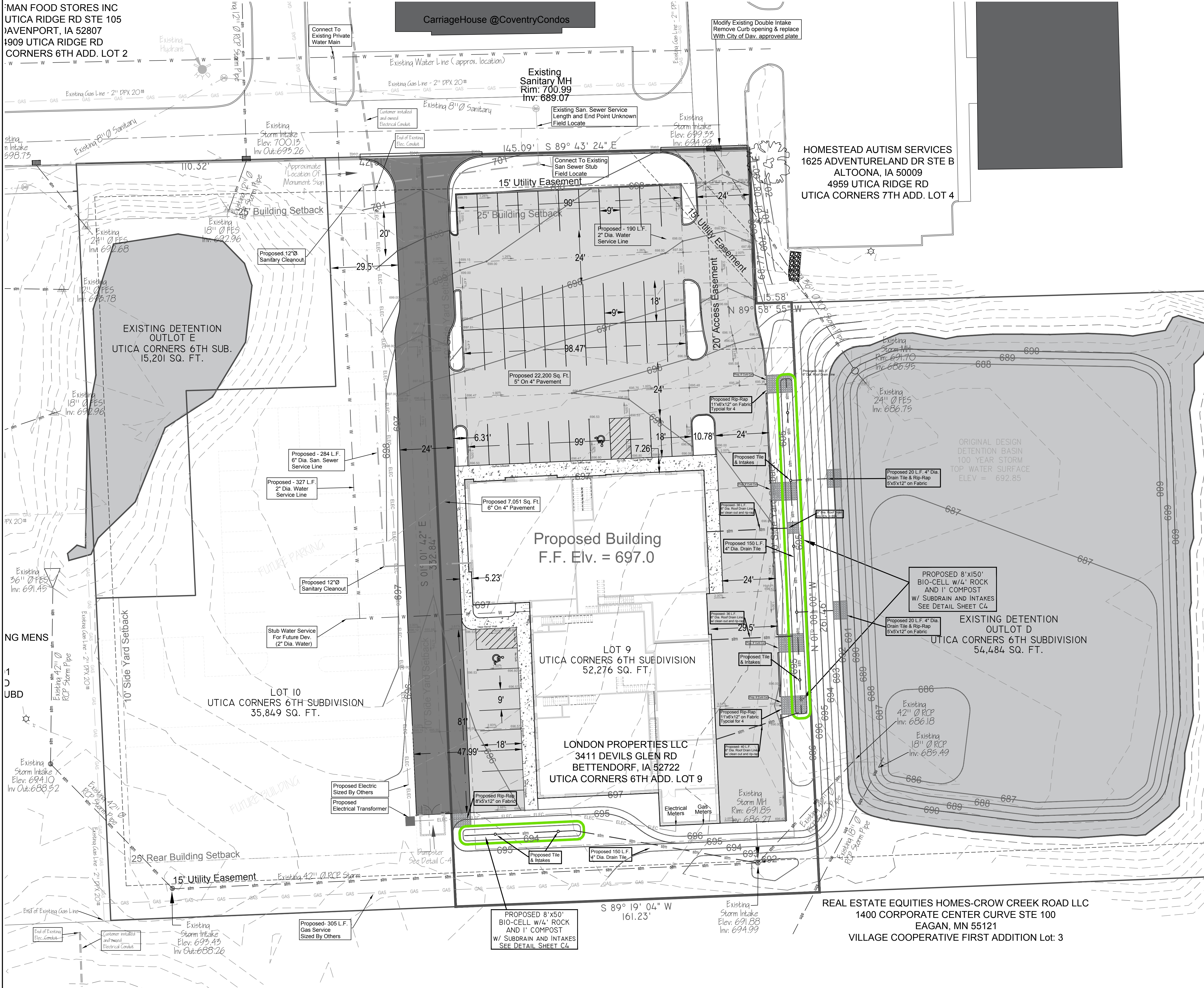
Family Care Solutions
Lot 9 - Utica Corners 6th Subdivision
Coventry South, Davenport, Iowa

Build To Suit Inc.
1805 State Street
Suite 101
Bettendorf, Iowa 52722
(563) 355-2022

SHEET NO.

C1

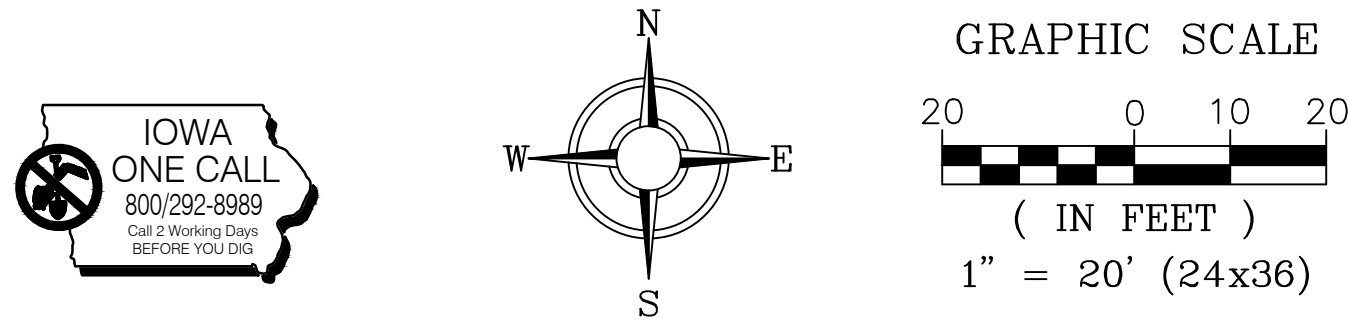
MAN FOOD STORES INC
UTICA RIDGE RD STE 105
DAVENPORT, IA 52807
1909 UTICA RIDGE RD
CORNERS 6TH ADD. LOT 2



UTILITY & GRADING PLAN

Family Care Solutions

Lot 9 - Utica Corners 6th Subdivision
Coventry South, Davenport, Iowa



GENERAL UTILITY NOTES

- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF DAVENPORT STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
- ALL PROPOSED WATER MAINS AND SERVICE LINES SHALL BE INSTALLED AT A 5.5 FOOT BURY DEPTH, WRAPPED IN TRACER WIRE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- ALL PROPOSED VALVE BOXES AND SERVICE CURB STOP BOXES SHALL BE INSTALLED FLUSH WITH THE
- CONNECTIONS TO EXISTING WATER UTILITIES SYSTEM SHALL BE MADE WITH CLASS 52, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND RESTRAINING FITTINGS. CAST COUPLINGS UTILIZED TO CONNECT TO EXISTING MAINS SHALL BE SERIES 433 OR 431 CAST COUPLINGS, OR 175 PSI PRESSURE CLASS BY ROCKWELL: OR APPROVED EQUAL.
- CONNECTIONS BETWEEN TEE OR CROSSES AND VALVES SHALL BE MADE WITH DUCTILE IRON HOLDING SPOOLS OR DUCTILE IRON PIPE USING TWO 3/4 INCH DIAMETER TIE RODS (ASPHALT COATED).
- EXISTING DRAINAGE TILES AND SANITARY SEWER SERVICE LINES ARE NOT SHOWN. CONTRACTOR SHALL REPLACE BROKEN OR DISTURBED SERVICES AT NO ADDITIONAL CHARGE TO OWNER.
- THE EXACT LOCATION OF ALL VALVES AND HYDRANTS MUST BE VERIFIED BY THE CITY ENGINEER PRIOR TO THE INSTALLATION.
- COMPACTED BACKFILL IS REQUIRED IN ALL AREAS UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS SHALL BE GRADED BACK TO EXISTING OR BETTER CONDITION.
- SERVICE VALVES SHALL BE PLACED BETWEEN CURB AND SIDEWALK WHERE POSSIBLE.

GENERAL GRADING NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.

UTILITY CONTACTS

MidAmerican Energy-Gas 2811 5th Avenue Rock Island, IL 61201 (309) 793-3707	Iowa American Water Company 5201 Grand Avenue Davenport, IA 52807 (563) 468-9222
Century Link 3908 Utica Ridge Road Bettendorf, IA 52722 (563) 355-6402	MediaCom-Cable 3900 26th Avenue Moline, IL 61265 (309) 743-4750

LEGEND:

--- EASEMENT	⊗ EXISTING GAS VALVE	--- EXISTING CONTOUR LINE
- - - SETBACK LINE	⊙ EXISTING WATER VALVE	- - - PROPOSED CONTOUR LINE
--- CENTERLINE	⊕ EXISTING UTILITY POLE	
--- PROPERTY BOUNDARY	⊗ EXISTING LIGHT POLE	
--- EXISTING FENCE	⊗ EXISTING TREE	
--- EXISTING SANITARY	⊗ EXISTING BUSH	
--- PROPOSED SANITARY	⊗ EXISTING MANHOLE	
--- EXISTING STORM SEWER	⊗ EXISTING FIRE HYDRANT	
--- PROPOSED STORM SEWER	⊗ FOUND PROPERTY PIN	
--- EXISTING WATER	⊗ CONTROL POINT	
--- PROPOSED WATER		
--- GAS		
--- EXISTING GAS LINE		
--- EXISTING ELECTRIC		

TOWNSEND
ENGINEERING
CIVIL • STRUCTURAL • LAND DEVELOPMENT

DATE: 3-20-2017
563 386.4236 office 386.4231 fax
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: CV
CHECKED BY: CT
DRAWING LOCATION
S:\Dasso-Andrew\Family Care Solutions-Coventry Place

NO.	REVISIONS: DESCRIPTION	DATE

Family Care Solutions
Lot 9 - Utica Corners 6th Subdivision
Coventry South, Davenport, Iowa

Build To Suit Inc.
1805 State Street
Suite 101
Bettendorf, Iowa 52722
(563) 355-2022

SHEET NO.
C2

JEIFMAN FOOD STORES INC
125 UTICA RIDGE RD STE 105
DAVENPORT, IA 52807
4909 UTICA RIDGE RD
CA CORNERS 6TH ADD. LOT 2

CarriageHouse @CoventryCondos

Modify Existing Double Intake
Remove Curb opening & replace
With City of Dav. approved plate

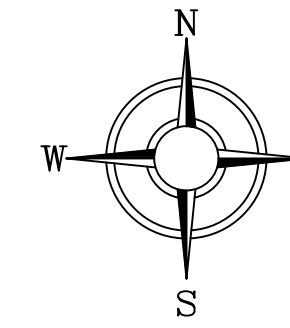
PROTECT STORM
INTAKE w/SILT SOCK

HOMESTEAD AUTISM SERVICES
1625 ADVENTURELAND DR STE B
ALTOONA, IA 50009
4959 UTICA RIDGE RD
UTICA CORNERS 7TH ADD. LOT 4

EROSION CONTROL & STORMWATER MANAGEMENT PLAN

Family Care Solutions

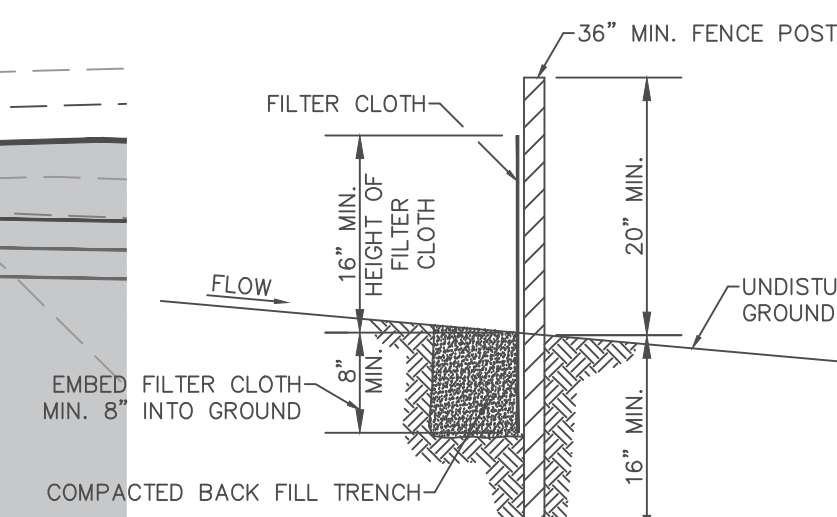
Lot 9 - Utica Corners 6th Subdivision
Coventry South, Davenport, Iowa



GRAPHIC SCALE
20 0 10 20
(IN FEET)
1" = 20' (24x36)

EROSION CONTROL NOTES:

- THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR THE CITY OF DAVENPORT AND THE IOWA DEPARTMENT NATURAL RESOURCES, LATEST EDITIONS.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
- THE EROSION AND SEDIMENTATION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS.
- PRESERVE EXISTING VEGETATION WHEN POSSIBLE BY DISTURBING THE SMALLEST POSSIBLE AREA DURING CONSTRUCTION.
- ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY FABRIC OR GRAVEL FILTERS OR OTHERWISE MAINTAINED TO REMOVE SEDIMENT.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNERS WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- STOCK PILES SHALL BE LOCATED AWAY FROM ANY ROADS, OPEN DITCHES, STORM SEWER OR WATERWAYS. STOCK PILES SHALL BE PROTECTED WITH TEMPORARY SEEDING WITHIN 14 DAYS IF NOT SCHEDULED TO BE USED WITHIN 21 DAYS. SILT FENCES SHALL BE INSTALLED AS NEEDED IMMEDIATELY AFTER SOIL IS STOCK PILED.
- TOTAL AREA DISTURBED DURING GRADING OPERATIONS = ±2.19 ACRES. AN NPDES PERMIT No. 2 WILL BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- TEMPORARY SEEDING OF ALL DISTURBED AREAS SHALL BE DONE WITHIN 7 DAYS AFTER THE COMPLETION OF SITE GRADING OPERATIONS. IF CONSTRUCTION ACTIVITIES ARE NOT PLANNED OR SUSPENDED FOR AT LEAST 21 DAYS, THE AREA SHALL BE STABILIZED BY TEMPORARY SEEDING AND MULCHING WITHIN 14 DAYS. FAST GERMINATING GRASSES SHALL BE USED FOR TEMPORARY SEEDING (SEE TABLE "A").



SILT FENCE NOTES:

- FENCE POST TO BE STEEL "T" OR "U" TYPE OR 2" HARDWOOD. FENCE POSTS ARE TO BE DRIVEN INTO GROUND 16" MIN. AT 10' MAXIMUM SPACING.
- FILTER CLOTH TO BE FILTER X, MIRAFI 100X, STABILINKA T140N. CLOTH TO BE FASTENED SECURELY TO FENCE POSTS. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

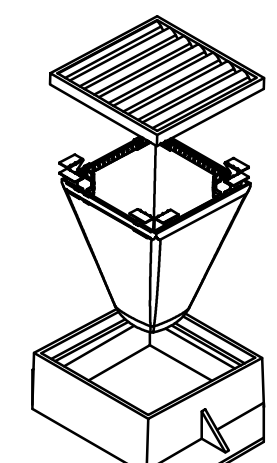
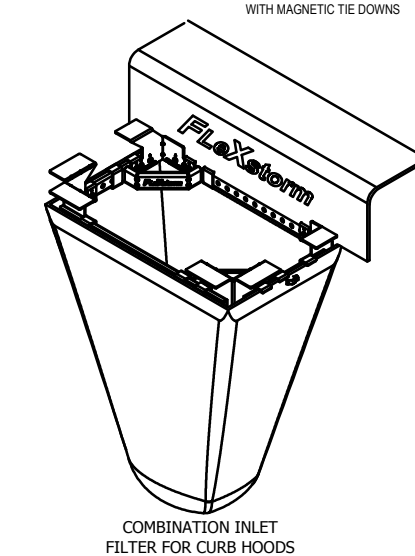
SILT FENCE DETAIL NOT TO SCALE

TABLE "A" - TEMPORARY SEEDING SPECIES, RATES AND DATES

SPECIES	POUNDS PER ACRE	POUNDS PER 1000 S.F.	SEEDING DATES
OATS	90	90	EARLY SPRING - JULY 1
CEREAL RYE	90	90	EARLY SPRING - SEPT. 30
WHEAT	90	90	EARLY SPRING - SEPT. 30
PERENNIAL RYE GRASS	25	25	EARLY SPRING - SEPT. 30

- PERMANENT SEEDING MIXTURE:
ALTA FESCUE 50 LBS/ACRE
PERENNIAL RYE GRASS 30 LBS/ACRE
CREEPING RED FESCUE 20 LBS/ACRE
OATS, SPRING 48 LBS/ACRE

- WHEN SEEDINGS ARE MADE ON CRITICAL OR ADVERSE SOIL CONDITIONS, MULCH MATERIAL WILL BE APPLIED IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOILS ON VERY FLAT AREAS MAY NOT NEED TO BE MULCHED.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CLEANED OR REPLACED WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
- SEDIMENT CLEANUP SHALL BE PERFORMED AT THE END OF EACH CONSTRUCTION DAY TO REMOVE SEDIMENTS FROM EXISTING PAVEMENT. STABILIZATION STONE CONSTRUCTION ENTRANCES MAY BE REQUIRED TO PREVENT OFFSITE TRACKING OF SEDIMENTS AND DUST DURING CONSTRUCTION. THICKNESS SHALL BE 6 INCHES OR GREATER, WIDTH SHALL BE A MINIMUM OF 14 FEET, AND LENGTH SHALL BE A MINIMUM OF 50 FEET. DUST CONTROL MEASURES SUCH AS IRRIGATION MAY ALSO BE REQUIRED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAIN EVENT OF 1/2" OR MORE, TO LOCATE DAMAGE AND CONDUCT MAINTENANCE OPERATIONS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR RESPONSIBLE FOR WATER POLLUTION CONTROL SHALL DESIGNATE, PRIOR TO BEGINNING CONSTRUCTION, A PERSON OR PERSONS WHO CAN BE CONTACTED IN AN EMERGENCY INVOLVING THEIR WATER POLLUTION CONTROL ITEMS. THESE DESIGNATED PEOPLE SHALL BE AVAILABLE TO REPAIR AND MAINTAIN WATER POLLUTION CONTROL DEVICES ON A 24-HOUR PER DAY BASIS.
- NO DOWNSTREAM IMPACTS WILL BE CAUSED BY THIS PROJECT.
- THE PROPOSED ADDITION WILL BE ALLOWED TO BE EXEMPT FROM THE INFILTRATION REQUIREMENTS OF THE CITY OF DAVENPORT AS LONG AS THE EXISTING STRUCTURES STORMWATER IS CAPTURED.



INLET PROTECTION NOT TO SCALE

CONCRETE WASHOUT DETAIL:

- FENCE POSTS ARE TO BE DRIVEN INTO GROUND 16" MIN. AT 5' MAXIMUM SPACING AROUND PIT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND AN ADDITIONAL WASHOUT AREA OF THE SAME SIZE WILL BE CONSTRUCTED IF NECESSARY.



DATE: 3-20-2017
563 386.4236 office 386.4231 fax
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: CV
CHECKED BY: CT
DRAWING LOCATION
S:\Dasso-Andrew\Family Care Solutions-Coventry Place

NO.	REVISIONS: DESCRIPTION	DATE

Family Care Solutions
Lot 9 - Utica Corners 6th Subdivision
Coventry South, Davenport, Iowa

Build To Suit Inc.
1805 State Street
Suite 101
Bettendorf, Iowa 52722
(563) 355-2022
SHEET NO. C3

Family Care Solutions

Lot 9 - Utica Corners 6th Subdivision
Coventry South, Davenport, Iowa



NOTE:
SIGNS SHALL MEET ALL OF THE REQUIREMENTS
OF THE IOWA ADMINISTRATIVE CODE, LATEST
ISSUE FOR HANDICAPPED PARKING SIGNS
A.D.A. PARKING SIGN INSTALLATION
NOT TO SCALE

PDD SETBACK REQUIREMENTS

17.32.030 HEIGHT AND YARD REGULATIONS.

THE HEIGHT AND YARD REQUIREMENTS WITHIN THE "PDD" PLANNED DEVELOPMENT DISTRICT SHALL BE REQUIRED AS FOLLOWS OR AS REQUIRED IN CHAPTER 17.42:

A. MINIMUM YARD SET BACK REGULATIONS:

1. FRONT YARD: A MINIMUM SETBACK OF TWENTY-FIVE FEET IS REQUIRED FOR BUILDING(S) AND PARKING LOTS. ONE FOOT ADDITIONAL BUILDING SETBACK SHALL BE REQUIRED FOR EACH FOOT OF BUILDING HEIGHT OVER TWENTY-FIVE FEET TO A MAXIMUM TOTAL SETBACK OF SEVENTY-FIVE FEET. PARKING LOT CIRCULATION MAY CROSS THE SETBACK AREA BUT PARKING CIRCULATION MAY NOT BE DEVELOPED WITHIN THE REQUIRED SETBACK. THE PARKING LOT SETBACK MAY BE REDUCED TO A MINIMUM OF FIFTEEN FEET PROVIDED THAT TWO SQUARE FEET OF OPEN SPACE BE PROVIDED FOR EACH ONE SQUARE FOOT OF SETBACK AREA REDUCTION DUE TO THE ENCROACHMENT. THE OPEN SPACE SHALL BE PROVIDED IN AREAS WITH A MINIMUM DIMENSION OF SIX FEET IN ANY DIRECTION. THE OTHER DIMENSION OF THE OPEN SPACE MUST BE AT A MINIMUM TWICE THE DEPTH OF THE INTRUSION, OR SIX FEET, WHICHEVER IS GREATER. OPEN SPACE SHALL BE PLANTED WITH TREES, SHRUBS, OR GRASS. COURTYARDS AND WALKWAYS MAY BE INCLUDED, PROVIDED THEY DO NOT EXCEED TWENTY PERCENT OF THE TOTAL OPEN SPACE AREA.

2. SIDE YARD: ADJACENT TO COMMERCIAL ZONES, BUILDING(S) AND PARKING LOTS SHALL OBSERVE A MINIMUM SETBACK OF TEN FEET. BUILDING(S) SHALL BE SET BACK AN ADDITIONAL ONE FOOT FOR EACH FOOT OF BUILDING HEIGHT OVER TWENTY-FIVE FEET TO A MAXIMUM SETBACK OF ONE HUNDRED FEET.

ADJACENT TO RESIDENTIAL STRUCTURES OR ZONES, BUILDING(S) AND PARKING LOTS SHALL OBSERVE A MINIMUM SETBACK OF TWENTY-FIVE FEET. BUILDING(S) SHALL BE SETBACK AN ADDITIONAL ONE FOOT FOR EACH FOOT OF BUILDING HEIGHT TO A MAXIMUM SETBACK OF ONE HUNDRED FEET.

YARD REQUIREMENTS MAY BE INCREASED FOR BUILDINGS IN EXCESS OF ONE HUNDRED FEET IN HEIGHT, IF AN ANALYSIS OF THE SHADOWS CAST INDICATE THAT ABUTTING PROPERTIES WOULD BE DEPRIVED OF SIGNIFICANT SOLAR ACCESS.

3. REAR YARD: ADJACENT TO RESIDENTIAL STRUCTURES OR ZONES, BUILDING(S) AND PARKING LOTS SHALL OBSERVE A MINIMUM SETBACK OF TWENTY-FIVE FEET. BUILDING(S) SHALL BE SETBACK AN ADDITIONAL ONE FOOT FOR EACH FOOT OF BUILDING HEIGHT TO A MAXIMUM SETBACK OF ONE HUNDRED FEET.

YARD REQUIREMENTS MAY BE INCREASED FOR BUILDINGS IN EXCESS OF ONE HUNDRED FEET IN HEIGHT IF AN ANALYSIS OF THE SHADOWS CAST INDICATE THAT ABUTTING PROPERTIES WOULD BE DEPRIVED OF SIGNIFICANT SOLAR ACCESS.

B. MAXIMUM HEIGHT REQUIREMENTS: BUILDINGS MAY BE CONSTRUCTED TO ANY HEIGHT SUBJECT TO ALL APPLICABLE CODES, INCLUDING, BUT NOT LIMITED TO; AIRPORT ZONING RESTRICTIONS, FIRE PROTECTION, SOLAR ACCESS AND THE BUILDING CODE. (ORD. 94-180 § 1 (PART)).

17.32.040 OFF-STREET PARKING AND LOADING.

OFF-STREET PARKING SHALL BE PROVIDED ON THE BASIS OF 5.0 PARKING SPACES FOR EACH ONE THOUSAND SQUARE FEET OF GROSS RETAIL FLOOR AREA. ADDITIONAL OFF-STREET PARKING SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 17.44 FOR USES OTHER THAN RETAIL SALES. ADEQUATE PROVISION FOR OFF-STREET LOADING AND UNLOADING OF TRUCKS AND OTHER VEHICLES SHALL BE SHOWN ON THE PLAN, AS REQUIRED IN SECTION 17.44.050. (ORD. 94-180 § 1 (PART)).

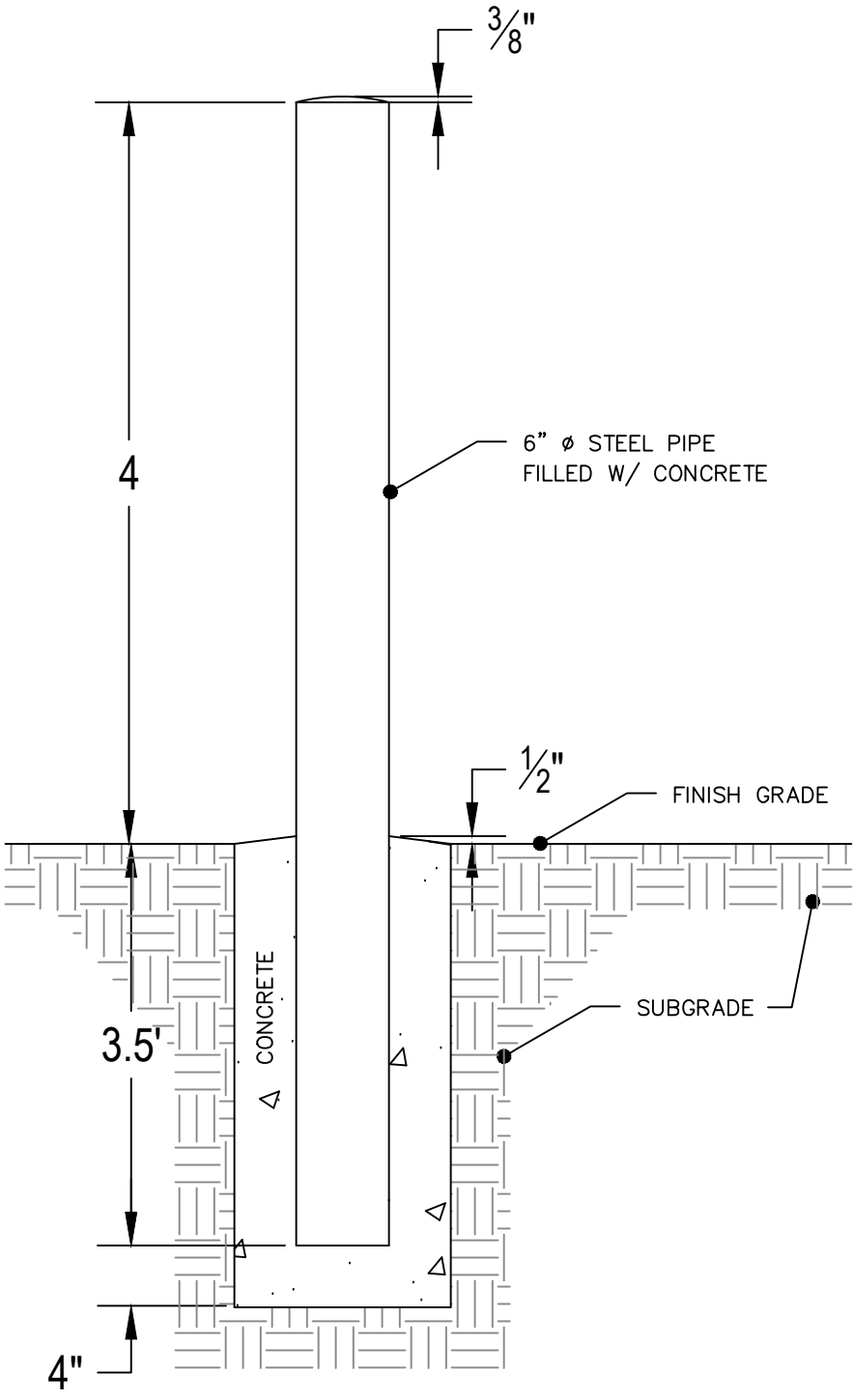
17.44.010 PARKING SPACES -- DESIGNATED.

IN ALL DISTRICTS THERE SHALL BE PROVIDED AT THE TIME ANY BUILDING IS ERRECTED OR STRUCTURALLY ALTERED (EXCEPT AS OTHERWISE PROVIDED IN THIS TITLE) OFF-STREET PARKING SPACES IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

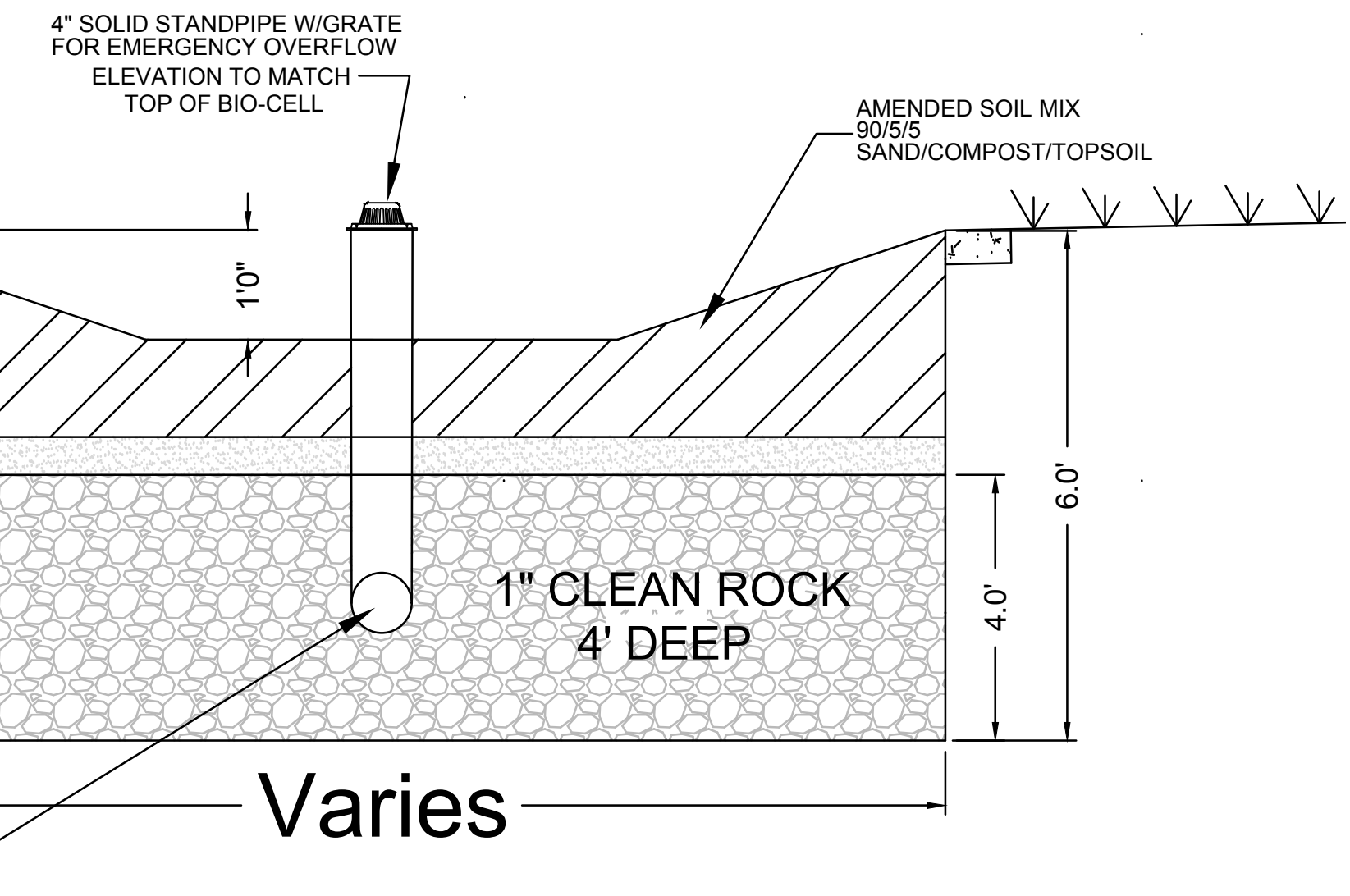
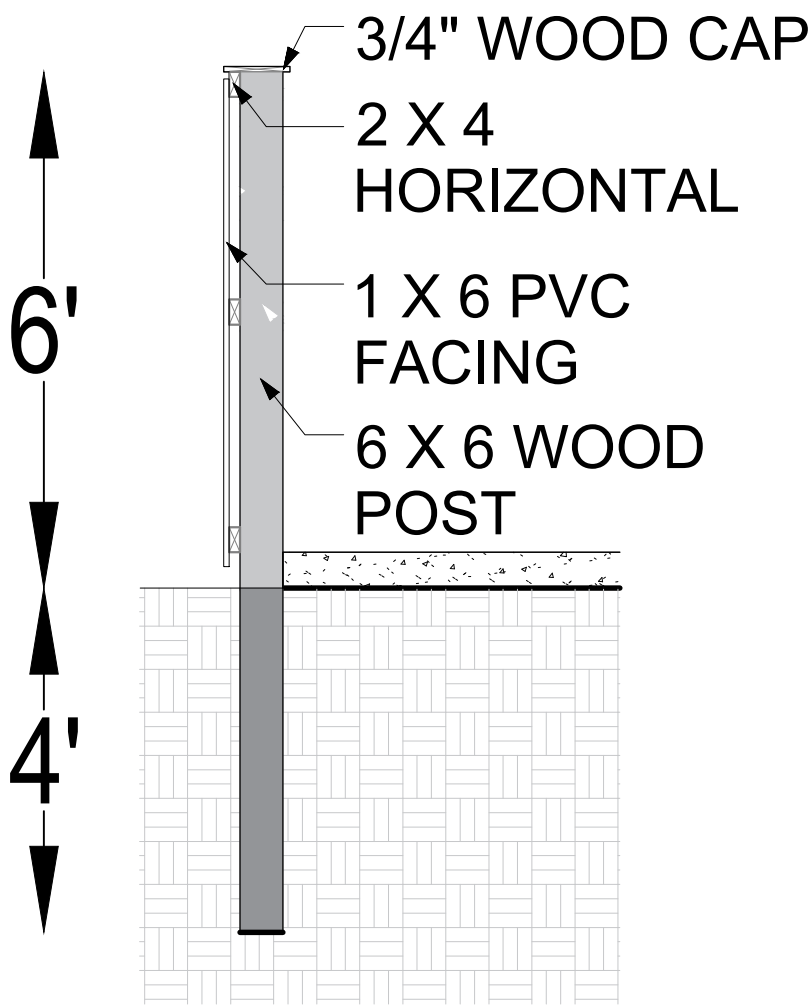
1. SINGLE-FAMILY AND TWO-FAMILY DWELLING: TWO PARKING SPACES FOR EACH DWELLING UNIT.
2. MULTIPLE DWELLINGS: TWO PARKING SPACES FOR EACH DWELLING UNIT.
17. DOCTOR'S OFFICE, MEDICAL AND DENTAL CLINICS AND VETERINARY CLINICS: FIVE PARKING SPACES FOR EACH PRACTITIONER.

22. RETAIL STORE OR SHOP (EXCEPT AS OTHERWISE PROVIDED): ONE PARKING SPACE FOR EACH ONE HUNDRED SQUARE FEET OF GROSS SALES AREA FOR BUILDINGS CONTAINING UP TO TWO THOUSAND SQUARE FEET, PLUS ONE PARKING SPACE FOR EACH TWO HUNDRED SQUARE FEET OF GROSS SALES AREA OVER TWO THOUSAND SQUARE FEET BUT LESS THAN TWENTY THOUSAND SQUARE FEET. A MINIMUM RATION OF 5.5 PARKING SPACES FOR EACH ONE THOUSAND SQUARE FEET OF GROSS SALES AREA SHALL BE USED FOR THOSE BUILDINGS CONTAINING TWENTY THOUSAND SQUARE FEET OR MORE.

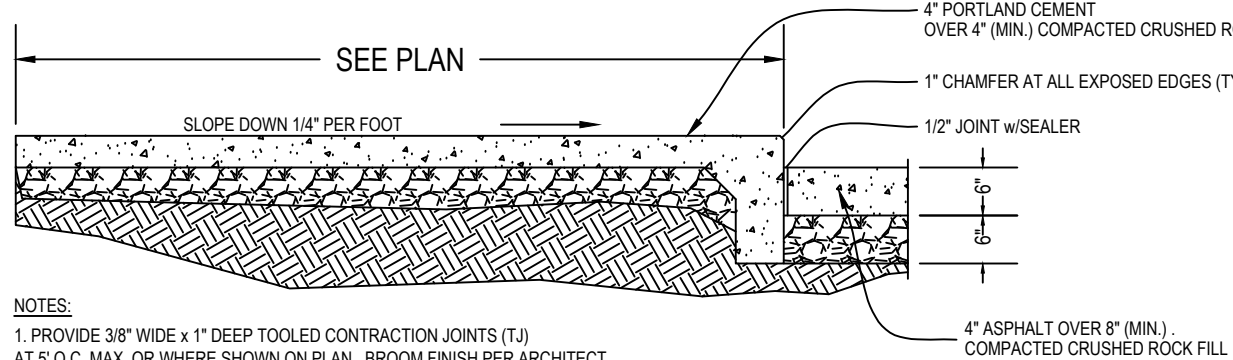
24. BEAUTY AND BARBER SHOPS: TWO PARKING SPACES FOR EACH OPERATO



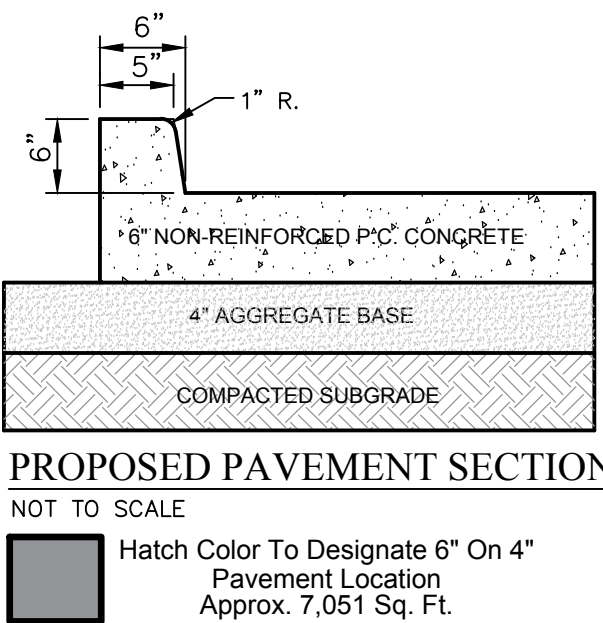
TYPICAL BOLLARD DETAIL
NOT TO SCALE



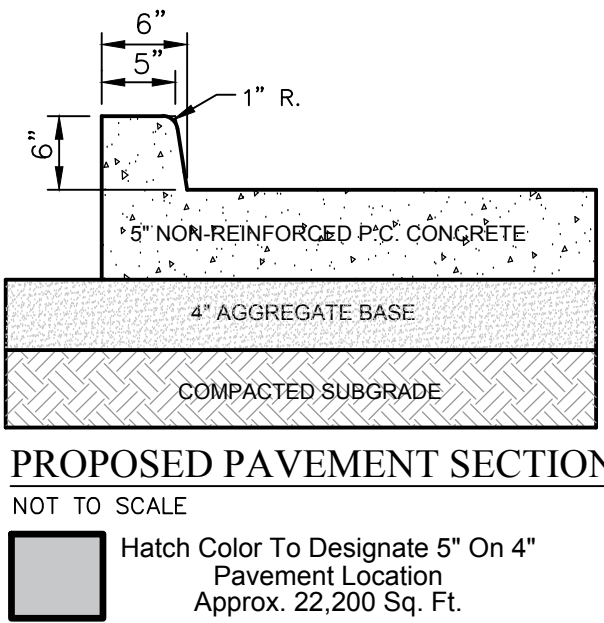
BIO-CELL DETAIL
Overflow Standpipes @ 30' O.C
With A Total Of 6
(not to scale)



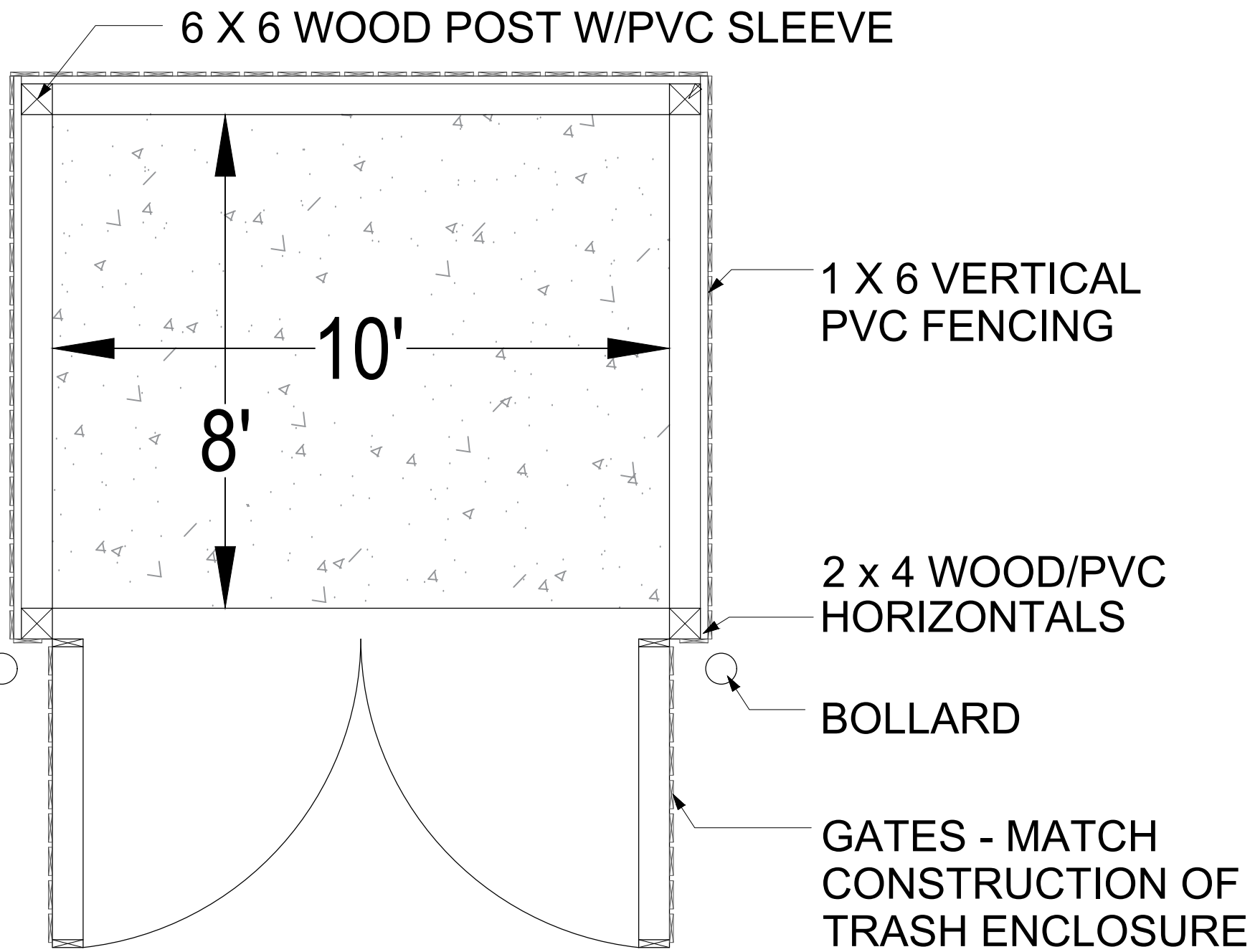
P.C.C. BARRIER SIDEWALK
NOT TO SCALE



PROPOSED PAVEMENT SECTION
NOT TO SCALE
Hatch Color To Designate 6" On 4" Pavement Location Approx. 7,051 Sq. Ft.



PROPOSED PAVEMENT SECTION
NOT TO SCALE
Hatch Color To Designate 5" On 4" Pavement Location Approx. 22,200 Sq. Ft.



DUMPSTER DESIGN DETAILS
Verify Design With
Architectural Plan Set
(not to scale)

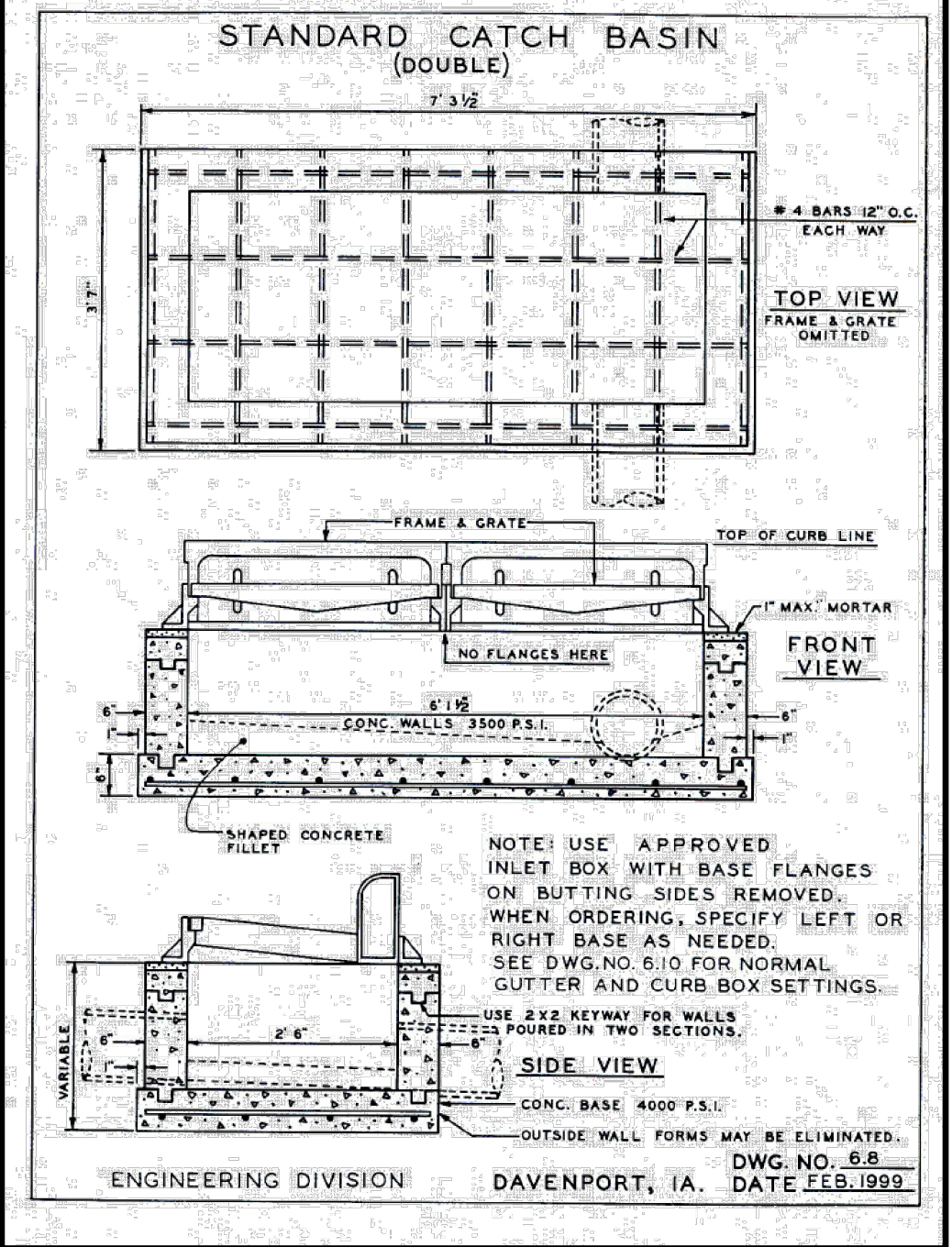
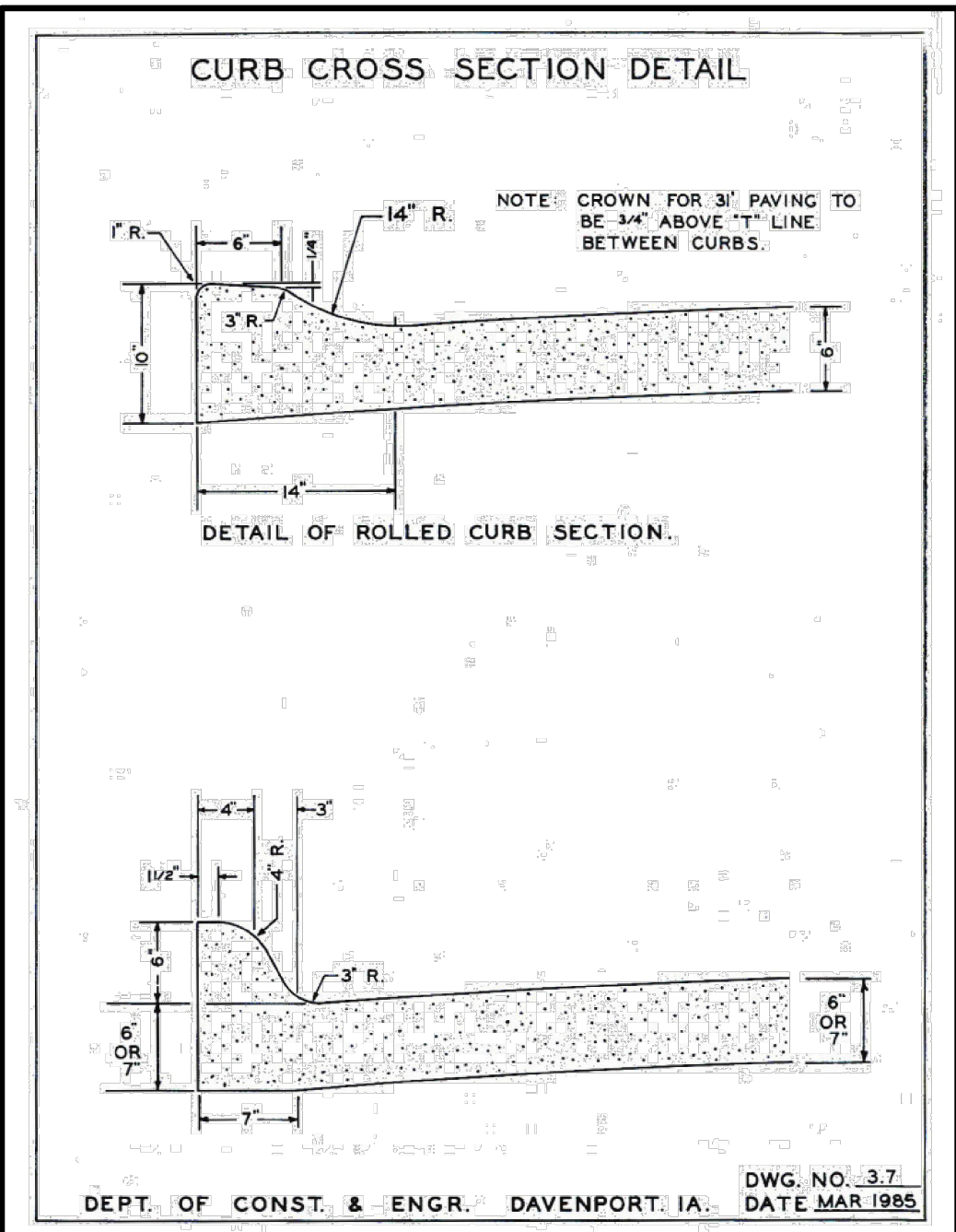
Spiderwort
Tradescantia
Sweet Black Eyed Susan
Rudbeckia Subtomentosa
Cardinal Flower
Lobelia Cardinalis
Bee Balm Plant
Monarda didyma
(Typical 18" Spacing Of All)

Prairie Dropseed
Sporobolus heterolepis
(24" Spacing)

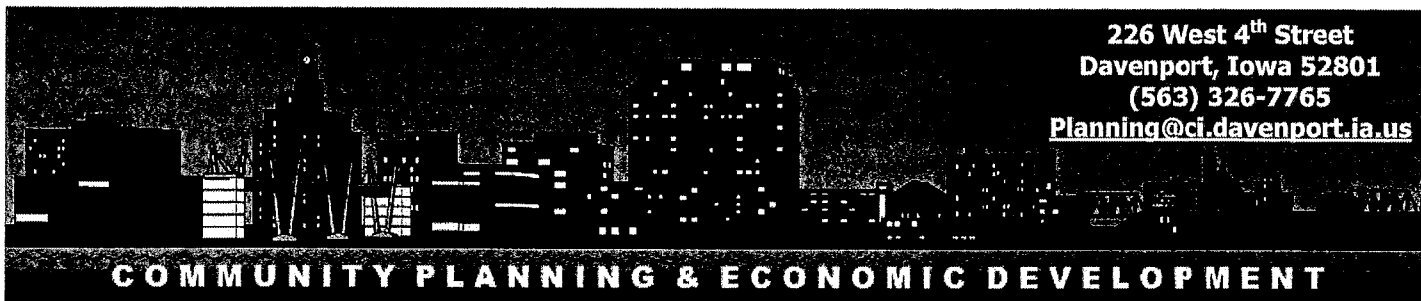
Switchgrass
Panicum virgatum
(24" Spacing)

Prairie Dropseed
Sporobolus heterolepis
(24" Spacing)

Bio-Cell Landscaping Plan
(Not To Scale)



REVISIONS:		
NO.	DESCRIPTION	DATE



Applicant*

Name: Kevin Koellner
Company: Build to Suit Inc
Address: 1805 State Street Suite 101
City/State/Zip: Bettendorf, IA 52722
Phone: 563-355-2022
Email: kevink@bulldtosuitinc.com

Owner (if different from Applicant)

Name: Ben Bowman
Company: London Properties, LLC
Address: 3411 Devils Glen Road
City/State/Zip: Bettendorf, IA 52722
Phone: 563-332-0520
Email: bbowman@fcsqc.com

Engineer (if applicable)

Name: Chris Townsend
Company: Townsend Engineering
Address: 2224 E 12th Street
City/State/Zip: Davenport, IA 52803
Phone: 563-386-4236
Email:

Architect (if applicable)

Name: Andrew Dasso
Company: Design Build by Architects
Address: 318 E 3rd Street
City/State/Zip: Davenport, IA 52801
Phone: 309-737-8587
Email: andrew@bulldbyarchitects.com

Attorney (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Application Form Type:

Plan and Zoning Commission

- Rezoning (Zoning Map Amendment) ☐
Zoning Ordinance Text Amendment ☐
Right-of-way or Easement Vacation ☐
Final Development Plan ☒
Voluntary Annexation ☐
Subdivision ☐

Zoning Board of Adjustment

- Appeal from an Administrative Decision ☐
Special Use Permit - New Cell Tower ☐
Home Occupation Permit ☐
Special Exception ☐
Special Use Permit ☐
Hardship Variance ☐

Design Review Board

- Certificate of Design Approval ☐
Demolition Request in the Downtown ☐

Historic Preservation Commission

- Certificate of Appropriateness ☐
Landmark Nomination ☐
Demolition Request ☐

Administrative

- Floodplain Development ☐
Cell Tower Co-Location ☐
Identification Signs ☐
Site Plan ☐

***If the applicant is different from the property owner, please submit an authorization form or an accepted contract for purchase.**

Request:

Approval of Final Development Plan and Site Plan Review

Property Location:

Lot 9 Utica Corners Sixth Subdivision Coventry South

Total Land Area: 52,276 Square Feet

Does the Property Contain a Drainage Way or is it Located in a Floodplain Area: ☐ Yes ☒ No

Submittal Requirements:

- The completed application form.
- Required fee:
 - Less than 1 acre - \$500.
 - One acre or more - \$1,000.
- A PDF, which depict the following:
 - Building pad locations with proposed building area, number of stories, overall height, a list of the proposed uses in the structure and their gross floor area.
 - Parking lot information including the extent of paving, the proposed circulation and parking layout and the number of cars to be parked.
 - The proposed landscaping and buffering to be developed in the project. The massing and density of plant and other screening materials shall be indicated. In areas where material issues have been identified in the rezoning public hearing process, or in meetings with the city plan and zoning commission, more detailed plans shall be provided.
 - The location of loading docks, receiving areas, trash pickup areas and other areas requiring screening.
 - The location and configuration of all access points with city streets and a pedestrian circulation plan.
 - A storm water management plan.
 - The location of all proposed free standing signage including circulation signs.
 - A grading plan showing final grades, the direction of storm water flow from roof drains and parking areas and the erosion control methods to be used during construction.
 - For projects involving subdivision, the approval of the development plan shall constitute the approval of a preliminary plat provided all provisions of Chapter 16.16 of the Municipal Code have been fulfilled.
 - Note: City staff may waive any of the required plan requirements if the scale of the project, topography of the site or other reasons make them unnecessary. Please specify which waivers are being sought.

The petitioner hereby acknowledges and agrees to the following procedure and requirements:**(1) Application:**

- The submission of the application does not constitute official acceptance by the City of Davenport. Planning staff will review the application for completeness and notify the applicant that the application has been accepted or additional information is required. Inaccurate or incomplete applications may result in delay of required public hearings.

(2) Plan and Zoning Commission's consideration of the final development plan:

- Planning staff will perform a technical review of the petition and present its findings and recommendation to the Plan and Zoning Commission.
- The Plan and Zoning Commission will vote to provide its recommendation to the City Council. The Plan and Zoning Commission's recommendation is forwarded to the City Council.

(3) City Council's consideration of the final development plan:

- The Committee of the Whole (COW) will consider the petition. Subsequently, the City Council will vote on the petition.

Petitioner:


By typing your name, you acknowledge and agree to the aforementioned procedure and requirements.

Date: 05/04/2017

Received by:

Planning staff

Date:

Date of Plan and Zoning Commission Public Hearing:

Plan and Zoning Commission meetings are held in City Hall Council Chambers located at 226 West 4th Street, Davenport, Iowa.

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development
Department
Contact Info: Ryan Rusnak (563) 888-2022
rrusnak@ci.davenport.ia.us

Date
5/16/2017

Subject:

Case No. F17-10: Final plat of Interstate 80 Airport Industrial Park 10th Addition, being in part a replat of Lot 2 of Interstate 80 Airport Industrial Park 4th Addition, located at the northeast corner of Hillandale Road and Research Parkway, containing two industrial lots on 29.43 acres, more or less.

Recommendation:

Findings:

1. The plat conforms to the comprehensive plan Davenport+2035; and
2. The plat would achieve consistency with subdivision/zoning requirements

Staff recommends the City Plan and Zoning Commission forward Case No. F17-10 to the City Council with a recommendation for approval subject to the following conditions:

1. That the surveyor signs the plat;
2. That the utility companies sign the plat when their easement needs have been met;
3. That the plat is tied to two quarter corners both labeled with description or two previously established lot corners both labeled with description of each corner;
4. That a note be added to the plat stating that sidewalks shall be installed along street frontages when so ordered by the City;
5. That the existing 30 foot wide sewer easement be extended and shown as dedicated along the remaining Hillandale Road frontage and along the Enterprise Way frontage. The utility easements shall remain shown as is; this 30 foot dedication would begin at the ROW lines and overlap those utility easements;
6. That a note be added to the plat stating that all street access points shall be approved by the City Traffic Engineer;
7. That the area for storm water detention and water quality treatment be located within an easement in accordance with Section 13.34.260 of the Davenport City Code; and
8. The following note be added to the plat pertaining to the 20 foot wide drainage easement: The owners of lots with drainage easements shall maintain a storm water passageway within the area platted as "Drainage Easement". This area shall be planted in grass and maintained as a lawn free of structures, fences, bushes, trees and other landscaping that would impede the flow of storm water."

ATTACHMENTS:

Type	Description
▣ Backup Material	F17-10 - Final Staff Report
▣ Backup Material	F17-10 - Proposed Final Plat

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:47 PM



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

PLAN AND ZONING COMMISSION

Preview Date: May 16, 2017
Request: Final Plat for Interstate 80 Airport Industrial Park 10th Addition
Address: Northeast corner of Hillandale Road and Research Parkway
Case No.: F17-10
Applicant: Greater Davenport Redevelopment Corporation

Recommendation:

Staff recommends the City Plan and Zoning Commission forward Case No. F17-10 to the City Council with a recommendation for approval subject to the listed conditions.

Introduction:

Greater Davenport Redevelopment Corporation is requesting a final plat for two lot subdivision.

AREA CHARACTERISTICS:

Zoning Map



Land Use Map



Background:**Comprehensive Plan:**

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Future Land Use Designation: *Industrial District (I)* - *This category designates industrial uses including research, assembly/fabrication, warehousing, storage, and associated commercial/office uses.*

Relevant Goals to be considered in this Case: Strengthen the Existing Built Environment.

The proposed plat would comply with the Davenport 2035 proposed land use section.

Technical Review:

Streets. The subdivision is adjacent to Hillandale Road and Research Parkway.

Storm Water. Storm water detention and water quality treatment are required and those areas are required to be within an easement.

Sanitary Sewer. Sanitary sewer service is located within the Hillandale Road right of way.

Other Utilities. Other utilities are located in this area.

Emergency Services. Station 7 is located 1.29 miles to the south of the proposed subdivision.

Parks/Open Space. This request does not impact any existing or planned parks or public open spaces.

Public Input:

No public hearing is required for a final plat.

Discussion:

Greater Davenport Redevelopment Corporation is requesting a final plat for two lot subdivision.

Staff Recommendation:

Findings:

1. The plat conforms to the comprehensive plan Davenport+2035;
2. The plat would achieve consistency with subdivision/zoning requirements

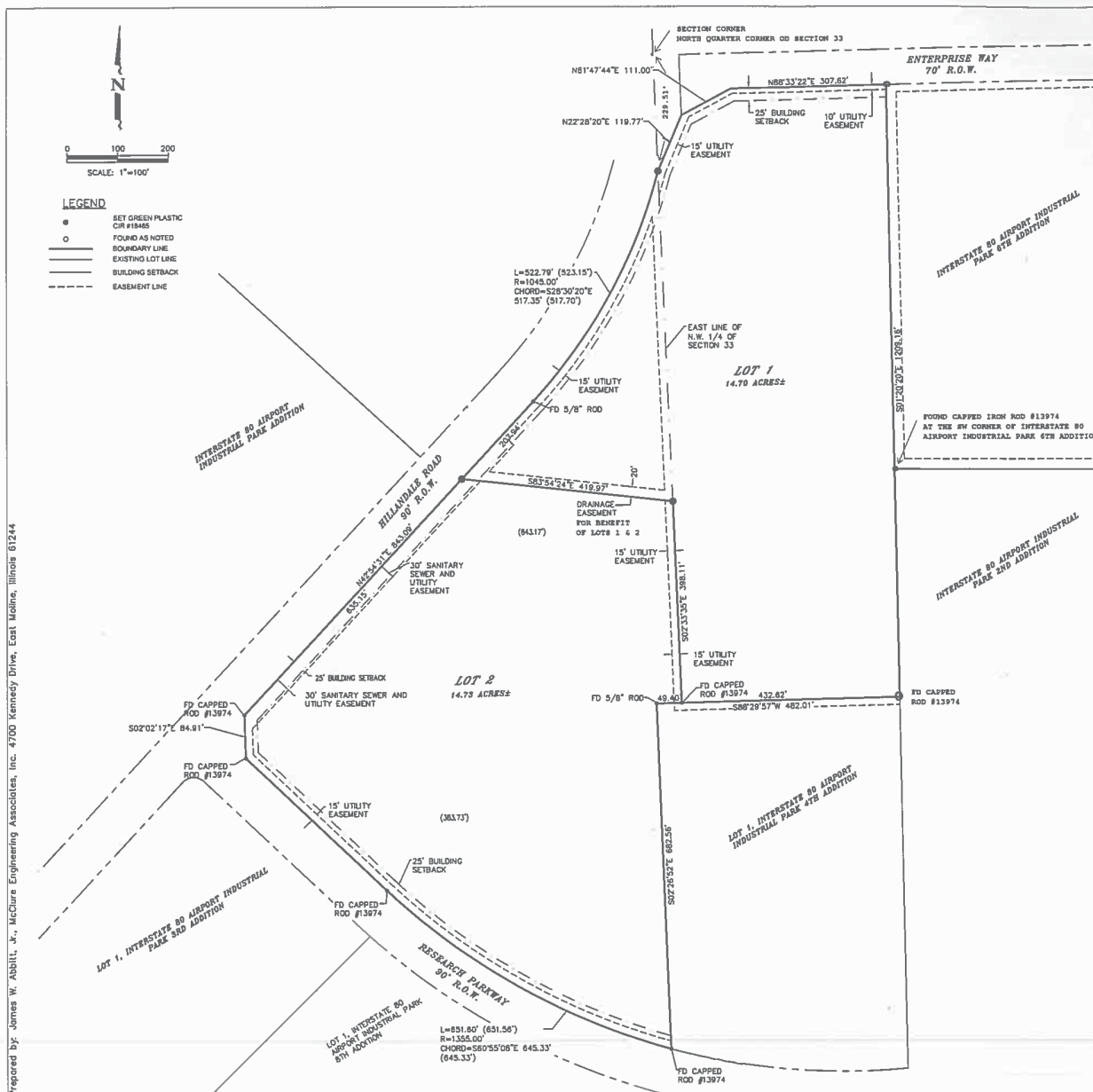
Staff recommends the City Plan and Zoning Commission forward Case No. F17-10 to the City Council with a recommendation for approval subject to the following conditions:

1. That the surveyor signs the plat;
2. That the utility companies sign the plat when their easement needs have been met;
3. That the plat is tied to two quarter corners both labeled with description or two previously established lot corners both labeled with description of each corner;
4. That a note be added to the plat stating that sidewalks shall be installed along street frontages when so ordered by the City;
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8. The following note be added to the plat pertaining to the 20 foot wide drainage easement: The owners of lots with drainage easements shall maintain a storm water passageway within the area platted as "Drainage Easement". This area shall be planted in grass and maintained as a lawn free of structures, fences, bushes, trees and other landscaping that would impede the flow of storm water."

Prepared by:

A handwritten signature in blue ink, appearing to read "Ryan Rusnak", is written over a horizontal line.

Ryan Rusnak, AICP
Planner III



PLAT OF SUBDIVISION
INTERSTATE 80 AIRPORT
INDUSTRIAL PARK 10TH ADDITION

A RE-SUBDIVISION OF LOT 2, INDUSTRIAL PARK 4TH ADDITION TO THE CITY OF DAVENPORT IOWA AND A PART OF PARCEL 2, AS SHOWN BY A SURVEY RECORDED AS DOCUMENT 2002-11747, LOCATED IN THE NORTH HALF OF SECTION 33, TOWNSHIP 79 NORTH, RANGE 3 EAST, OF THE 5TH PRINCIPAL MERIDIAN, SCOTT COUNTY, IOWA

CITY OF DAVENPORT-OWNER

BY: _____
DATE: _____
APPROVAL SUBJECT TO ENCUMBRANCES OF RECORD BY
CITY OF DAVENPORT

IOWA—AMERICAN WATER COMPANY

BY: _____
DATE: _____

CENTURYLINK

BY: _____
DATE: _____

MEDIACOM

BY: _____
DATE: _____

CITY OF DAVENPORT, IOWA

BY: _____
DATE: _____

PLANNING AND ZONING COMMISSION

BY: _____
DATE: _____

	Admitted with the following conditions:
--	---

ATTORNEY

LANE & WATERMAN
JOE JUDGE
220 NORTH MAIN STREET
DAVENPORT, IOWA 52801
PHONE: 563-324-3245
FAX: 563-324-1816

ZONING & LOT INFORMATION:

CURRENT ZONING: LIGHT INDUSTRIAL, M-1
PROPOSED ZONING: NO CHANGE IS REQUESTED
TOTAL NUMBER OF LOTS: 2
TOTAL ACREAGE OF LOTS: 29.44
TOTAL R.O.W. ACREAGE: 0
TOTAL SITE ACREAGE: 29.44

LAND SURVEYOR

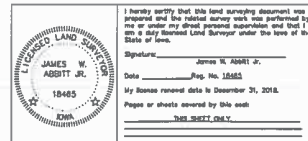
MCCLURE ENGINEERING ASSOCIATES INC
CONTACT: JIM ABBITT
4700 KENNEDY DRIVE
EAST MOLINE, ILLINOIS 61244
308-782-8350

OWNER

GREATER DAVENPORT REDEVELOPMENT CORPORATION
130 WEST SECOND STREET
DAVENPORT, IOWA 52801
PHONE: 563-322-1708
FAX: 563-322-7804

NOTES:

1. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.



GREATER DAVENPORT REDEVELOPMENT CORPORATION
130 WEST THIRD STREET, DAVENPORT, IOWA 52801

REVISIONS		
NO.	ITEM	DATE

PLOTTING SCALE:	1" = 1"
DRAWN BY:	DEL
CHECKED BY:	JWA
DATE:	4/2/77



4700 Kennedy Drive East Moline, Illinois 61244
(308) 792-8330 Fax (308) 792-8877
Design Firm License Number 184-000818
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PLAT OF SUBDIVISION

INTERSTATE 80 AIRPORT INDUSTRIAL PARK XXXXX ADDITION, DAYTONPORT, IOWA

FILE NAME: T:\ADA\117 037\OWG\117037-SUBDIVISION-4-3-17.AVI

JOB NUMBER: 01-13-17-057

SHEET NO. **1**
OF **1**

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:

Case No. P17-02: the preliminary plat of Inverness Estates located east of Division Street and south of West 76th Street, containing 246 residential lots and 51 outlots on 123 acres, more or less.

ATTACHMENTS:

Type	Description
▣ Backup Material	P17-02 Inverness

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:47 PM



City of Davenport
Community Planning & Economic Development Department
PREVIEW REPORT

PLAN AND ZONING COMMISSION

Meeting Date: 05-02-17
Request: Preliminary plat: 212 single-family lots 34 multi-family lots and 51 outlots
Address: East of Division Street & South of West 76th Street
Case No.: P17-02
Applicant: SB Real Estate

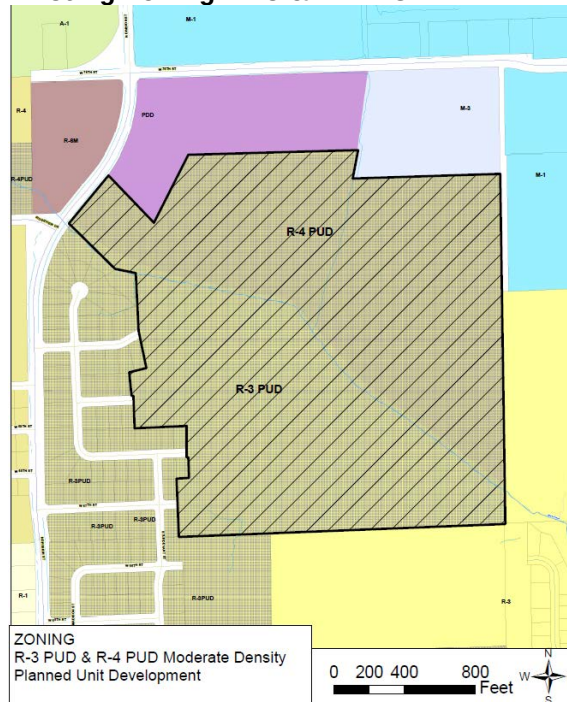
INTRODUCTION

Petition of SB Real Estate for a preliminary plat on 123 acres, more or less, of property located east of Division Street and south of West 76th Street. The platted area straddles Goose Creek with 113 building lots south of the creek (South Inverness) and 133 buildable lots north of the creek (North Inverness). The plat will facilitate residential development of single and multiple family residences. The property is zoned R-3 PUD and R-4 PUD (Planned Unit Development).

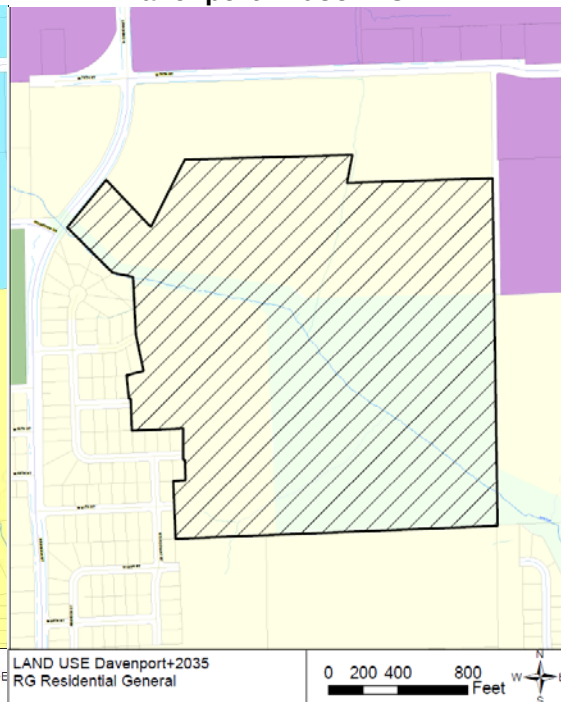
Recommendation: This is a preview no recommendation is made at this time.

AREA CHARACTERISTICS:

Existing Zoning: R-3 & R-4 PUD



Davenport+2035: RG



Surrounding zoning is as follows:

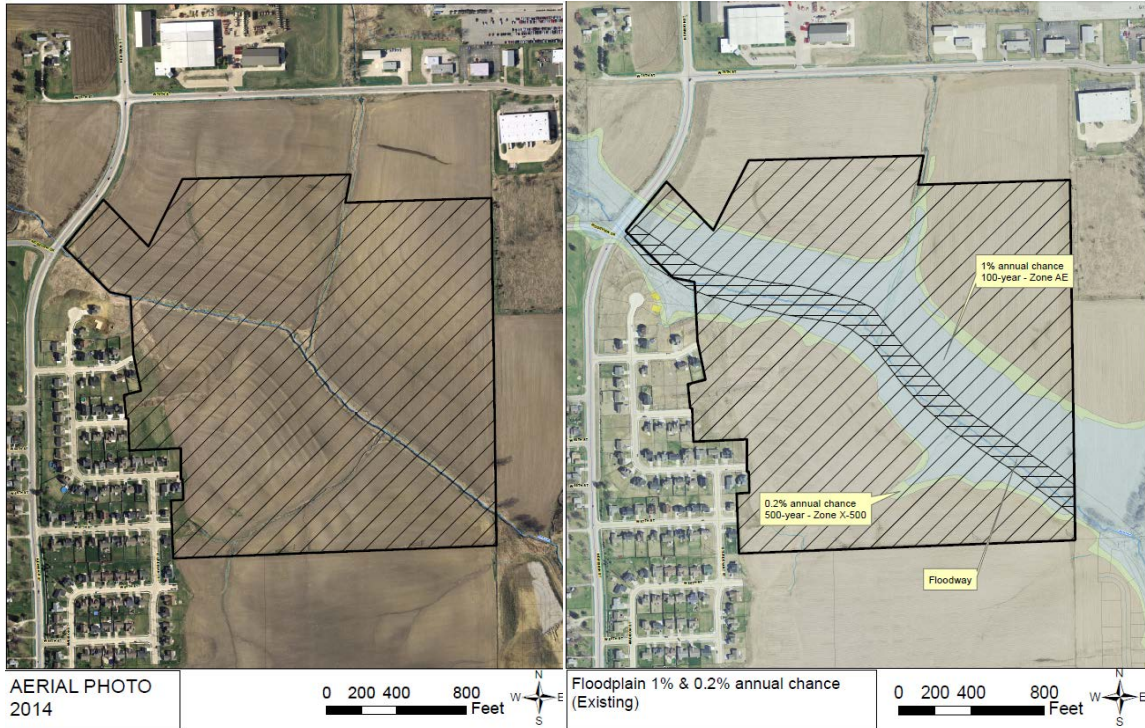
East: M-1 Light Industrial & R-3 Moderate Density Dwelling

South: R-3 Moderate Density Dwelling and R-3 PUD Planned Unit Development

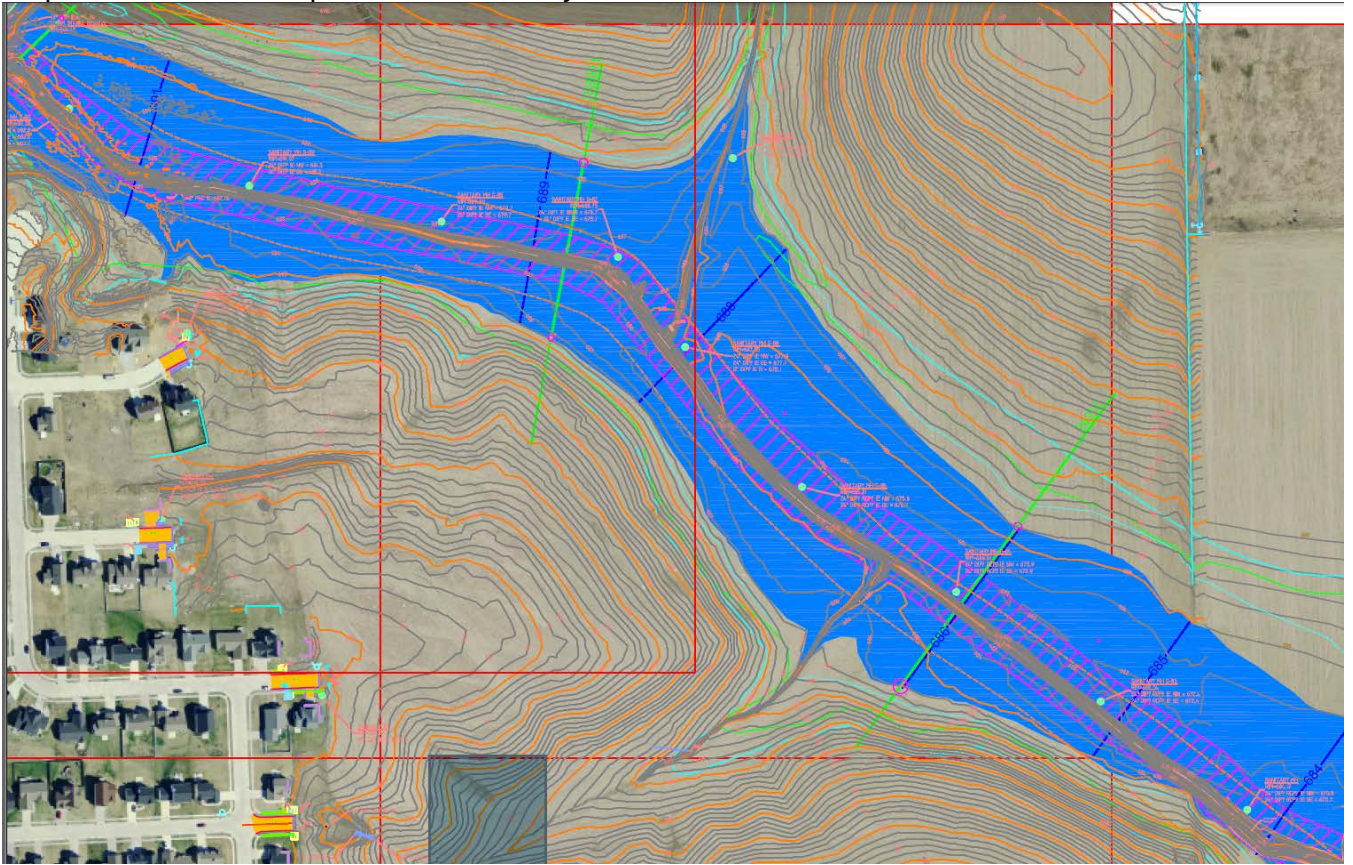
West: R-3 PUD Planned Unit Development & R-6M High Density Dwelling

North: PDD Planned Development & M-3 Planned Industrial

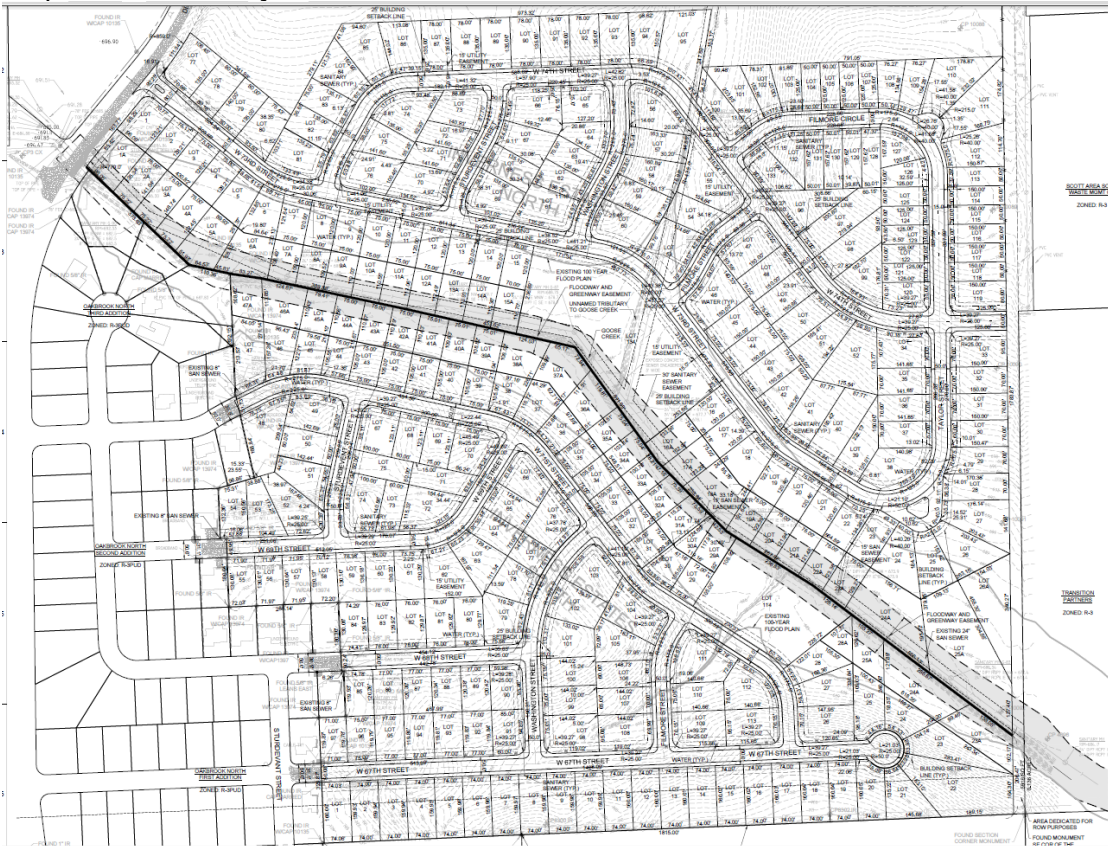
Aerial Photos:



Proposed Revised Floodplain – Effective May 18, 2017



Proposed Preliminary Plat



BACKGROUND

Comprehensive Plan:

Within Urban Service Boundary 2035: Yes

Proposed Land Use Designation:

Residential General (RG) Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant Goals to be considered in this Case:

Strengthen the existing built environment

Identify and reserve land for future development

Technical Review:

Streets. Access to the portion of the plat south of Goose Creek (South Inverness) is through the existing street network in the Oakbrook North additions. From Division Street these are West 67th and West 71st Streets. North of Goose Creek (North Inverness) access is being proposed from Division and Marquette Streets. No interconnection across Goose Creek is being proposed. Also no extension of the street grid is proposed to connect to the undeveloped residentially zoned property to the south.

Storm Water. The existing stormwater infrastructure contains the culverts underneath Division Street and in the existing Oakbrook North Additions. Goose Creek bisects the property from northwest to southeast. The existing FEMA floodplain for this portion of Goose Creek will likely be modified within the next month (effective map date 05-18-17) through the adoption of a Letter of Map Revision (LOMR). The effect of this LOMR is to lower the Base Flood Elevations (BFE) also known as the 1% chance annual or 100-year base flood elevations by an average of two (2) to three (3) feet. This will modify the extent of the floodplain as currently shown on the plat.

Significant detention and infiltration (retention) management practices will likely be required. The requirements of the Flood Damage Prevention ordinance will also need to be met for any development within the 1% annual chance (100-year) floodplain. The floodplain should be put into a drainage easement.

Sanitary Sewer. Sanitary sewer service is located along Goose Creek (18" increasing to 24" line) and in the northerly bearing tributary (12" line).

Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located approximately one (1) mile from Fire Station No. 7, which is located at 2302 West 67th.

Parks/Open Space. There will be a requirement for the community requested greenway trail along Goose Creek.

PUBLIC INPUT

This is a preliminary plat and does not require notification.

DISCUSSION

The petitioner is proposing a significant residential development for the north central area of Davenport. This preliminary plat proposes 246 residential lots, with a majority being single family (86 percent) on approximately 123 acres.

The area of the plat is zoned R-3 PUD south of Goose Creek and R-4 PUD north of the creek. The R-4 PUD zoning occurred in 2004 as City Ordinance 2004-588.

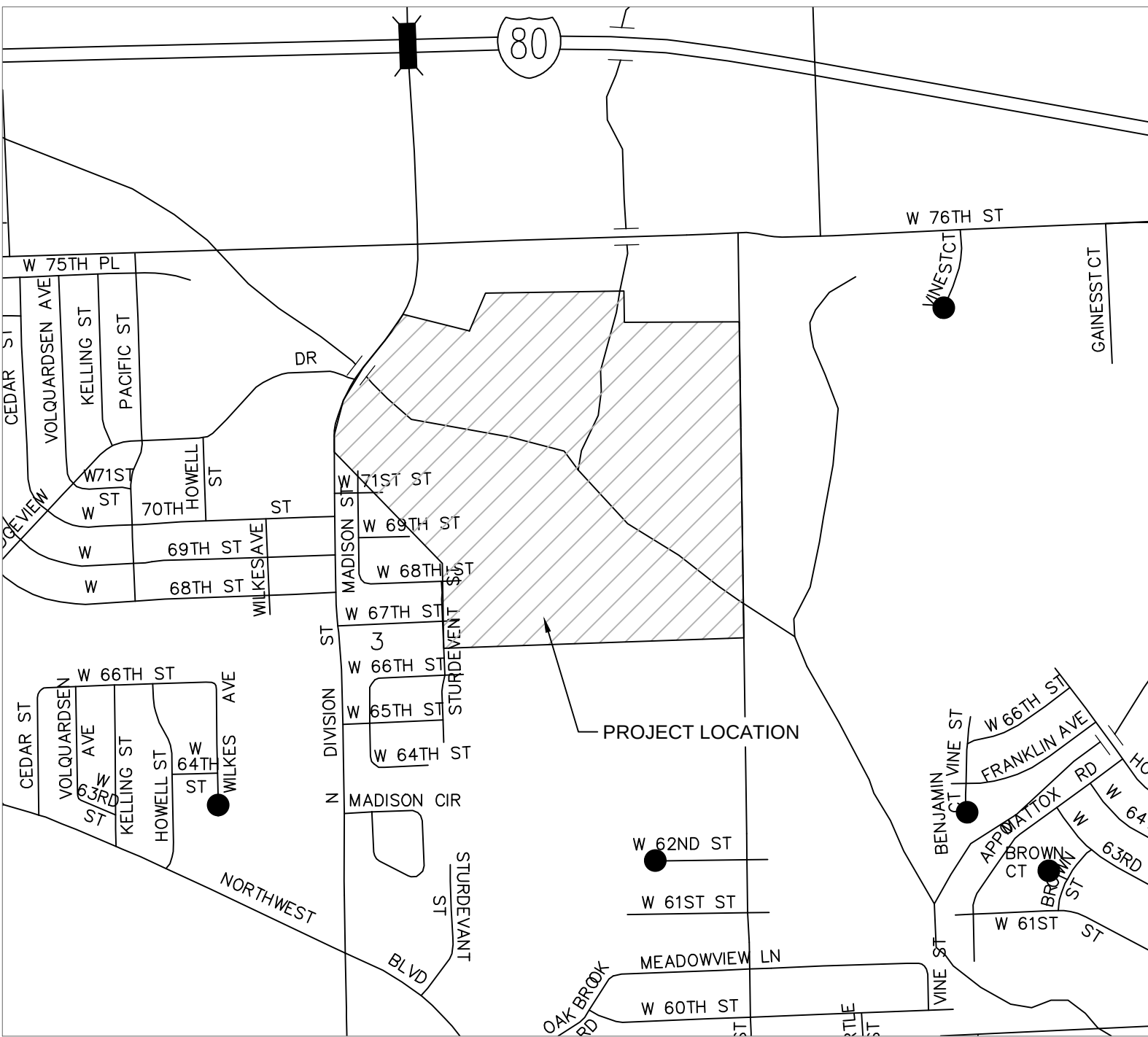
STAFF RECOMMENDATION

This is a preview and there is no recommendation at this time.

Prepared by:

Wayne Wille, CFM
Planner II
Community Planning Division

PRELIMINARY PLAT
FOR
INVERNESS ESTATES
TO THE CITY OF DAVENPORT, IOWA
PART OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 78 NORTH, RANGE
3 EAST OF THE 5TH P.M., IN THE CITY OF DAVENPORT, SCOTT COUNTY, IOWA



LOCATION MAP
N.T.S.

OWNER/DEVELOPER

SB REAL ESTATE
350 JOHN DEERE ROAD
MOLINE, IL 61265

LAND SURVEYOR

SHIVE HATTERY INC.
1701 RIVER DRIVE, SUITE 200
MOLINE, IL 61265
GARY D. GROSS, PLS

FLOOD ZONE

THIS PARCEL IS LOCATED WITHIN FLOOD ZONES AE AND
X ACCORDING TO THE FEDERAL EMERGENCY
MANAGEMENT AGENCY AS SHOWN ON FLOOD
INSURANCE RATE MAP, MAP NUMBER 19163C0355F
DATED FEBRUARY 18, 2011.

ZONING

1. THIS PARCEL IS ZONED NORTH OF CREEK R-4 PUD
AND SOUTH OF CREEK R-3 PUD.
2. ALL RIGHT-OF-WAYS = 50' ALL STREETS = 31'

INVERNESS ESTATES LOTS

LOCATION	SINGLE FAMILY	MULTI FAMILY	OUTLOTS	ZONING
NORTH INVERNESS	99 LOTS	34 LOTS	27 LOTS	R-4 PUD
SOUTH INVERNESS	113 LOTS	0 LOTS	24 LOTS	R-3 PUD

ZONING SETBACKS

ZONE	FRONT YARD SETBACK	REAR YARD SETBACK	SIDE YARD SETBACK
R-3 PUD	23 - 29	30	7
R-4 PUD	23 - 29	31	5

NOTE: REAR AND SIDE YARD SETBACKS ARE NOT SHOWN ON PLAT FOR CLARITY PURPOSES

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:

Case No. F17-11: Final plat of Windsor Meadows Commercial Park Third Addition, being a replat of Lot 1 Windsor Meadows Commercial Park Second Addition, located on the west side of Elmore Avenue north of Kimberly Road, containing one (1) commercial lot on 0.46 acre, more or less.

ATTACHMENTS:

Type	Description
▣ Backup Material	F17-11 Report

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:48 PM



City of Davenport
Community Planning & Economic Development Department
PREVIEW STAFF REPORT

PLAN AND ZONING COMMISSION

Preview Date: May 2, 2017
Request: Final Plat for Interstate 80 Airport Industrial Park 10th Addition
Address: Northeast corner of Hillandale Road and Research Parkway
Case No.: F17-10
Applicant: Greater Davenport Redevelopment Corporation

Recommendation:

There is no recommendation at this time.

Introduction:

Greater Davenport Redevelopment Corporation is requesting a final plat for two lot subdivision.

AREA CHARACTERISTICS:

Zoning Map



Land Use Map



Background:**Comprehensive Plan:**

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Future Land Use Designation: *Industrial District (I)* - *This category designates industrial uses including research, assembly/fabrication, warehousing, storage, and associated commercial/office uses.*

Relevant Goals to be considered in this Case: Strengthen the Existing Built Environment.

The proposed plat would comply with the Davenport 2035 proposed land use section.

Technical Review:

Technical review comments will be provided at the May 16, 2017 Plan and Zoning Commission meeting.

Public Input:

No public hearing is required for a final plat.

Discussion:

Greater Davenport Redevelopment Corporation is requesting a final plat for two lot subdivision.

Staff Recommendation:

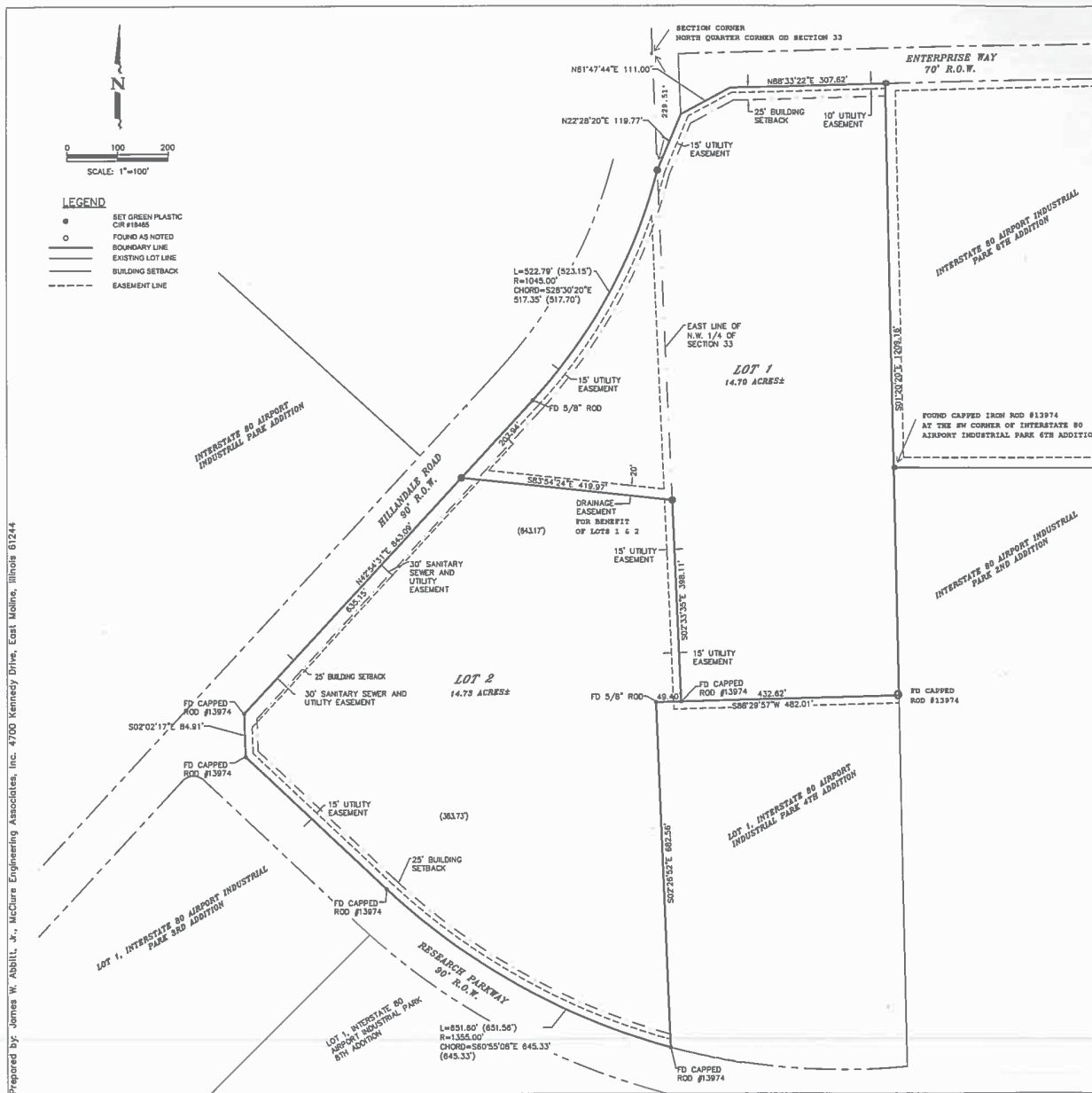
There is no recommendation at this time.

Prepared by:

A handwritten signature in blue ink, appearing to read "Ryan Rusnak", is written over a horizontal line.

Ryan Rusnak, AICP
Planner III

Prepared by: James W. Abbott, Jr., McClure Engineering Associates, Inc. 4700 Kennedy Drive, East Moline, Illinois 61244



PLAT OF SUBDIVISION
INTERSTATE 80 AIRPORT
INDUSTRIAL PARK 10TH ADDITION
TO THE CITY OF DAVENPORT, IOWA

A RE-SUBDIVISION OF LOT 2, INDUSTRIAL PARK 4TH ADDITION TO THE CITY OF DAVENPORT IOWA AND A PART OF PARCEL 2, AS SHOWN BY A SURVEY RECORDED AS DOCUMENT 2002-11747, LOCATED IN THE NORTH HALF OF SECTION 33, TOWNSHIP 79 NORTH, RANGE 3 EAST, OF THE 5TH PRINCIPAL MERIDIAN, SCOTT COUNTY, IOWA

ATTORNEY

LANE & WATERMAN
JOE JUDGE
223 NORTH MAIN STREET
DAVENPORT, IOWA 52801
PHONE: 563-324-3246
FAX: 563-324-1818

ZONING & LOT INFORMATION:

CURRENT ZONING: LIGHT INDUSTRIAL, M-1
PROPOSED ZONING: NO CHANGE IS REQUESTED
TOTAL NUMBER OF LOTS: 2
TOTAL ACRES OF LOTS: 28.44
TOTAL R.O.W. ACRES: 0
TOTAL SITE ACRES: 28.44

LAND SURVEYOR

MCCLURE ENGINEERING ASSOCIATES INC
CONTACT: JIM ABBOTT
4700 KENNEDY DRIVE
EAST MOLINE, ILLINOIS 61244
309-762-9350

OWNER

GREATER DAVENPORT REDEVELOPMENT CORPORATION
130 WEST SECOND STREET
DAVENPORT, IOWA 52801
PHONE: 563-322-1706
FAX: 563-322-7804

NOTES:

1. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

CITY OF DAVENPORT-OWNER

BY: _____
DATE: _____
APPROVAL SUBJECT TO ENCUMBRANCES OF RECORD BY
CITY OF DAVENPORT

IOWA-AMERICAN WATER COMPANY

BY: _____
DATE: _____

CENTURYLINK

BY: _____
DATE: _____

MEDIACOM

BY: _____
DATE: _____

CITY OF DAVENPORT, IOWA

BY: _____
DATE: _____

PLANNING AND ZONING COMMISSION

BY: _____
DATE: _____

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision, and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Signature: _____
Date: _____
My license expires on December 31, 2018.
Pages or sheets covered by this deed: _____
THIS IS CERTIFIED BY: _____

James W. Abbott, Jr.
19465
KWI

GREATER DAVENPORT REDEVELOPMENT CORPORATION
130 WEST THIRD STREET, DAVENPORT, IOWA 52801

REVISIONS		
NO.	ITEM	DATE

PLOT SCALE: 1" = 1'	
DRAWN BY:	DEL
CHECKED BY:	JWA
DATE:	4/1/17



PLAT OF SUBDIVISION		SHEET NO.
INTERSTATE 80 AIRPORT INDUSTRIAL PARK XXXXX ADDITION, DAVENPORT, IOWA		1
FILE NAME: T:\ADA\11747\DWG\11747-SUBDIVISION-4-3-17.dwg		OF 1
JOB NUMBER: 01-13-17-057		

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:

(Time open for citizens wishing to address the Commission on matters not on the established agenda)

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:48 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743

Date
5/16/2017

Subject:

- Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
- Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
- A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting: Tuesday, June 06, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	5/12/2017 - 12:48 PM